



Westrich Pacific Corp.

Urban Design Brief

DC2 Rezoning in Oliver (Grandin Tower 2)

10012 112 Street & 11206, 11208 & 11212 100 Avenue
NW

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 **Stantec**

1. Project Overview

Introduction

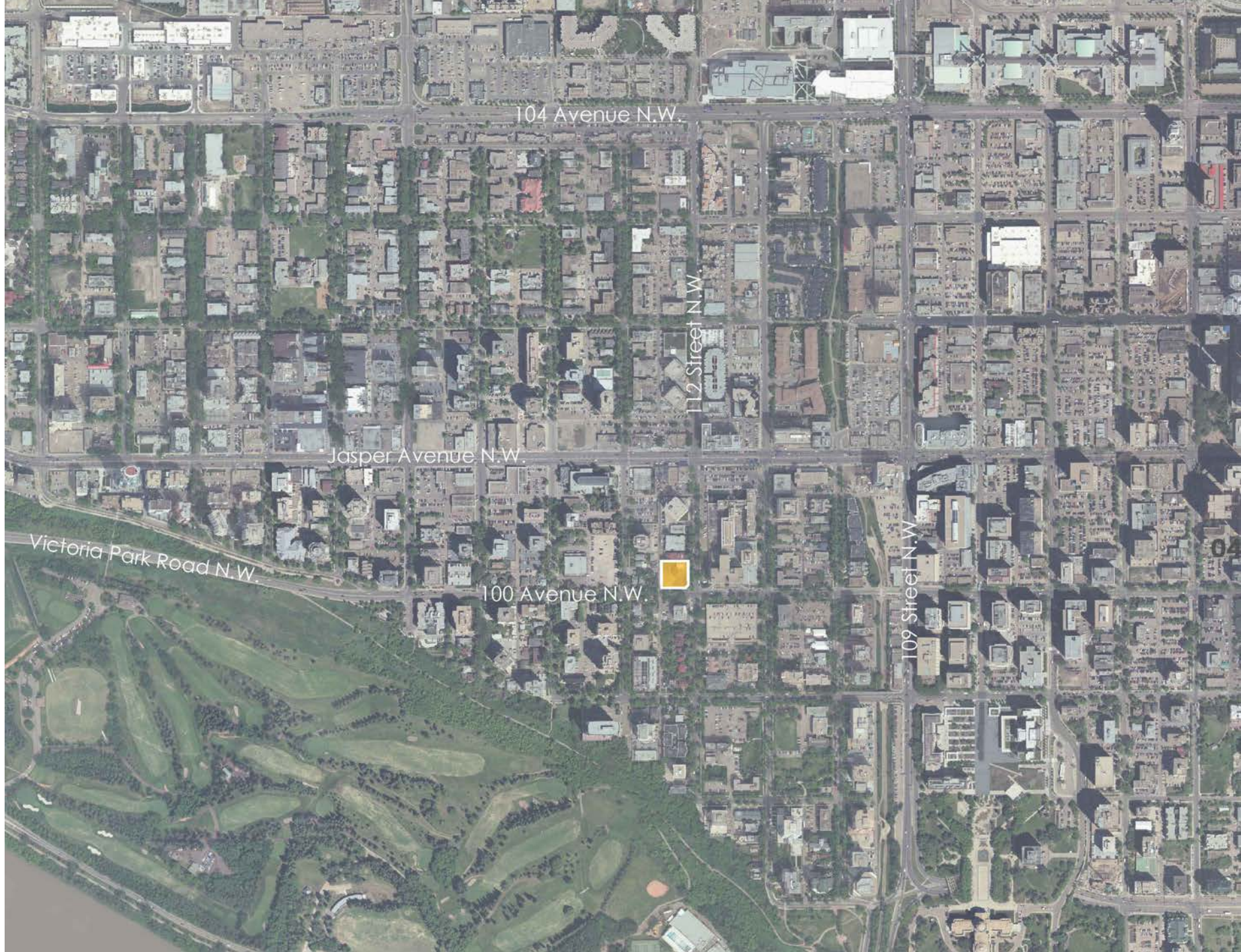
The subject site, located at 10012 112 Street & 11206, 11208, & 11214 100 Avenue, is intended to be rezoned to accommodate a high-density mixed-use development.

The 0.21 ha site is bounded by 112 Street to the east, a rear lane to the west, and a 2.5 storey multi-family dwelling to the north, which is zoned RA9 – Proposed Future High-Rise Apartment west, 100 Avenue to the south.

The purpose of this urban design brief is to provide an overview of the existing development and the surrounding area and illustrate the overarching design vision to aid in the preparation of more detailed design regulations and documents in the next phases of the development application process.

Information contained within this document is conceptual and subject to revisions and modifications.

 Subject Site



2. Context Analysis

Existing Site Conditions

The site currently consists of three vacant lots and one 2.5 storey multi-family dwelling. Located on the north west corner of 112 Street and 100 Avenue.

The boulevard separated sidewalks with mature trees adjacent to 112 Street and 100 Avenue allow for a safe pedestrian experience.

The site is within 400 m of the Grandin/Government Centre LRT Station on 110 Street and is one block south of Jasper Avenue which is a designated transit avenue.

Surrounding land uses include apartment housing to the north and south, the General Hospital and the General Hospital parkade located to the east, and commercial and residential uses to the west.

- 01: Site View From 100 Avenue Looking North
- 02: Site View From 112 Street Looking West
- 03: Site View From West Lane Looking East
- 04: Site View From West Lane Looking Southeast
- 05: Site from 112 Street Looking South



2. Context Analysis

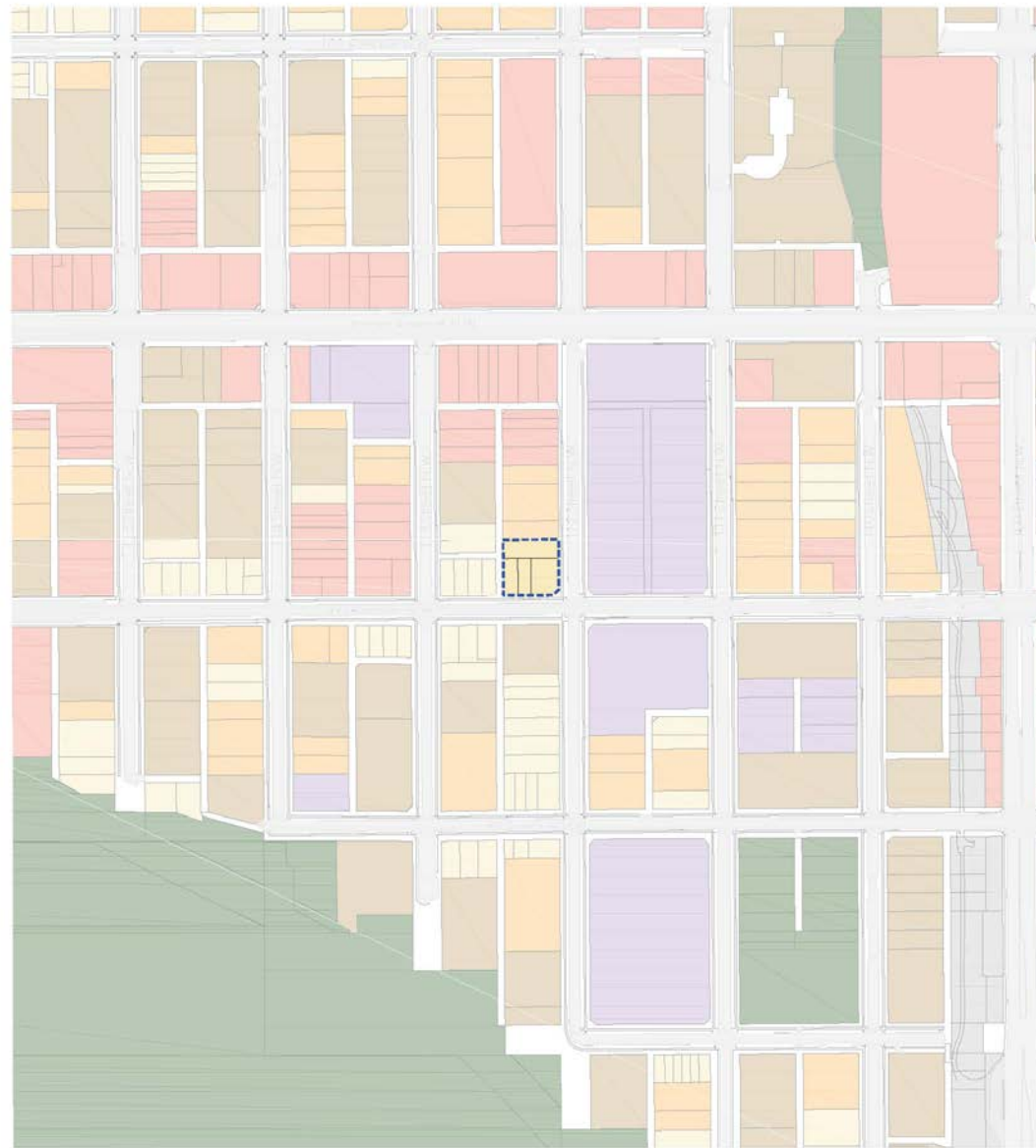
Surrounding Urban Fabric

The site is located within the Oliver neighbourhood, Grandin district, west of Edmonton's CBD. Development in Oliver began in the 1880s, and included the General Hospital. Land uses and building forms are amongst the most varied in Edmonton. Parts of Oliver feature large, older heritage homes on tree-lined streets, as well as older and newer apartment buildings.

Small commercial uses are dispersed throughout the neighbourhood, while Jasper Avenue and 109 Street feature large concentrations of retail and office developments. There are also numerous institutional uses, such as the Edmonton General Hospital, Grandin School, the former Eric Cormack Centre, and the Saint Joachim Church.

Residential uses range from single detached residences, to high density, high rise buildings, and everything in between.

The area immediately east of Oliver hosts many Government of Alberta offices, and the Legislature building.



Legend

- | | |
|----------------------------|----------------------------|
| Low Density Residential | Institutional |
| Medium Density Residential | School / Park / Open Space |
| High Density Residential | Public Utility |
| Commercial/Office | Site Boundary |



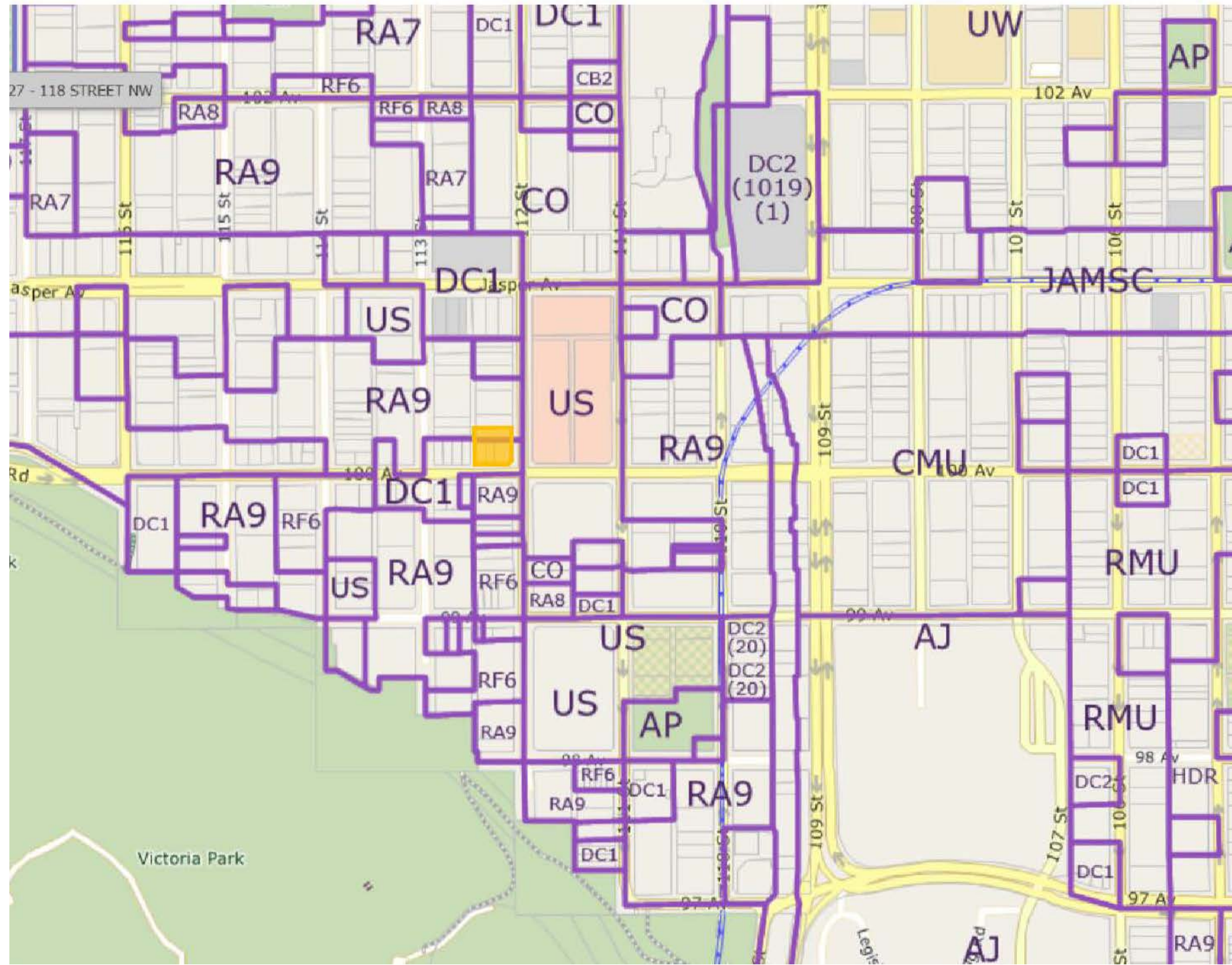
2. Context Analysis

Surrounding Urban Fabric



Edmonton Zoning Map

As identified in the Zoning Map, within the Oliver neighbourhood, Jasper Avenue serves as the principle arterial and commercial main street. Intended residential uses are predominantly high-density high-rise typologies.

 Subject Site

2. Context Analysis

Accessibility & Connectivity



Legend

- Subject Site
- Jasper Avenue
- Metro / Capital Line LRT
- Valley Line West LRT (Future)

- Edmonton Transit Service
- 5MIN (400m) Walking Radius
- 10MIN (800m) Walking Radius

- 01 Victoria Golf Course
- 02 Victoria Park
- 03 North Saskatchewan River
- 04 Downtown Edmonton
- 05 Alberta Legislature

Amenities Within Walking Distance

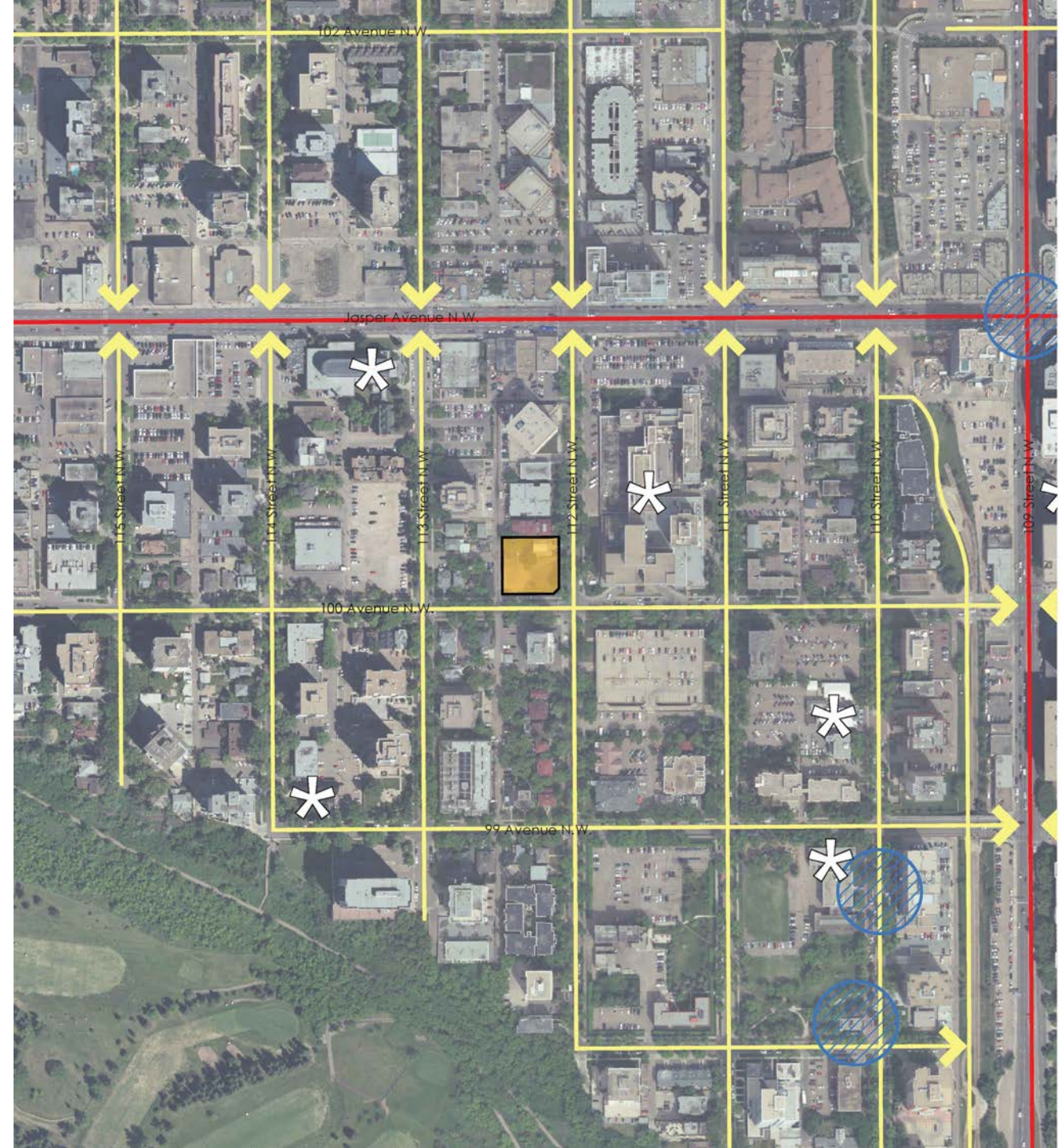
- Grocery Store
- Community Centre
- Library
- Parks
- Entertainment
- Shopping Centre
- Landmark
- School/University

2. Context Analysis

Edges, Paths, & Landmarks

This map was prepared to understand the legibility of the study area based on the five elements identified by Kevin Lynch (1960) – paths, districts, edges, landmarks, and nodes.

- **Paths:** Two Primary Paths were identified within the study area of the site: Jasper Avenue and 109 Street. Other local streets and multi-use trails have been identified as Secondary Paths.
- **Nodes:** Nodes are identified within the surrounding community as areas of arrival and departure, decision making and interaction. These include the Grandin/Government Centre LRT entrances, and key intersections.
- **Landmarks:** The study area has several landmark buildings, including schools, churches, government buildings, and the General Hospital. Given the preponderance of tall buildings, landmarks are not necessarily the tallest structures, unlike in some part of the city.
- **Districts:** The mixed residential, commercial, and institutional character of Oliver with its treed boulevards and grid network could be considered a district. The government district east of Oliver could be another.
- **Edges:** The transition, on southern edge of the neighbourhood, from urban to river valley could be considered an edge, due to the abrupt change in character and topography.



3. Design Analysis

Design Goals

Located in the east-central portion of the Oliver neighbourhood, close to public transit, restaurants and professional services, this residential tower will be an integral part of the urban fabric of this diverse, compact, and pedestrian friendly neighbourhood.

This compact residential tower with a diversity of unit types supports economic and social sustainability by allowing for a broad mix of occupancies from singles and retired folks to families with children. There will be a corresponding mix of price points for these units which will appeal to a range of income levels. In addition, the proposed commercial uses fronting onto 100 Avenue add to the vibrancy and sustainability of the Oliver neighbourhood.

The tower has a visually interesting podium base which is differentiated from the tower through the use of brick. The use of brick on all four sides of the podium creates visual consistency. The residential entry/lobby is situated in the southeast corner of the podium and is flanked by townhome-style units facing 112 Street, and small-scale commercial retail units on 100 Avenue, allowing for positive human scale interaction with the surrounding neighbourhood.

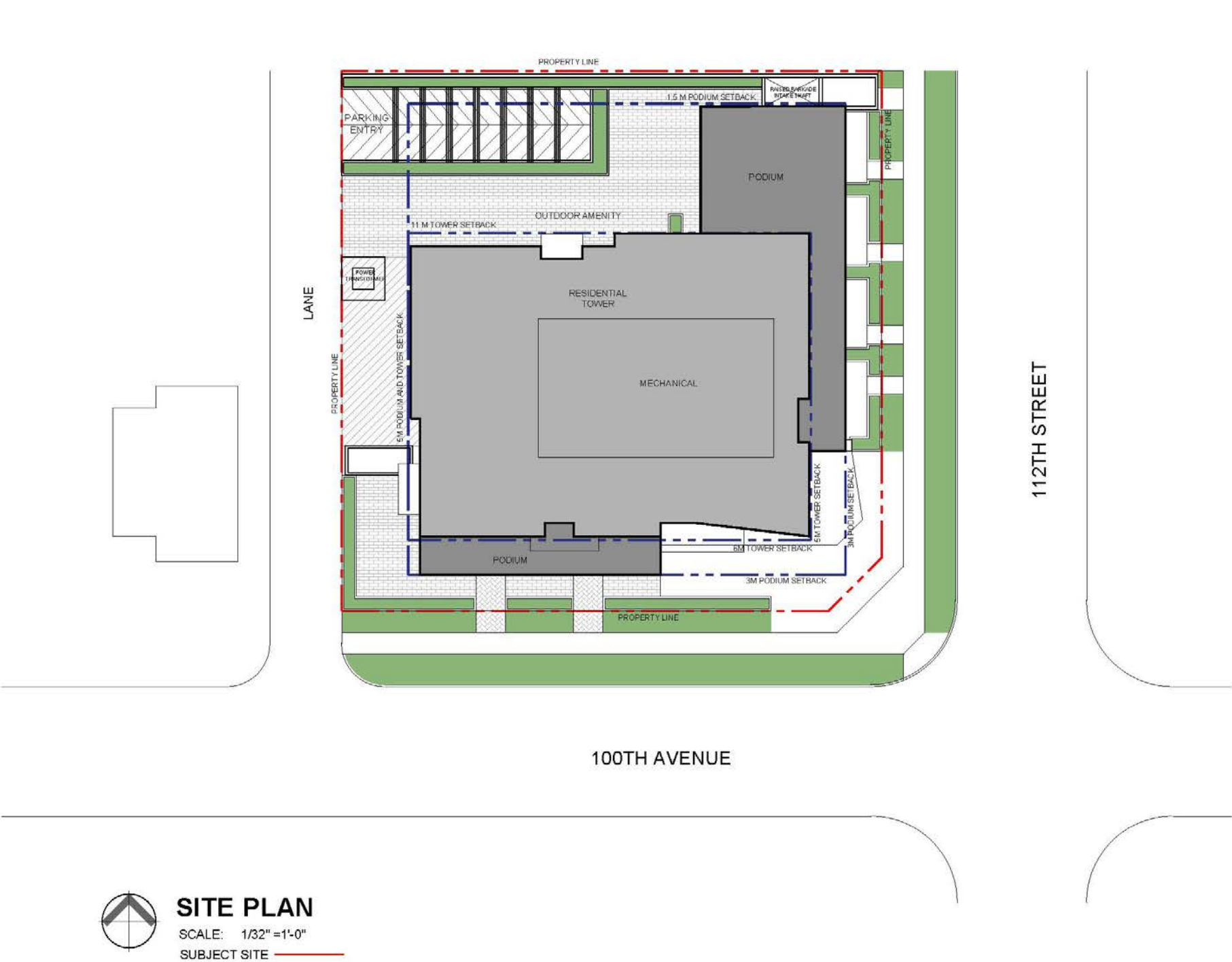
The tower is transparent and welcoming with an approachable façade. The building façades—particularly those on the southeast corner of the building—incorporate large glass panels to allow plenty of daylight into the units, while also providing views in all directions from the tower. The landscape features will be simple and elegant in keeping with the form and architecture of the tower.



3. Design Analysis

Site Plan

Rezoning	DC1 to DC2
Site Area	2,079 m2 (0.21 ha)
Max. FAR	12.0
Max. Height	114 m
Max. Floor Plate	820 m2
Max. Residential Units	310
Min. Amenity Area	7.5 m2/du; 220 m2 communal amenity area
Min. Parking Requirements	Vehicular parking as per Zoning Bylaw, 10 visitor stalls; 1 car share stall, 0.45 bicycle stalls per dwelling
Min Podium Setbacks	North: 1.5 m South: 3.0 m East: 3.0 m West: 5.0 m
Min Tower Setbacks	North: 11.0 m South: 6.0 m East: 5.0 m West: 5.0 m



3. Design Analysis

Design Response to City Documents & Policies

EDMONTON METROPOLITAN REGION GROWTH PLAN

The proposed rezoning conforms to the higher-level planning legislation and policy of the Edmonton Metropolitan Region Growth Plan (EMRGP). The proposed amendment site is located in the area identified as Downtown Edmonton in the EMRGP and is consistent with Table 1A-C which outlines growth directions which:

- encourage intensification in built-up urban areas including brownfield sites to optimize existing and planned infrastructure;
- as well as calling for the planning for and building of transit-oriented development with the highest level of density in the Region in areas with existing and planned LRT service.

The proposed amendment site is located within 400 m of the Grandin LRT station. The amendment will accommodate a high-rise residential development at this transit node, replacing two detached houses and a 2.5 storey multi-family dwelling.

THE WAY WE GROW

The City's MDP, The Way We Grow, encourages growth in mature neighbourhoods and near transit (Policy 3.3.1.2) that contribute to the livability and adaptability of established neighbourhoods (Policy 3.5.1.1). The proposed rezoning provides a mix of residential units, from 1 to 3-bedroom apartments, for various demographic and income groups (Policy 4.4.1.1). The site is also in proximity to education institutions (i.e. Grant MacEwan University and Grandin School), recreation facilities (i.e. Monsignor William Irwin Park, Constable Ezio Faraone Park, Alberta Legislature Grounds, North Saskatchewan River Valley), and numerous employment centres.

THE WAY WE MOVE

This project is consistent with the City of Edmonton TMP, The Way We Move. This site is a short walking distance to the Grandin LRT station (400 m) and Jasper Avenue (less than 200 m) and provides good access to the City's bike lanes on 102 Avenue, supporting trips by multiple non-vehicle modes. In addition, the proposed rezoning would also require secure bicycle parking for residents and additional bicycle parking for visitors that would support use of the 102 Avenue bike route to the north.

OLIVER AREA REDEVELOPMENT PLAN

The proposed rezoning application supports the vision for Oliver outlined in the Area Redevelopment Plan. The plan supports the development of high-density residential and family-oriented housing in the neighbourhood, promoting a diverse character. The building design includes a mix of 1, 2, and 3-bedroom units to appeal to a varied group of singles, families, and seniors as well as a range of incomes to contribute to the diversity of Oliver.

EDMONTON WINTER CITY DESIGN GUIDELINES

This project is consistent with the City's Winter City Design Guidelines. It's location on the northwest corner of the street allows for the avoidance of excess shadow casting on adjacent sidewalks. The building will incorporate transparent glazing into building façades to allow for visual access to internal uses which also allows for passive surveillance and illumination between outdoor spaces and building users. At grade residential uses will be delineated from public spaces using grade separation. Weather protection in the form of canopies is provided above the main entrance of the building. In addition, decorative and security lighting will be provided to ensure a well-lit pedestrian environment.

CITY OF EDMONTON TRANSIT ORIENTED DEVELOPMENT GUIDELINES

The proposed development is located within 400 m of the Grandin LRT station which is a designated Downtown station. Downtown station areas are characterized by an existing mix of land uses and built forms laid out on an interconnected street grid. The Grandin LRT station area is highly diverse with a mixture of low, medium and high rise residential and commercial development. This proposed development is consistent with the Downtown General Guidelines in that it:

- fronts onto the street with parking located underground; ground level residential and commercial units front onto the street with individual accesses at grade;
- quality and contextually appropriate materials are used;
- the building massing and façade is articulated to define scale;
- incompatible elements are screened;
- windows and entries are located to minimize impacts for adjacent properties; and
- on-site amenities are provided to buffer adjacent residential development.

3. Design Analysis

Design Response to Adjacent Buildings & Uses

The proposed development responds to existing buildings and uses in the following manner:

- 01: The building is designed to provide a narrower profile on the skyline through the use of a slender floor plate and the predominate use of glass on the tower. Materials traditional to the neighbourhood, such as brick cladding have been incorporated into the first two storeys. The building and landscape design seeks to minimize impacts and provide a sensitive transition to neighbouring properties. The massing of building has been oriented to the corner of 112 Street and 100 Avenue to provide prominence on the corner.
- 02: The location of building massing provides for landscaped separation space from lower scale residential uses to the north.
- 03: The building frontage adjacent to 112 Street provides for a continuation of the existing residential frontage with the inclusion of at grade townhomes.
- 04: Neighbourhood scale retail frontage is proposed along 100 Avenue (reinforcing the mix of residential and commercial uses on 100 Avenue). In keeping with the existing transportation network vehicular parking is off of the lane. The site is connected to downtown via Jasper Avenue and 100 Avenue.



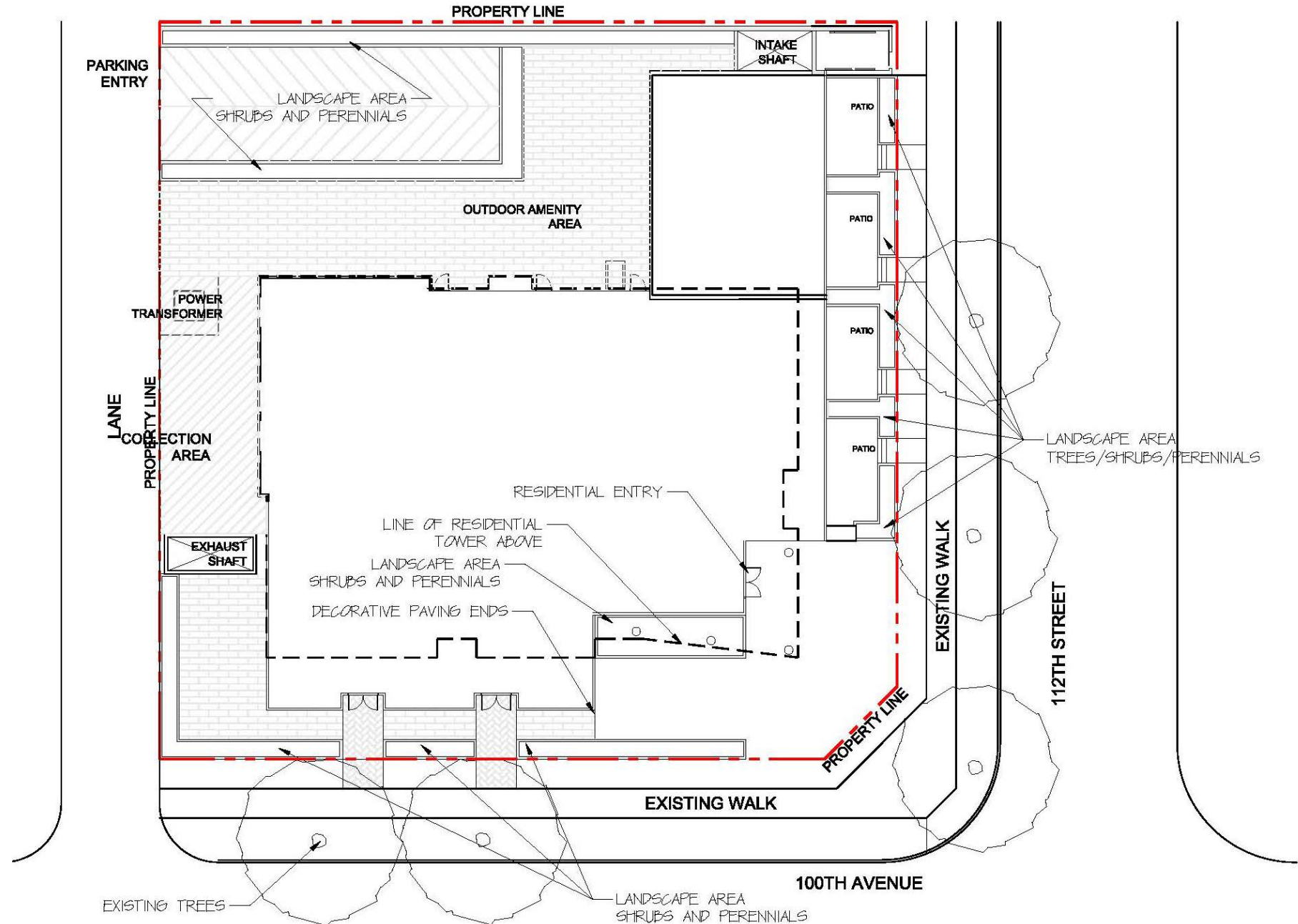
3. Design Analysis

Landscape Principles

The landscaping is carefully designed to compliment the uses of the site. The building will be designed utilizing CPTED standards to ensure a safe and secure environment for its residents. The principle residential entry features prominently, addressing the corner of 112 Street and 100 Avenue. The at grade townhouses located in the podium have been designed to create a clearly defined separation from the street.

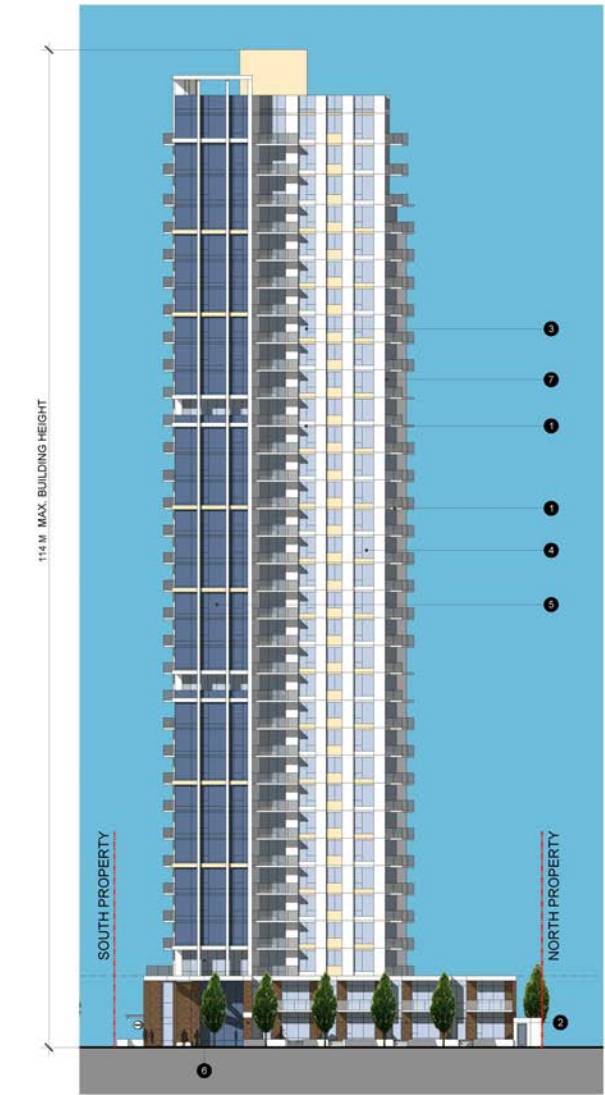
The interface with existing residential development to the north is landscaped to provide visual screening between the sites. In addition, this area is activated through the provision of an outdoor amenity area and bicycle parking.

The commercial units on the ground level feature large windows and individual entrances from the street. With eyes on the street and its transparent nature, the building will also positively contribute to the safety of the neighbourhood. The addition of residential density on this street will add round-the-clock activity that will support use of the surrounding facilities and spaces.

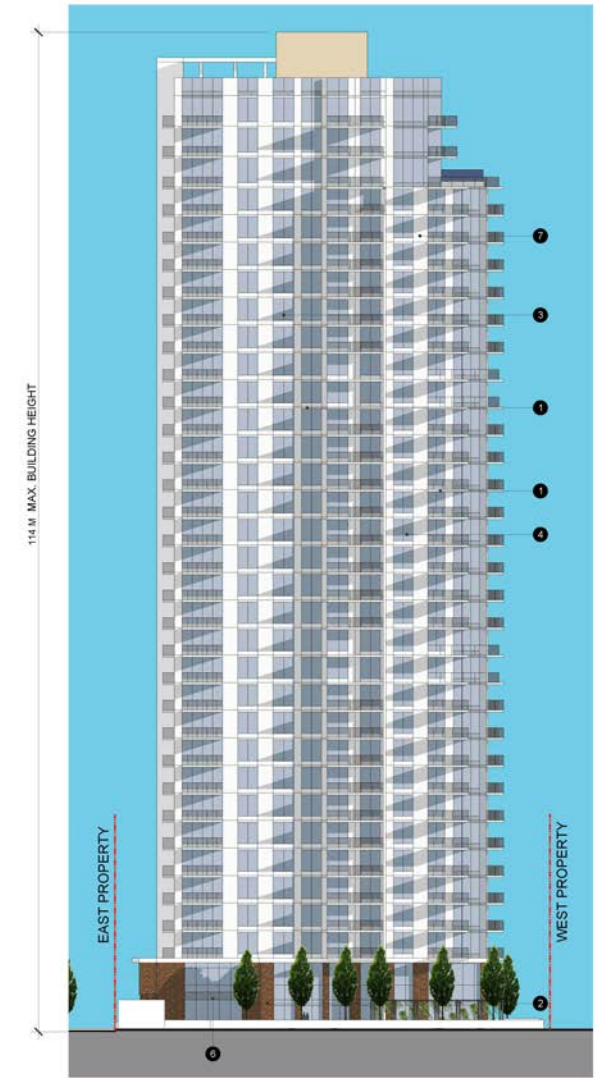


3. Design Analysis

Building Elevations & Materials



EAST ELEVATION



NORTH ELEVATION

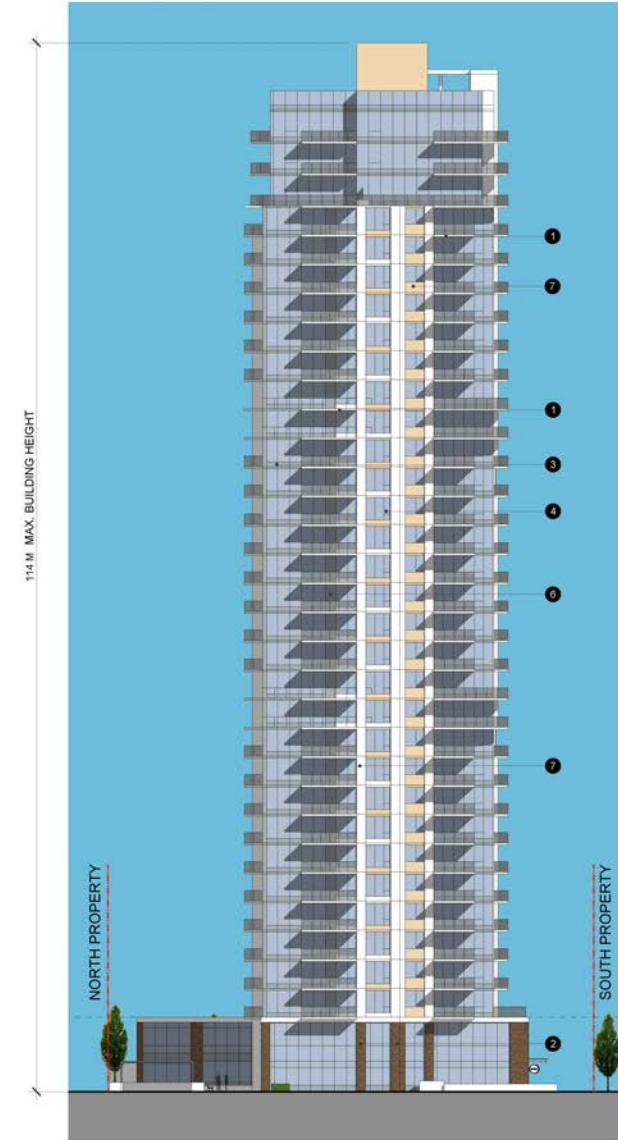
3. Design Analysis

Building Elevations & Materials



SOUTH ELEVATION

- 1 ARCHITECTURAL PAINTED CONCRETE
- 2 BRICK VENEER
- 3 ALUMINUM MULLION
- 4 GLASS WINDOW WALL
- 5 GLASS WINDOW WALL
- 6 GLASS WINDOW WALL
- 7 METAL PANEL



WEST ELEVATION

- 1 ARCHITECTURAL PAINTED CONCRETE
- 2 BRICK VENEER
- 3 ALUMINUM MULLION
- 4 GLASS WINDOW WALL
- 5 GLASS WINDOW WALL
- 6 GLASS WINDOW WALL
- 7 METAL PANEL

3. Design Analysis

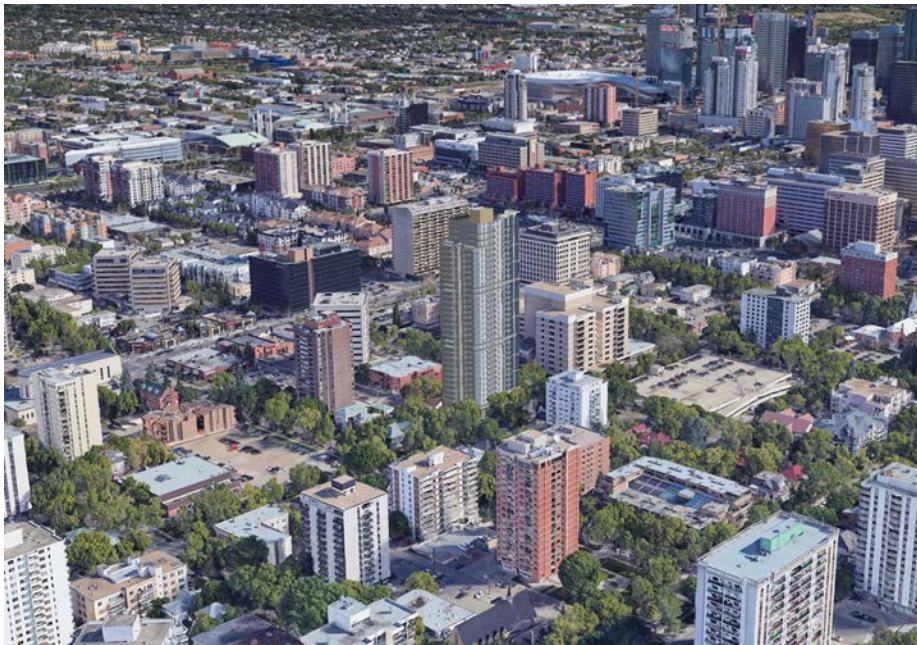
View Corridors



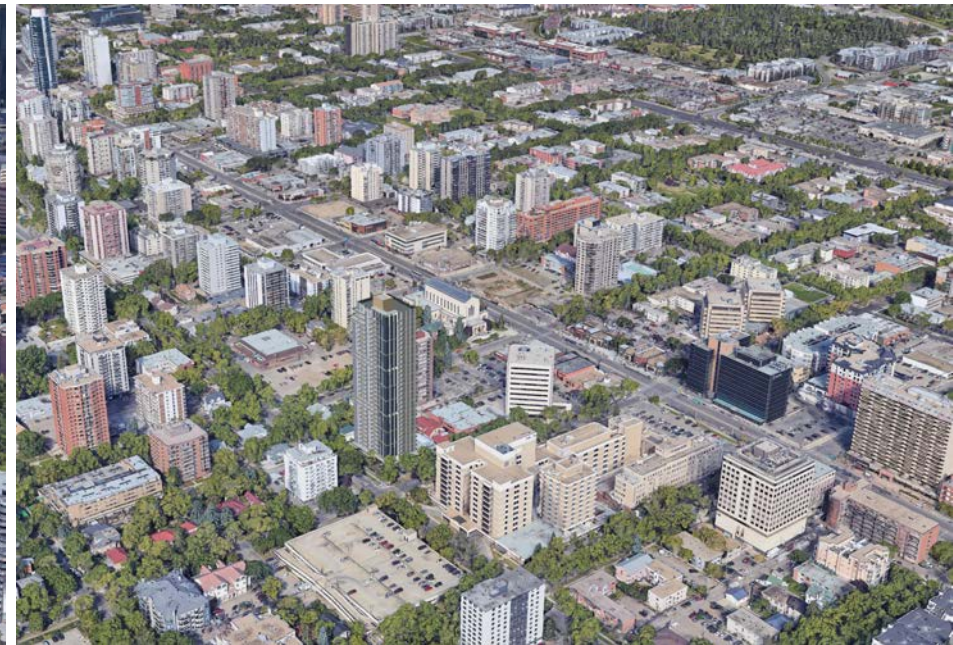
SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHEAST VIEW



NORTHWEST VIEW

3. Design Analysis

View Corridors



SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHEAST VIEW



NORTHWEST VIEW

3. Design Analysis

Emerging Context Height

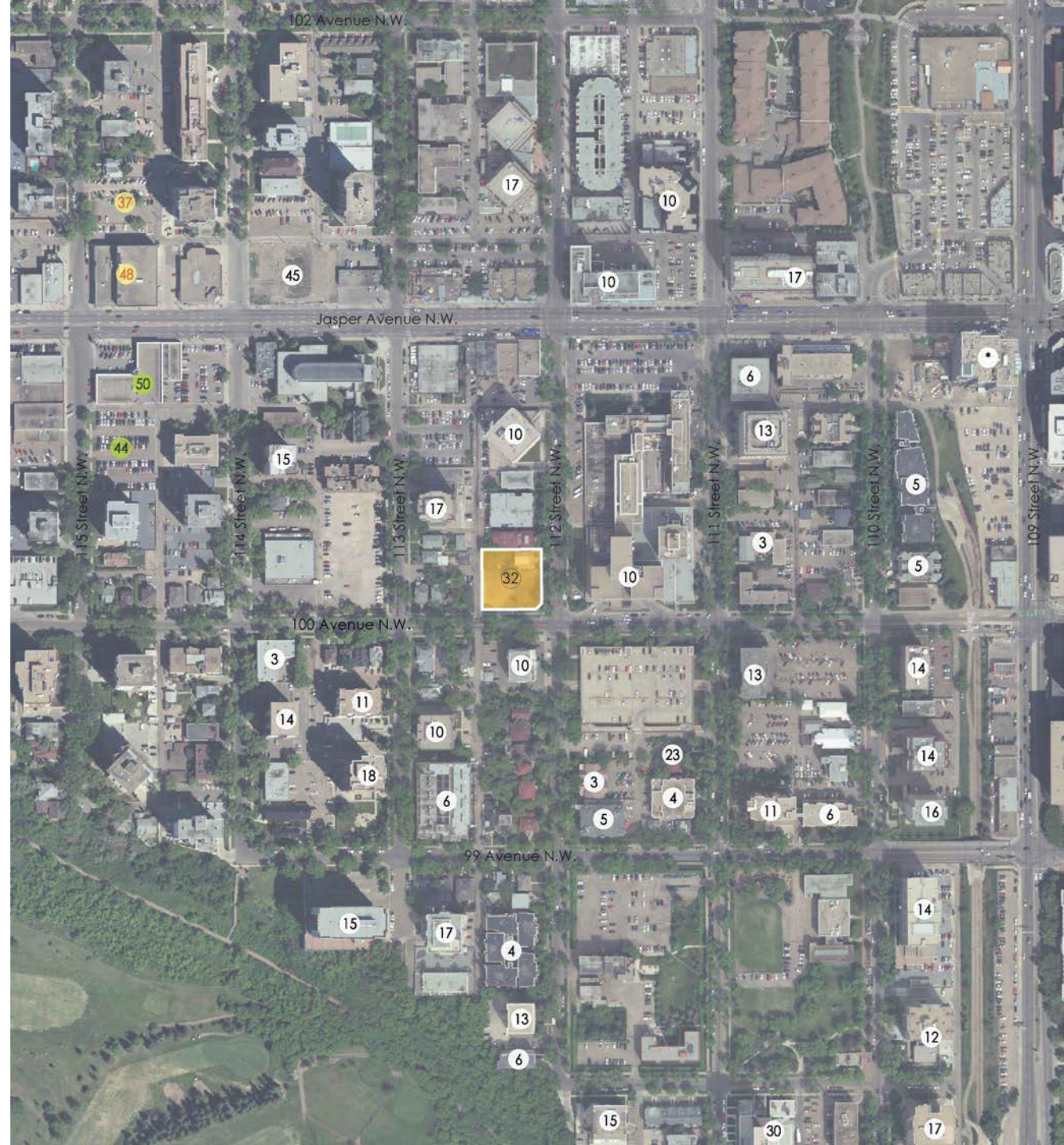
Building heights in the area vary significantly, from two storey detached houses, to low rise apartments, to modern high-rise towers. The proposed 32-storey tower, located 1 block south of Jasper Avenue, would be among the tallest in the immediate area, but would not be as tall as some recently approved and proposed applications in the neighbourhood.

The Oliver neighbourhood is experiencing a transition in the height of residential and commercial buildings. This is illustrated by the following recently approved sites and those with current rezoning applications:

- Emerald Tower 45 Storeys: Located at the corner of 114 Street and Jasper Avenue
- Grandin Sky 23 Storeys: Located on 111 Street south of 100 Avenue
- Edmonton Motors approx. 50 and 44 storeys: Located at the southeast corner of 115 Street and Jasper Avenue
- LDA18-0130 Application 48 and 37 storeys: Located at the northeast corner of 115 Street and Jasper Avenue

Legend

- Site Boundary
- Indicates number of storeys
- Submitted LDA Applications
- Approved LDA Applications



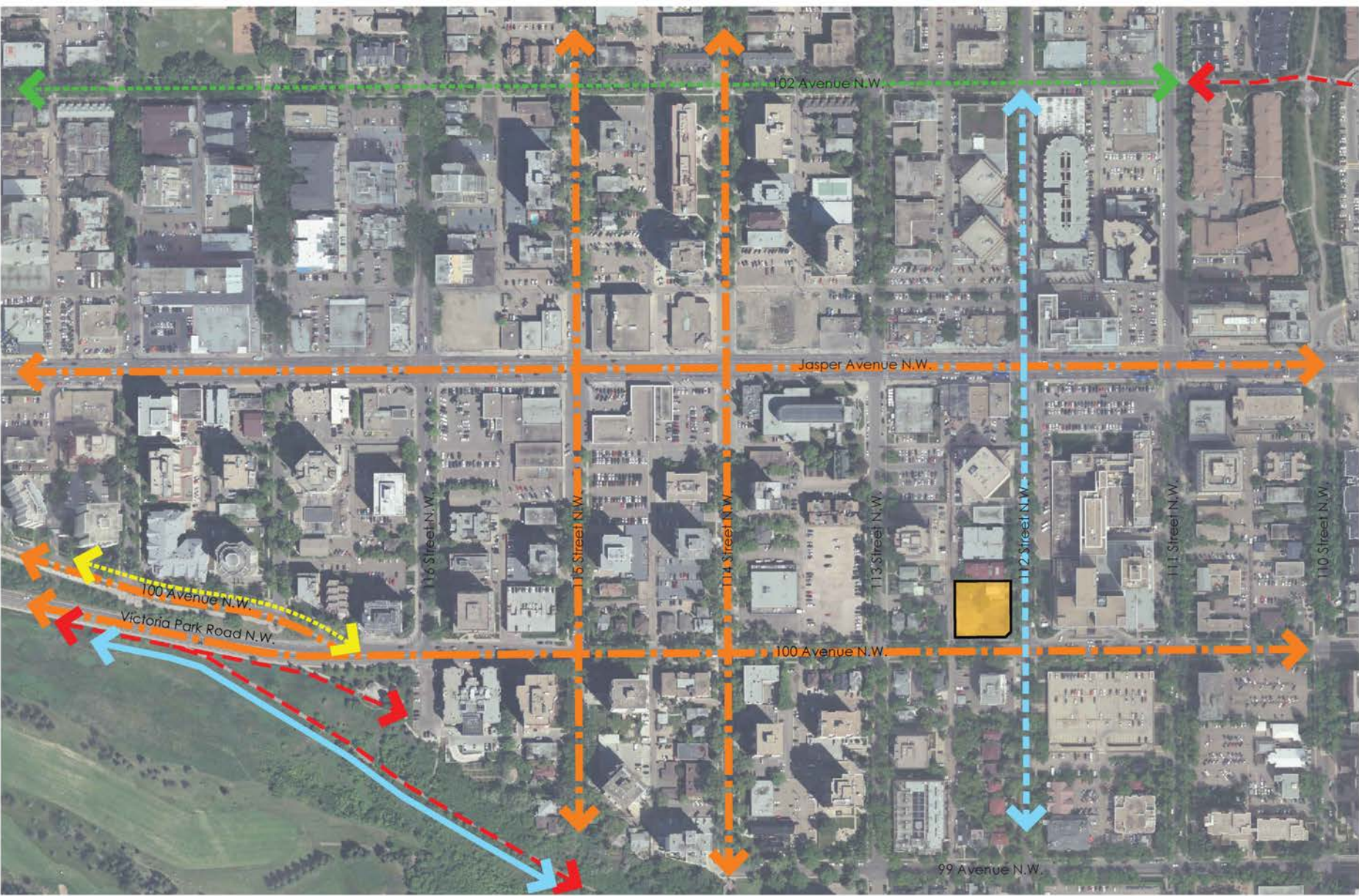
3. Design Analysis

Site Accessibility and Connectivity

Integrated with the existing community, the proposed development will be within easy walking distance to the LRT, the river valley, Jasper Avenue, downtown, and the surrounding neighbourhood.

The site connects to the City's bicycle network via 112 Street which is a shared roadway. The river valley—and the various recreation opportunities located within—is a short walk south from the proposed site; or residents could walk 1 block north to reach Jasper Avenue, a designated transit avenue and historic main street. All the potential needs of the residents can be met through the integrated network that will support the development of this project.

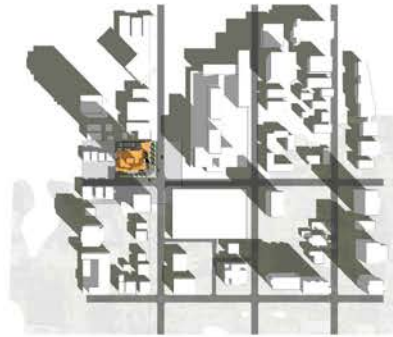
Respecting the urban form in Oliver, the lane will be the sole access point for vehicles. This maintains the pedestrian-oriented frontage along 112 Street and 100 Avenue, supporting pedestrian circulation of the neighbourhood.



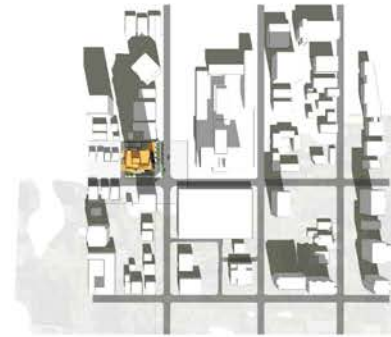
3. Design Analysis

Sun Shadow Analysis

The slim tower design of the proposed development, in combination with its location on the corner of 112 Street and 100 Avenue, results in building shadows that are narrow, and which pass quickly across the landscape.



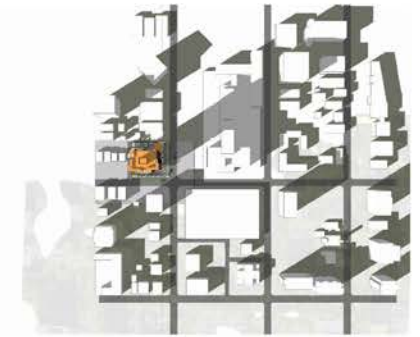
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