

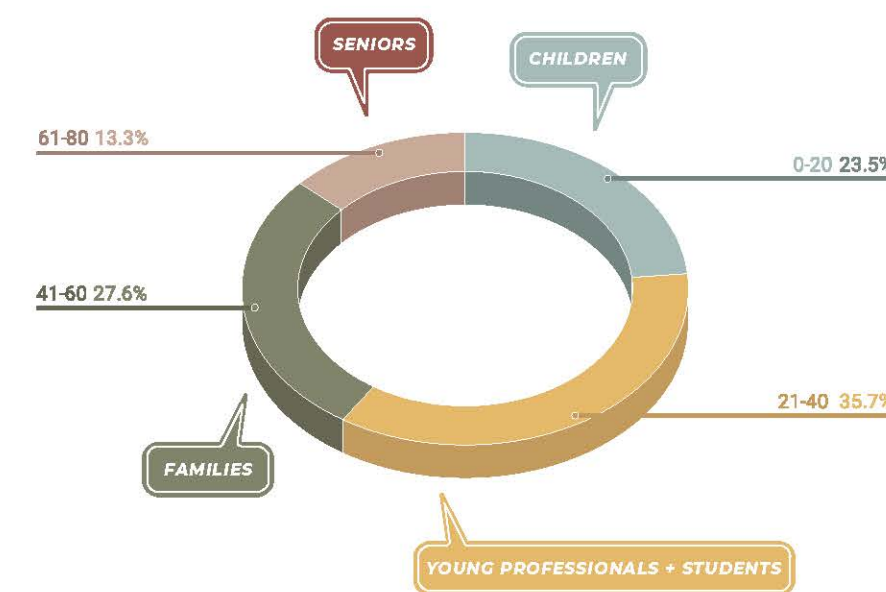
The Goodweather*

THE 'MISSING MIDDLE'

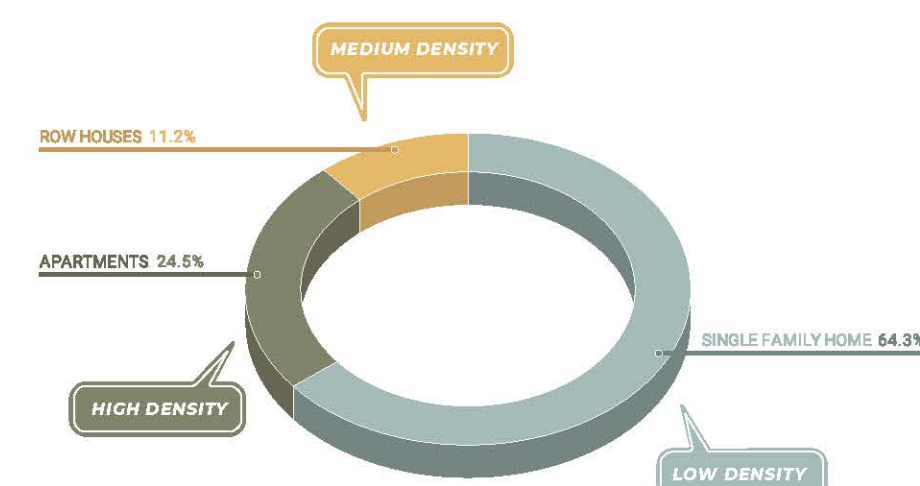
We believe the missing middle should have a strong sense of community that has a diversity of people and room for all walks of life. It should have shared space that everyone feels ownership for and treats as their own. We believe the missing middle is a place that promotes human interaction by providing space to play, relax, and enjoy the outdoors, together. It should not be car-centric, but rather it should aim to diminish the need to give up valuable space to store mobility. We believe the missing middle should promote walking, biking, and public transit.

SPRUCE AVENUE NEIGHBOURHOOD ANALYSIS

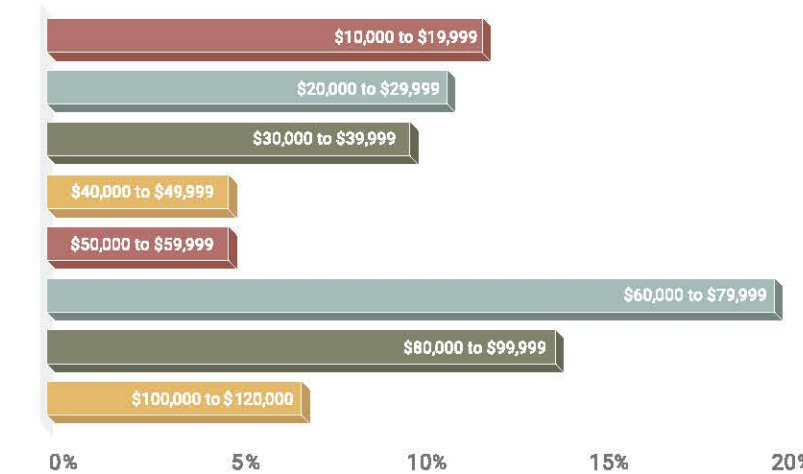
1. AGE COMPOSITION



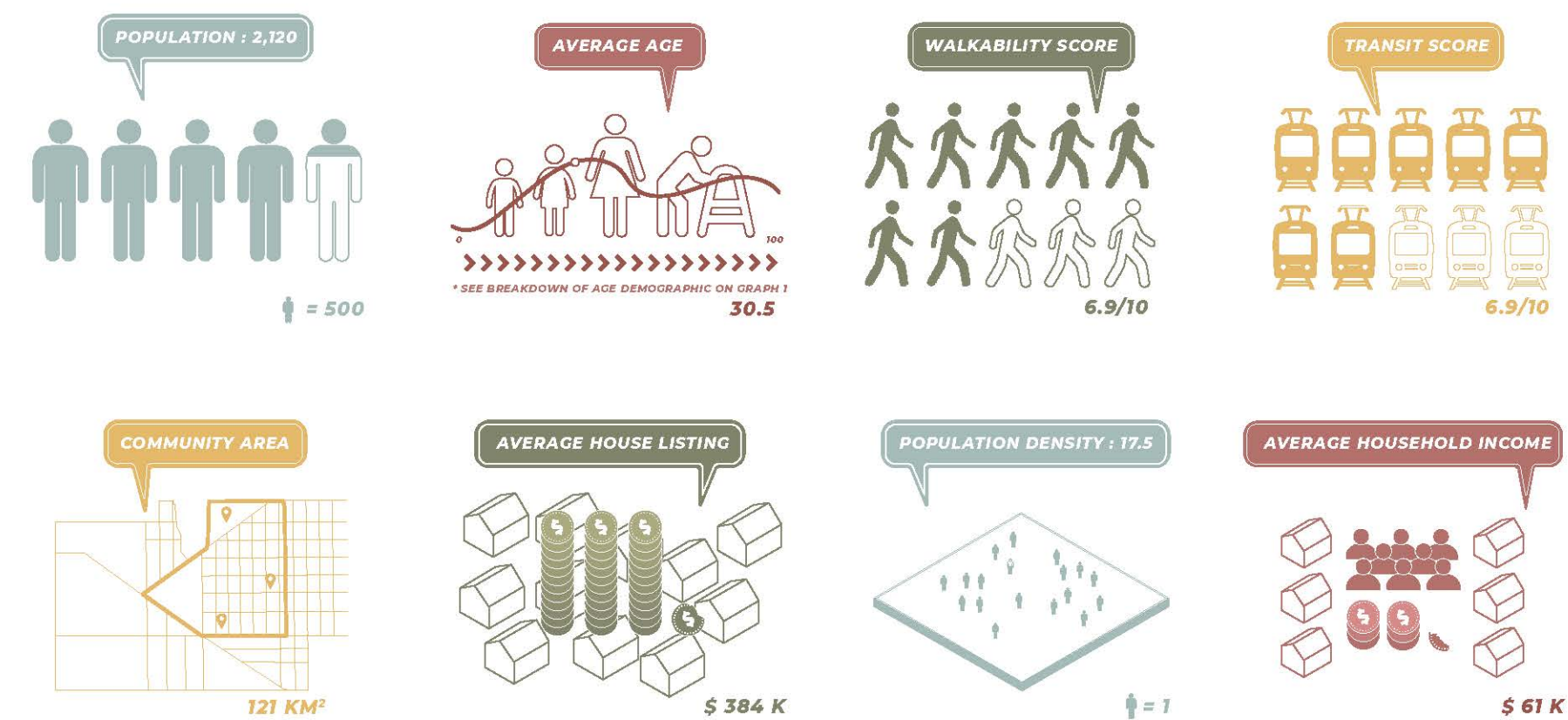
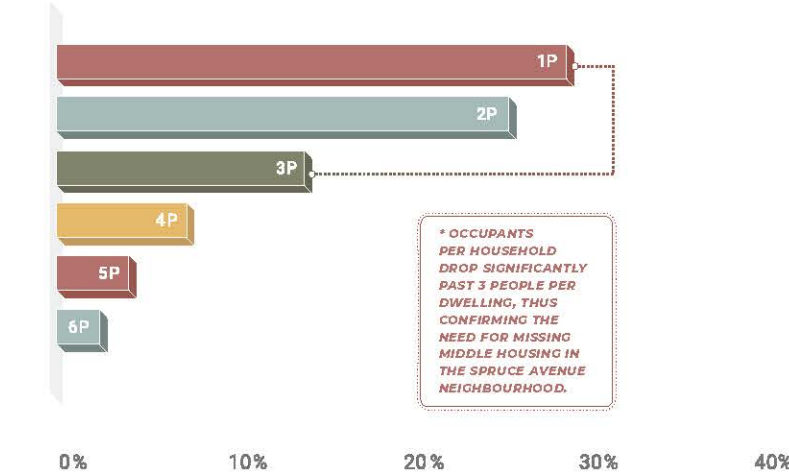
2. EXISTING RESIDENCE TYPES



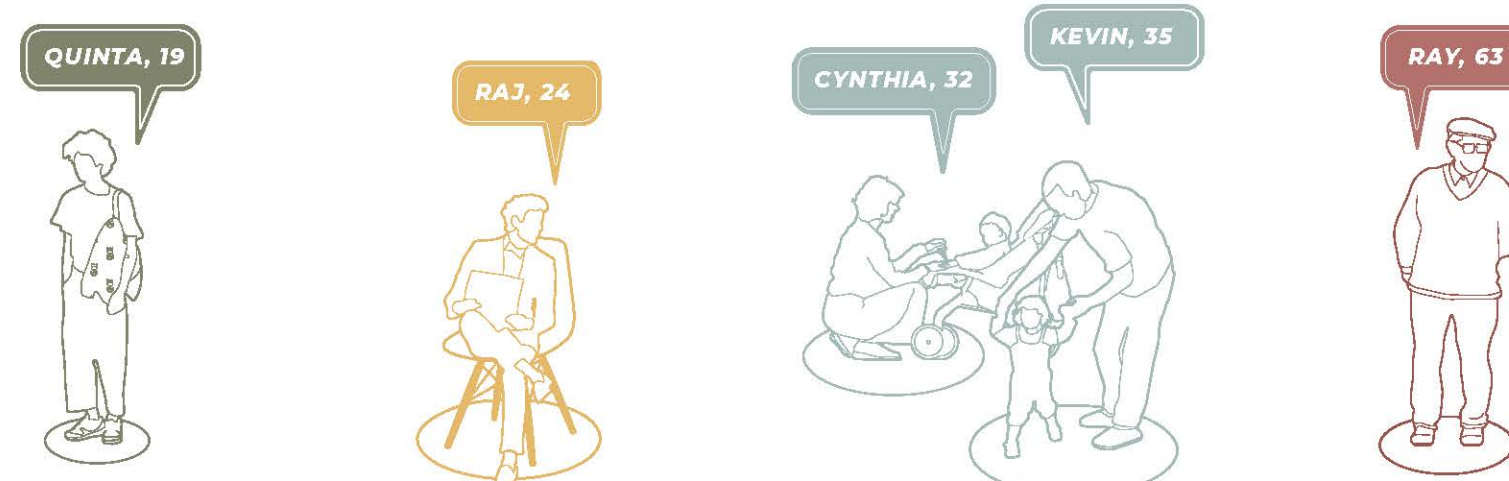
3. HOUSEHOLD INCOME



4. PEOPLE PER HOUSEHOLD



MEET THE FACES OF THE GOODWEATHER :



QUINTA, 19 IS A 19 YEAR OLD STUDENT, STARTING HER FIRST YEAR AT NAIT. HER PARENTS HELPED HER PURCHASE A COFF DWELLING IN THE GOODWEATHER, WHICH SHE CAN RENT AND LIVE IN WHILE SHE'S A STUDENT, THEN CONTINUE TO LIVE THERE AFTER SCHOOL. LE OVER, SHE LOVES THAT SHE CAN GARDEN WALK TO NAIT IN LESS THAN 20 MINUTES, AND CAN WALK TO THE MALL AND ALL THE OTHER AMENITIES SHE NEEDS.

RAJ, 24 IS A 24 YEAR OLD SINGLE YOUNG PROFESSIONAL THAT RECENTLY GRADUATED AND MOVED TO EDMONTON FOR A NEW JOB. HE WANTED TO BUY A SMALL DWELLING THAT WOULD FIT HIS NEEDS AND LIFESTYLE, IN A PLACE THAT IS WELL CONNECTED TO THE CITY BY TRANSIT, AND HAS AMENITIES CLOSE BY. A COFF DWELLING IN THE GOODWEATHER WAS THE PERFECT FIT.

CYNTHIA (32) AND KEVIN (35) HAVE BEEN MARRIED FOR 8 YEARS AND NOW HAVE 2 KIDS. THEY WERE FELT THE NEED FOR MORE SPACE SINCE THEIR HOME IN SPRUCE AVENUE WHERE THEIR FIRST HOME, AND WANTED SOMETHING AFFORDABLE. THEY HAVE ONE FAMILY CAR SO THE SINGLE CAR GARAGE WAS PERFECT, WITH STORAGE. CYNTHIA ALSO LOVED THAT HER PARTNER COULD LIVE CLOSE BY SO THAT SHE COULD PROVIDE ANY SUPPORT HE MIGHT NEED, AND SO HER CHILDREN COULD SPEND QUALITY TIME WITH THEIR GRANDPA.

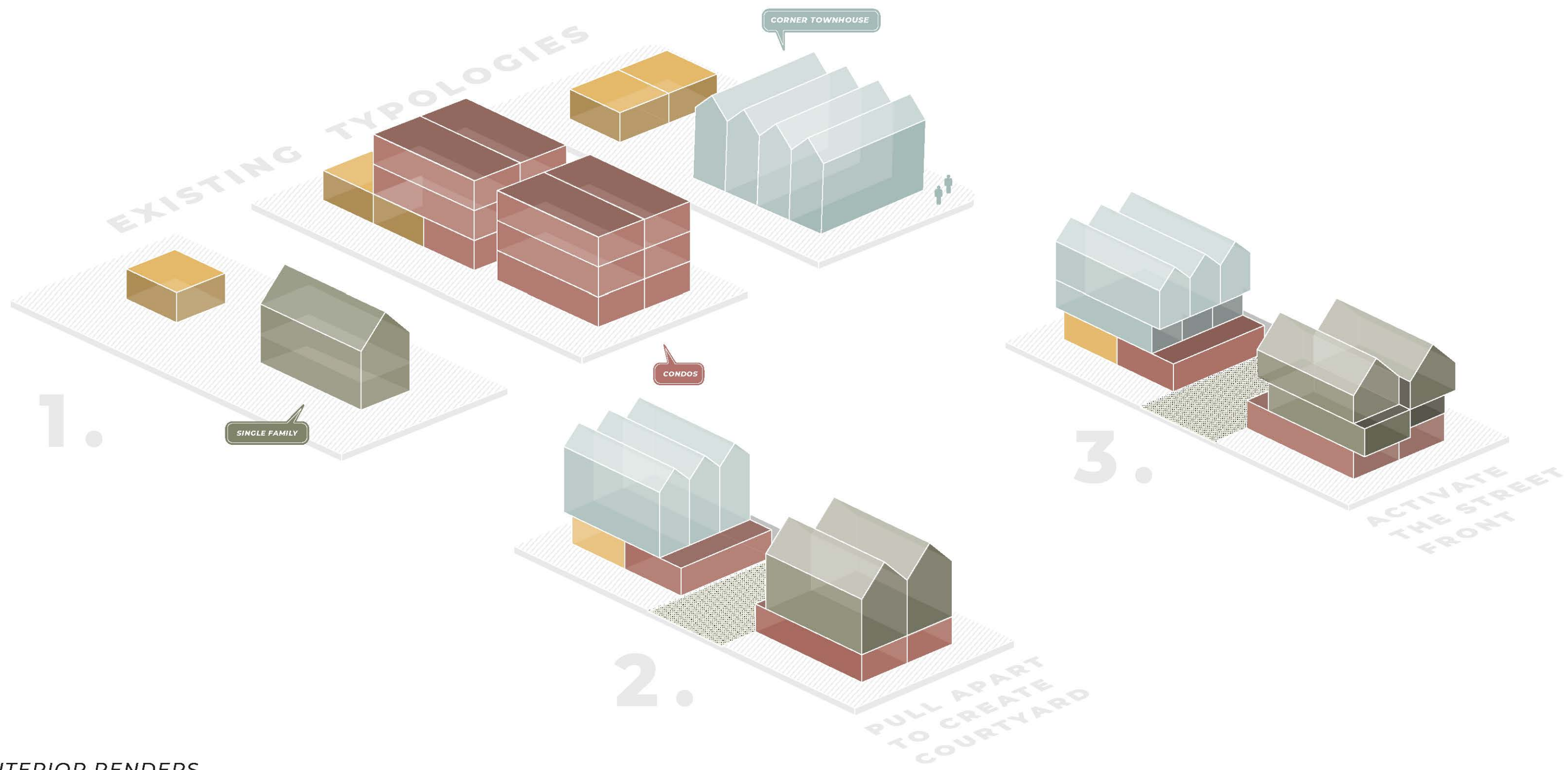
RAY IS A 71 YEAR OLD MAN WHO RECENTLY RETIRED AND DOWNIZED FROM HIS SUBURBAN HOME IN SPRUCE AVENUE WHERE HE RAISED 2 CHILDREN. HE LOVES THE NEIGHBOURHOOD AND DIDN'T WANT TO MOVE FAR. RAY ALSO WANTED TO LIVE CLOSE TO HIS DAUGHTER CYNTHIA AND HIS TWO GRAND CHILDREN, WHO DON'T PRODUCE THEIR FIRST THREE-BEDROOM TOWNHOME JUST DOWN THE WALKWAY. HE LOVES THAT HE CAN BE CLOSE TO FAMILY BUT STILL MAINTAIN HIS INDEPENDENCE. HE CAN EASILY WALK TO THE MALL AS WELL AS TO THE HOSPITAL FOR HIS APPOINTMENTS.



In the heart of Spruce Avenue, with nearby parks, education institutions, shopping centres, and healthcare facilities, the proposed development is ideally positioned to offer a high standard of living for its residents while integrating into the existing fabric of the established community. Catering to students, families, and seniors, The Goodweather brings people from various walks of life together. The aim is to address the current mismatch between Edmonton's existing housing stock and its shifting demographics. This proposal intends to serve a growing demand for affordable, accessible, intergenerational living.

Interior Layouts

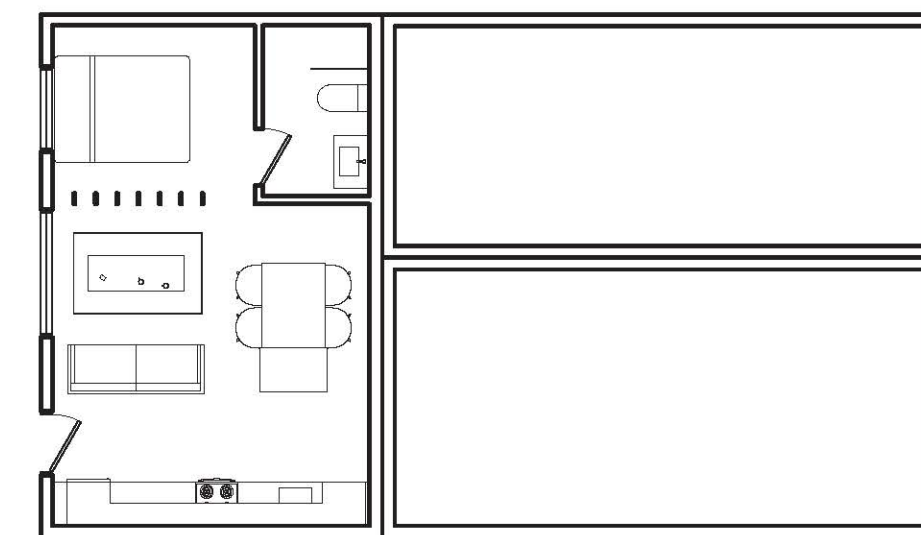
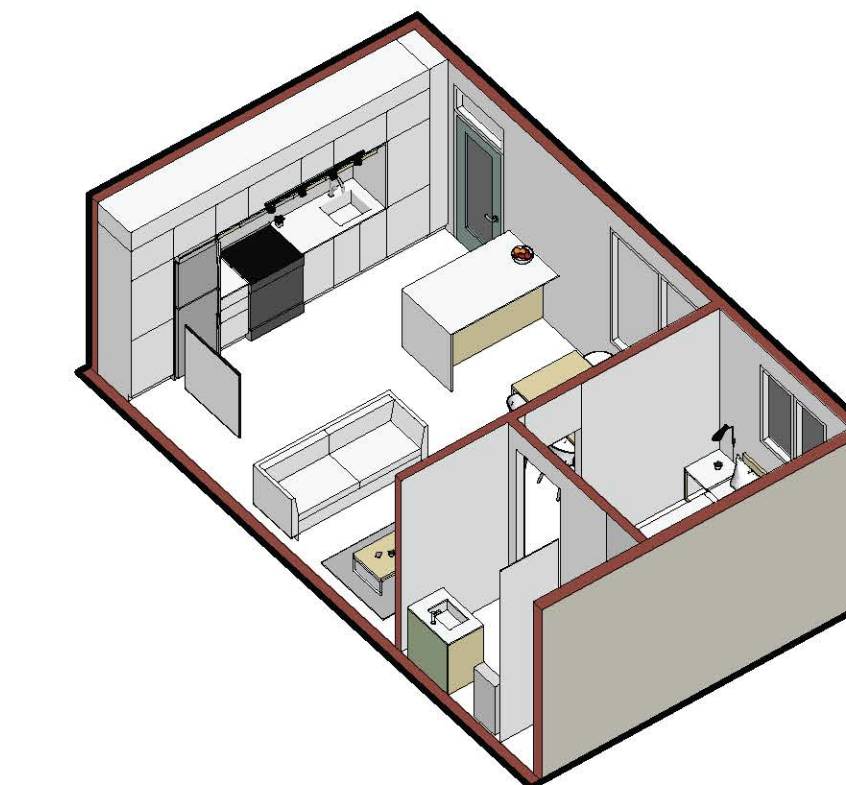
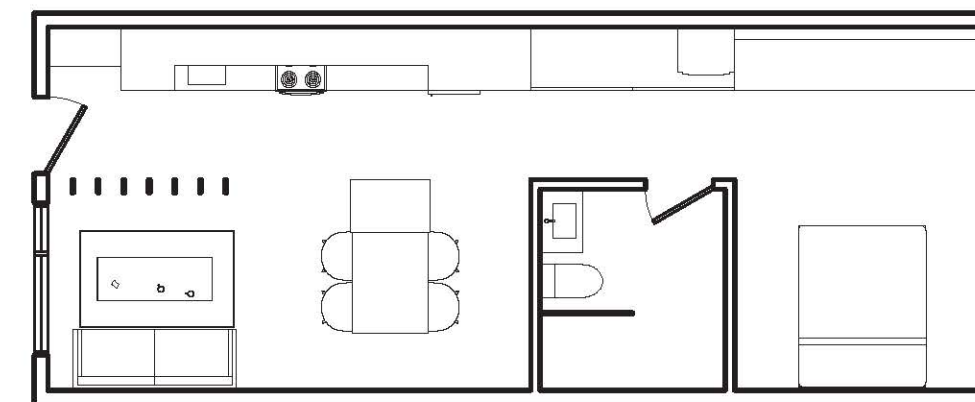
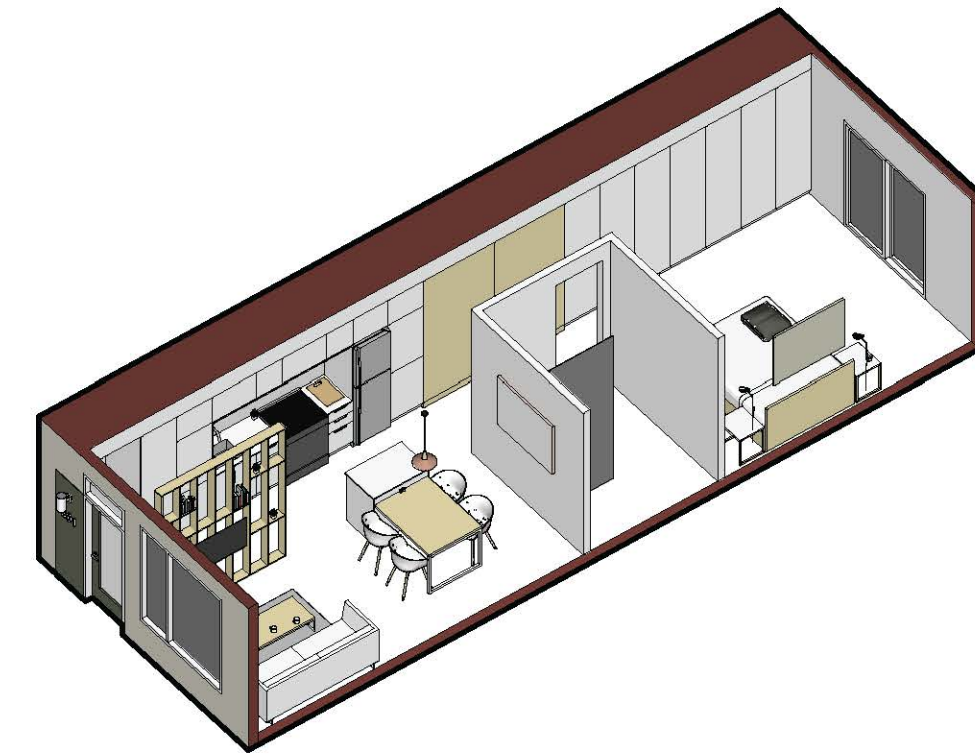
MORPHOLOGY DIAGRAM



INTERIOR RENDERS

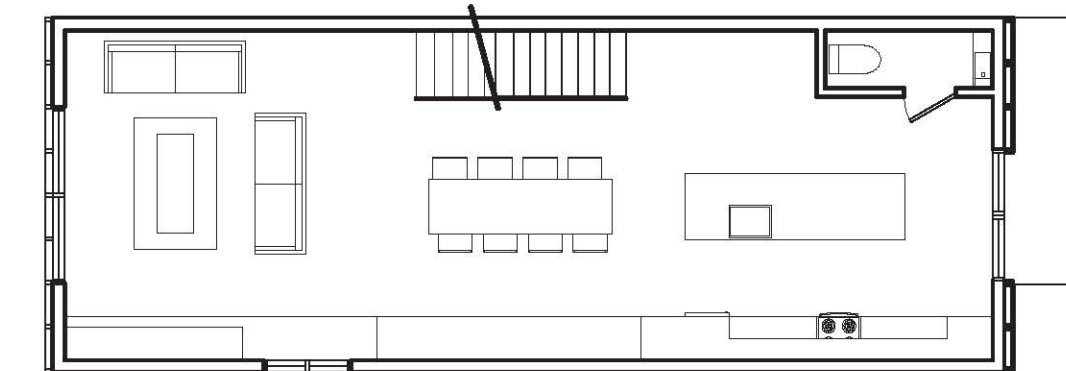
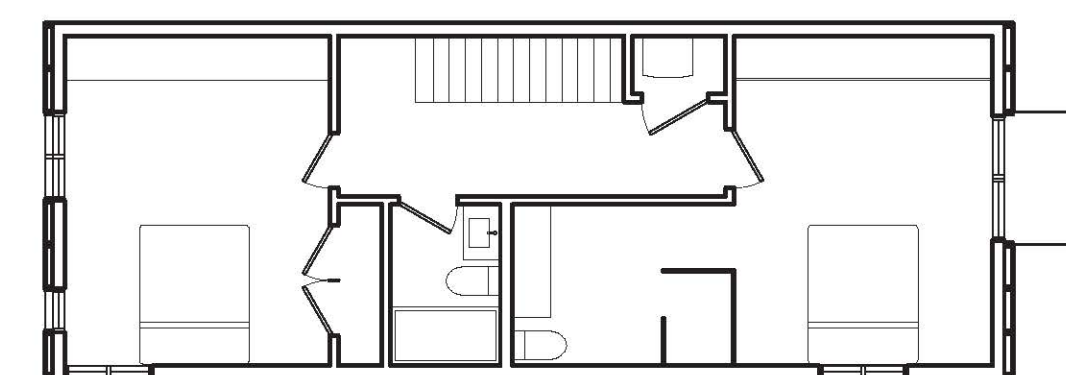
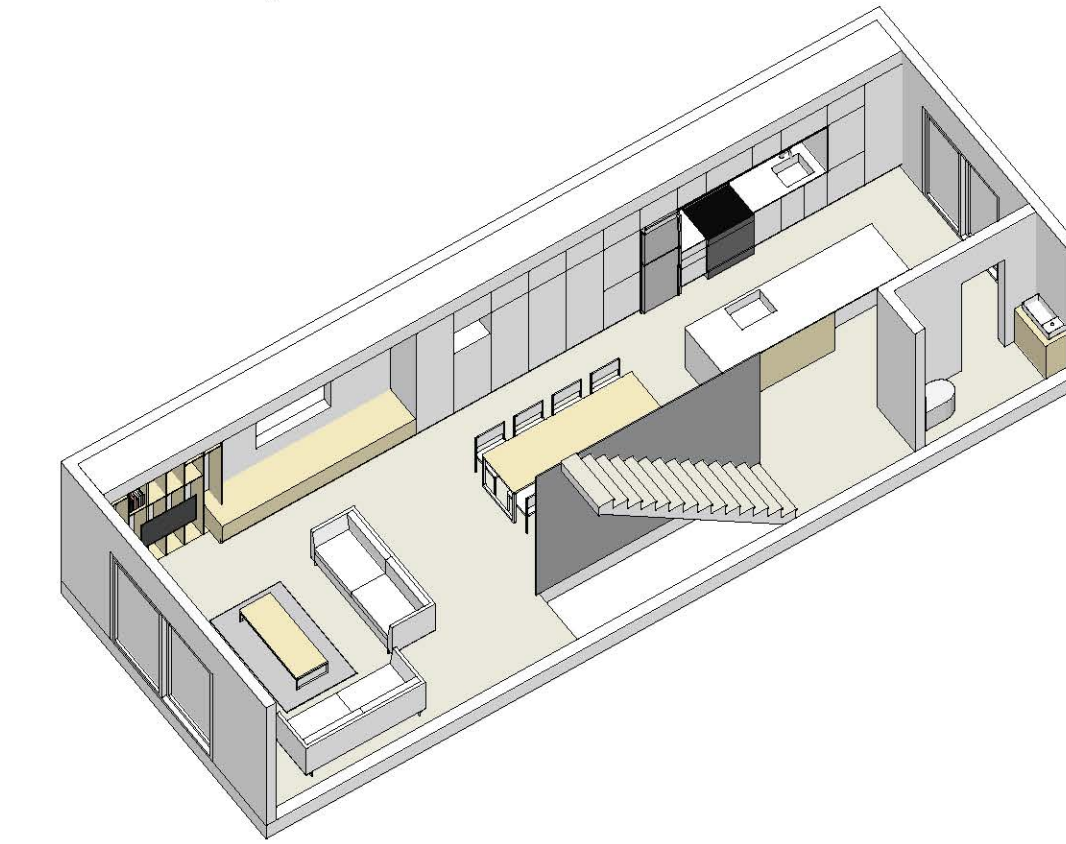
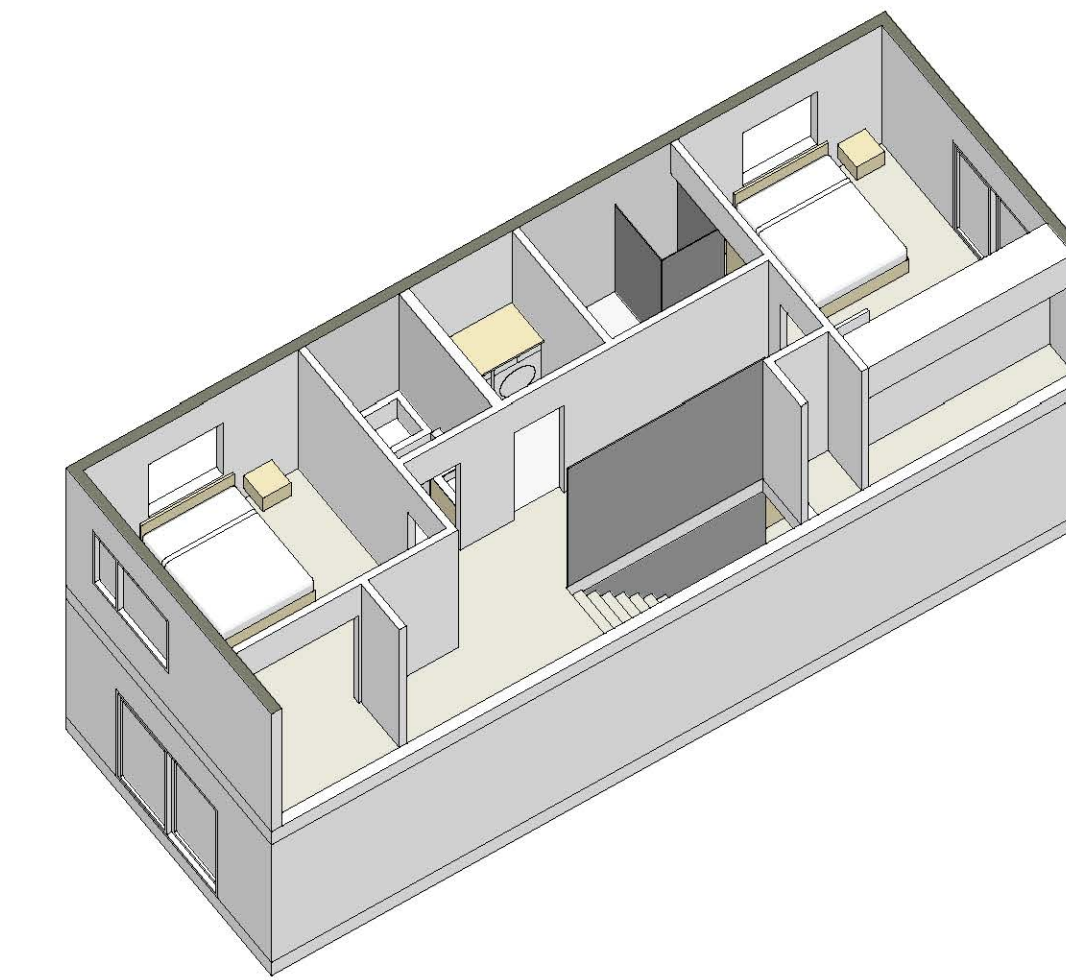


SENIOR DWELLING LAYOUT

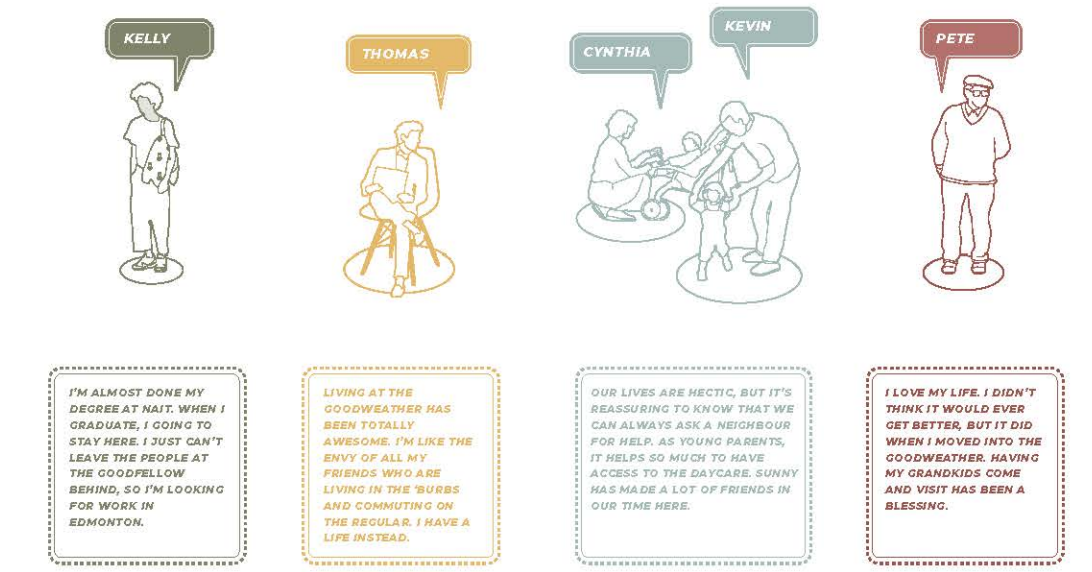


The ground level senior oriented dwellings are all accessible and barrier free. These dwellings are small, efficiently designed spaces that offer room for one to two people to live. The front door is on 106 Street, with patio doors that face on to the courtyard. The design incorporates high contrast interior finishes, grab bars, and universally accessible bathrooms. a continuous millwork wall runs the length of the dwelling and serves the adjacent rooms from the entry through to the bedroom.

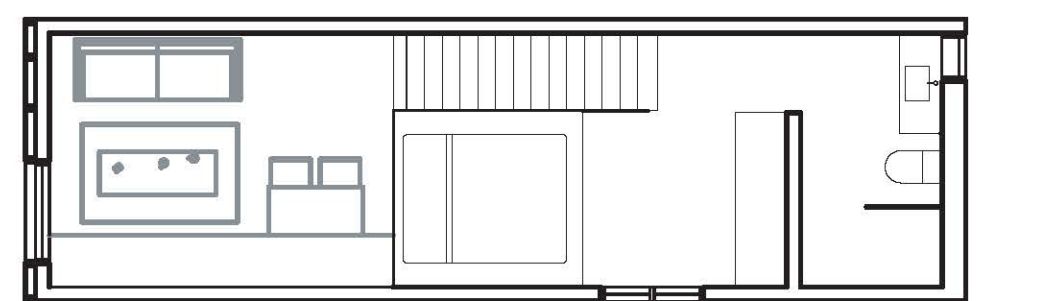
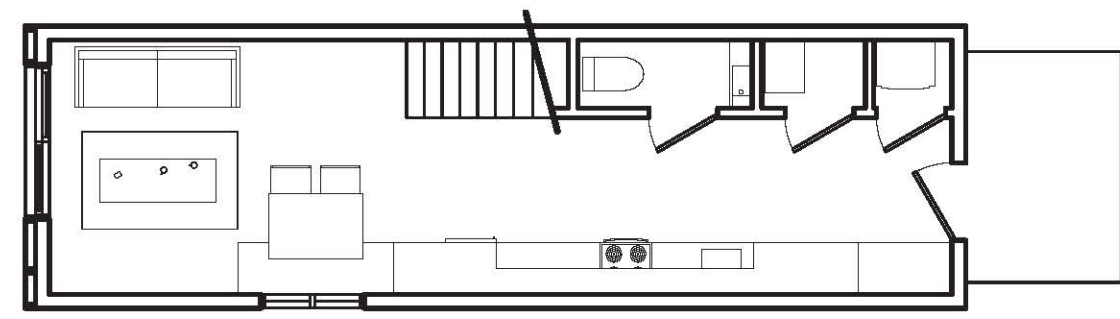
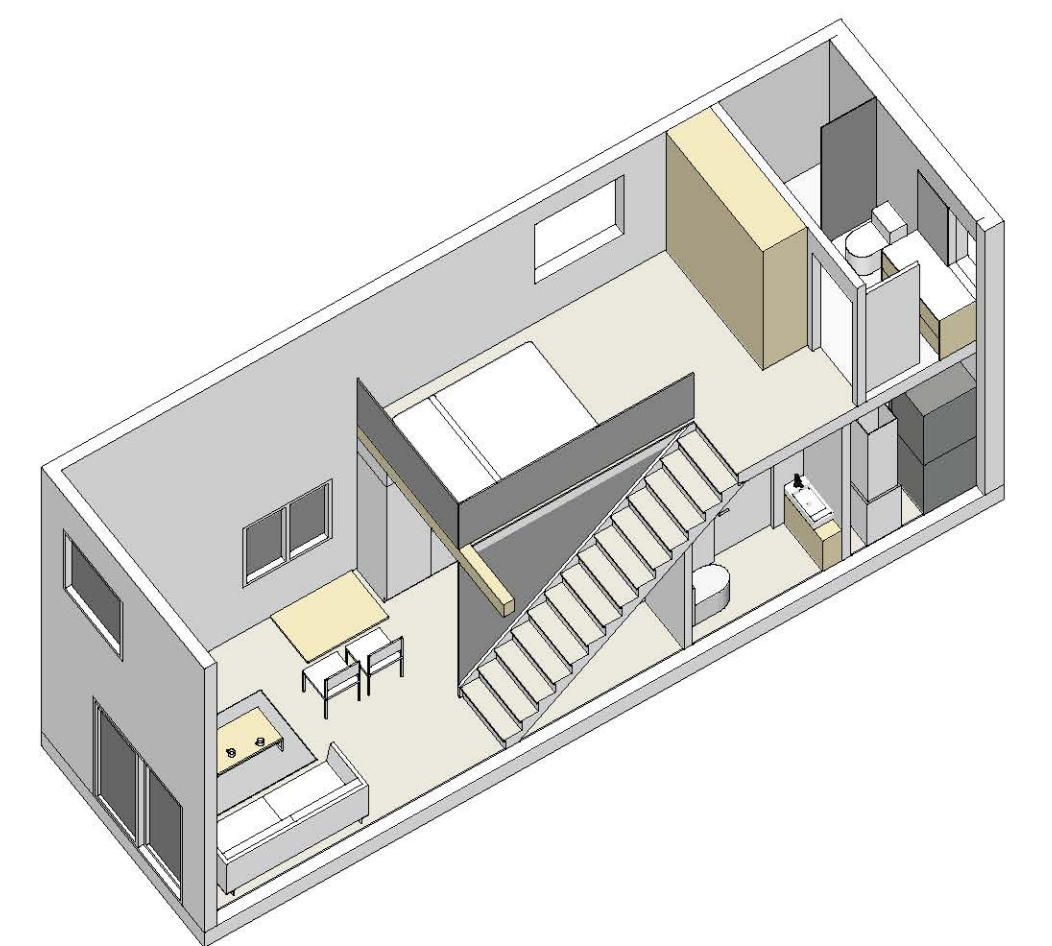
FAMILY DWELLING LAYOUT



The family oriented dwellings are situated along 106 Street and are accessed from the shared courtyard. With two to three bedrooms, two and a half bathrooms, and an open kitchen/dining/living arrangement, the townhouses offer families the room to grow. Like all the other dwellings, the townhouses have views to both the shared courtyard and towards 106 Street. Each townhouse has it's own oversized single car garage that faces the alley.



LOFT DWELLING LAYOUT



The student/young professional oriented dwelling, are along the east side of the property, facing towards the shared courtyard, and cater to the lifestyles of students and people taking the LRT downtown. Close to the NAIT campus, these dwellings provide a walkable alternative to living in residence for students. Accessed by stairs from the shared courtyard, the dwellings are compact and efficient, yet spacious. The layout is long and linear, with a double height space above the dining and living rooms. The second level loft has a full bathroom, closet, and bedroom that overlooks the living space below.



VIEW FROM BALCONY



VIEW FROM 106 STREET



FACADES

Detailed perforated metal railings animate the balconies, giving depth and character to the facades. Depicting local flora such as mountain ash and Alberta rose, the railings aim to fit within the eclectic fabric of the community. These perforated railings flow throughout the project, found inside and outside of all of the dwellings, creating a unique characteristic trait that helps define the Goodweather.

The facades of the buildings are clad in standing seam metal and knotty cedar. The cedar is strategically placed on surfaces that will receive minimal direct sunlight and rain, and will add a natural warmth to the building. The design incorporates simple forms that shift and overlap each other creating an uncomplicated, yet dynamic façade. Gabled rooflines are used to help relate to the context of the surrounding historic neighbourhood.

Community Assembly



The Goodweather synthesizes a variety of existing typologies into a new, exciting configuration that brings together many demographics and generations in to one pocket community. In total there are 56 dwellings: 14 townhouses designed for young families, 21 single bedroom loft dwellings for students and young professionals, and 21 ground level dwellings designed for seniors. There are 14 single car garages and 6 guest parking stalls, all accessed from the alley. Since the location is so close to amenities and public transit and exists within the TOD zone, parking is diminished to take advantage of it's well-connected site and to increase density.

The courtyard opens up to the south allowing for maximum sunlight penetration in to the courtyard and both facades of all of the dwellings. The southeast corner of the courtyard is punctuated by a community space that includes a small community hall and daycare. The courtyard will serve the entire community as a large backyard, with plenty of spaces for sitting, gathering, and for kids to play. It will also have a community garden that all the residents can benefit from.

