

Thursday, June 18, 2026

10:00 am.



SUBDIVISION AUTHORITY AGENDA

MEETING NO. 24

1. ADOPTION OF AGENDA

RECOMMENDATION

That the Subdivision Authority Agenda for the June 18, 2026 meeting be adopted.

2. ADOPTION OF MINUTES

RECOMMENDATION

That the Subdivision Authority Minutes for the June 11, 2026 meeting be adopted.

3. OLD BUSINESS

4. NEW BUSINESS

- | | | |
|----|-----------------------------|---|
| 1. | LDA25-0487
63220054-001 | Tentative plan of subdivision to create 109 residential lots, one (1) Municipal Reserve lot, and one (1) Public Utility lot, from Lot 1, Block 1, Plan 2521164, located south of Muckleplum Way SW and east of Orchards Road SW; THE ORCHARDS AT ELLERSLIE |
| 2. | LDA25-0536
589799721-001 | Tentative plan of subdivision to create 184 residential lots and one (1) Municipal Reserve lot, from the SW 14-51-24-W4M and the NW-14-51-24-W4M, located south of 32 Avenue SW and east of 66 Street SW; MATTSON |
| 3. | LDA26-0112
652972319-001 | Tentative plan of subdivision to create ten (10) bare land condominium units from Lot 2, Block 6, Plan 2522449, located north of 154 Avenue NW and west of 18 Street NW; GORMAN |
| 4. | LDA26-0145
655751323-001 | Tentative plan of subdivision to create three (3) bare land condominium units from Lot 1A, Block 1, Plan 032 4647, located north of 123 Avenue NW and west of 149 Street NW; GAGNON ESTATE INDUSTRIAL |
| 5. | LDA26-0154
656616700-001 | Tentative plan of subdivision to create one (1) multi-unit housing unit and one (1) remnant unit from Lot 63, Block 45, Plan 252 1877 located south of Orchards Boulevard SW and east of Hawthorne Close; THE ORCHARDS AT ELLERSLIE |
| 6. | LDA26-0169
655601034-001 | Tentative plan of subdivision to create one (1) additional mixed use lot from Lots 9 and 11, Block 10, Plan 618KS, located south of 132 Avenue NW and west of 97 Street NW; LAUDERDALE |

7.	LDA26-0161 657930349-001	Tentative plan of subdivision to create one (1) additional residential lot, from Lot 16, Block 12, Plan 8661T, located south of 129 Avenue NW and east of 123 Street NW; CALDER
8.	LDA26-0172 659112114-001	Tentative plan of subdivision to create separate titles for a semi-detached dwelling from Lot 16, Block 31, Plan 4312 HW, located west of 132 Street NW and south of 109A Avenue NW; WESTMOUNT
5.	OTHER BUSINESS	



Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026

File No. LDA25-0487

Scheffer Andrew Ltd.
310, 4803 - 87 St NW
Edmonton AB T6E 0V3

ATTENTION: Aime Stewart

RE: Tentative plan of subdivision to create 109 residential lots, one (1) Municipal Reserve lot, and one (1) Public Utility lot, from Lot 1, Block 1, Plan 2521164, located south of Muckleplum Way SW and east of Orchards Road SW; **THE ORCHARDS AT ELLERSLIE**

I The Subdivision by Plan is APPROVED on June 18, 2026, subject to the following conditions:

1. that the owner dedicate Municipal Reserve (MR) as a 5.56 ha lot, pursuant to Section 666 of the Municipal Government Act as shown on the "Conditions of Approval" map, Enclosure I;
2. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act;
3. that the owner enter into a Deferred Servicing Agreement with the City of Edmonton, pursuant to Section 655 of the Municipal Government Act;
4. that concurrent with registration of the plan of survey, the City of Edmonton shall register against the remnant parcel a claim of interest by caveat of the Deferred Servicing Agreement pursuant to Section 655 of the Municipal Government Act;
5. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution & Transmission Inc., EPCOR Water Services Inc., and EPCOR Drainage Services, as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
6. that the owner dedicate additional road right of way and modify the property lines, if deemed necessary through the review of the detailed engineering drawings, as shown on the "Conditions of Approval" map, Enclosure I;
7. that the subdivision boundary be amended to exclude road right of way for the future alley-alley intersection, as shown on the "Conditions of Approval" map, Enclosure I;
8. that the owner be permitted to register this plan of subdivision in phases in sequential order, as shown on the "Conditions of Approval" map, Enclosure I;

9. that the owner register a Disturbed Soil restrictive covenant in favour of EPCOR Water Services Inc., against the lots flanking the walkway, as shown on the "Conditions of Approval" map, Enclosure I; and
10. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

II The Servicing Agreement required in Clause I (2) shall contain, among other things, the following conditions:

1. that the owner pay all servicing costs, assessments, roadway modification costs (including but not limited to sidewalk, shared pathway and/or transit infrastructure), construction costs and inspection costs required by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to endorsement of the plan of survey;
3. that the owner pay the Drainage Assessments applicable to this subdivision;
4. that the owner pay the Arterial Roadway Assessments applicable to this subdivision;
5. that the owner pay the Fire hall Offsite Levy applicable to this subdivision;
6. that the owner submits an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards, and that Complete Streets design and cross-section details for the roadway be determined through the engineering drawing review and approval process, and as a result, may require adjustments to the road right-of-way to the satisfaction of the City Departments and affected utility agencies;
8. that the owner construct Orchards Wynd SW to an approved Complete Streets design and cross-section, with Phase 1, including a minimum 4.5 m hard surfaced shared pathway, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
9. that the owner construct the roundabout on Orchards Wynd SW to an approved Complete Streets design and cross-section, including extending the west splitter island to ensure a right-in/right-out only driveway access from lot 45 to the collector road, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
10. that the owner pay for the installation of a Rectangular Rapid Flashing Beacon (RRFB), as shown on the "Conditions of Approval" map, Enclosure I. The City of Edmonton shall complete the signal design, and the City's Electrical Services Contractor must install the signals as per the agreement between the City of Edmonton and the Electrical Services Contractor. The timing of the traffic signals installation will be at the direction of City Operations. If traffic signals are not deemed warranted by City Operations within 5 years of signing the Servicing Agreement, the

owner will be required to provide payment to the City of Edmonton for the installation of traffic signals at that time to fulfill this obligation;

11. that the owner construct appropriate traffic calming measures at the mid-block crossing on Orchards Wynd SW, to the satisfaction of Subdivision and Development Coordination in collaboration with Safe Mobility, as shown on the "Conditions of Approval" map, Enclosure I. Traffic calming measures may include but are not limited to, vertical deflection horizontal deflection, obstruction, access restrictions, intersection treatments, and other support infrastructure that may include signage. Details relative to this requirement will be reviewed with the submission of detailed engineering drawings;
12. that the owner provide a zebra marked crosswalk with curb ramps and pedestrian signage to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
13. that the owner install bollards to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
14. that the owner construct a 3 m hard surface shared pathway with "Shared Use" signage, lighting, and bollards, within the MR lot and in alignment with the approved Park Concept Plan, to the satisfaction of Subdivision and Development Coordination, as conceptually shown on the "Conditions of Approval" map, Enclosure I;
15. that the owner construct a 1.8 m concrete sidewalk with lighting and bollards within the walkway, with connections to adjacent paths, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
16. that the owner construct a temporary 4 m gravel surface emergency access with T-bollards, with phase 1, to the satisfaction of Subdivision and Development Coordination as shown on the "Conditions of Approval" map, Enclosure I. This roadway will be required prior to Construction Completion Certificate (CCC) for roads (or when required by Subdivision and Development Coordination);
17. that the owner construct temporary 12 m radius gravel surface turnarounds with bollards or mini-barriers, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I. These turnarounds will be required prior to the Construction Completion Certificate (CCC) for roads (or when required by Subdivision and Development Coordination);
18. that the owner provide full site servicing for the MR lot including, 3-phase power, water, sanitary and storm services, to the satisfaction of all affected Departments and agencies;
19. that the owner construct all fences wholly on privately-owned land, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I; and

20. that the owner is responsible for the landscape design and construction within the Public Utility lot, the Reserve lot, road rights of way, and walkways to the satisfaction of City Departments and affected utility agencies.

III That the Deferred Servicing Agreement required in Clause I (3) requires that upon further subdivision or upon the issuance of a development permit, whichever occurs first, that the owner, or its successor in title, will be required to complete, among other things, the following:

1. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards, to the satisfaction of the City Departments and affected utility agencies; and
2. that the owner construct a 3 m hard surface shared pathway with "Shared Use" signage, lighting, landscaping, and bollards, within the PUL, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;

Enclosure I is a map of the subdivision identifying major conditions of this approval.

Municipal Reserve (MR) for Lot 1, Block 1, Plan 252 1164 were previously addressed with LDA24-0286 by registering a 12.115 ha Deferred Reserve Caveat (DRC) on title. The DRC will be partially discharged to dedicate a 5.56 ha MR parcel, adjusted for the 0.54 ha PUL dedication, and 6.501 ha carried forward on title.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that an appeal may be lodged in accordance with Section 678 of the Municipal Government Act with the Provincial Land and Property Rights Tribunal, 2nd Floor, 1229 - 91 Street SW, Edmonton, Alberta, T6X 1E9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/mn/Posse #63220054-001

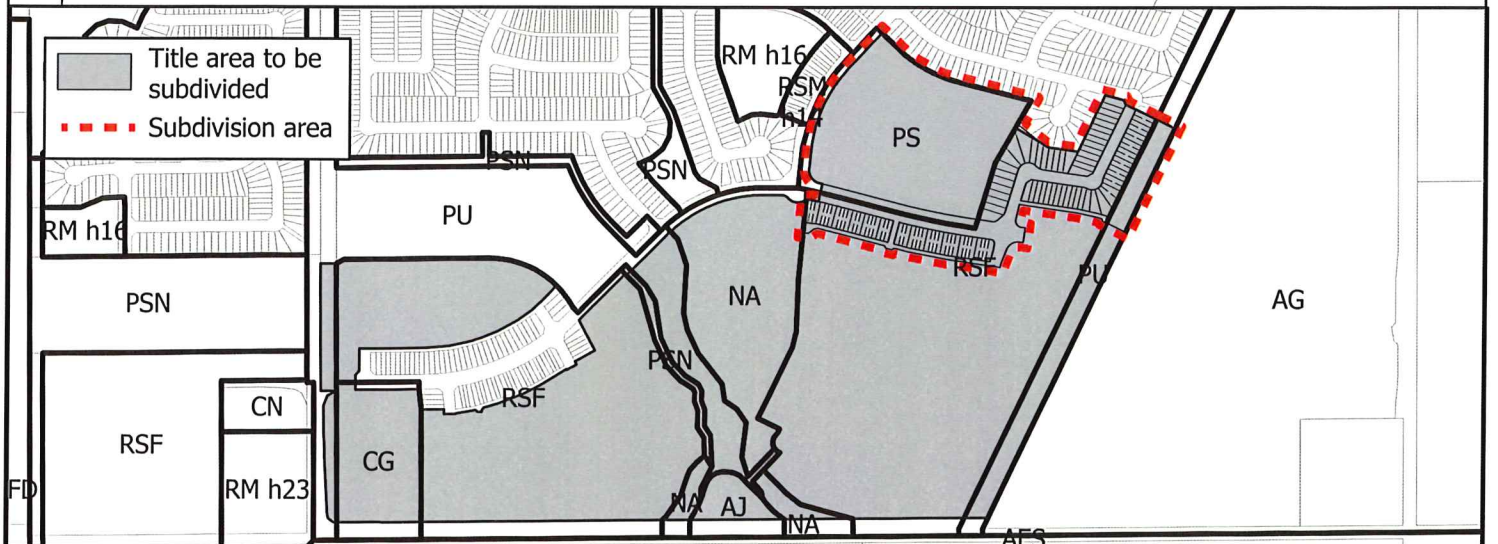
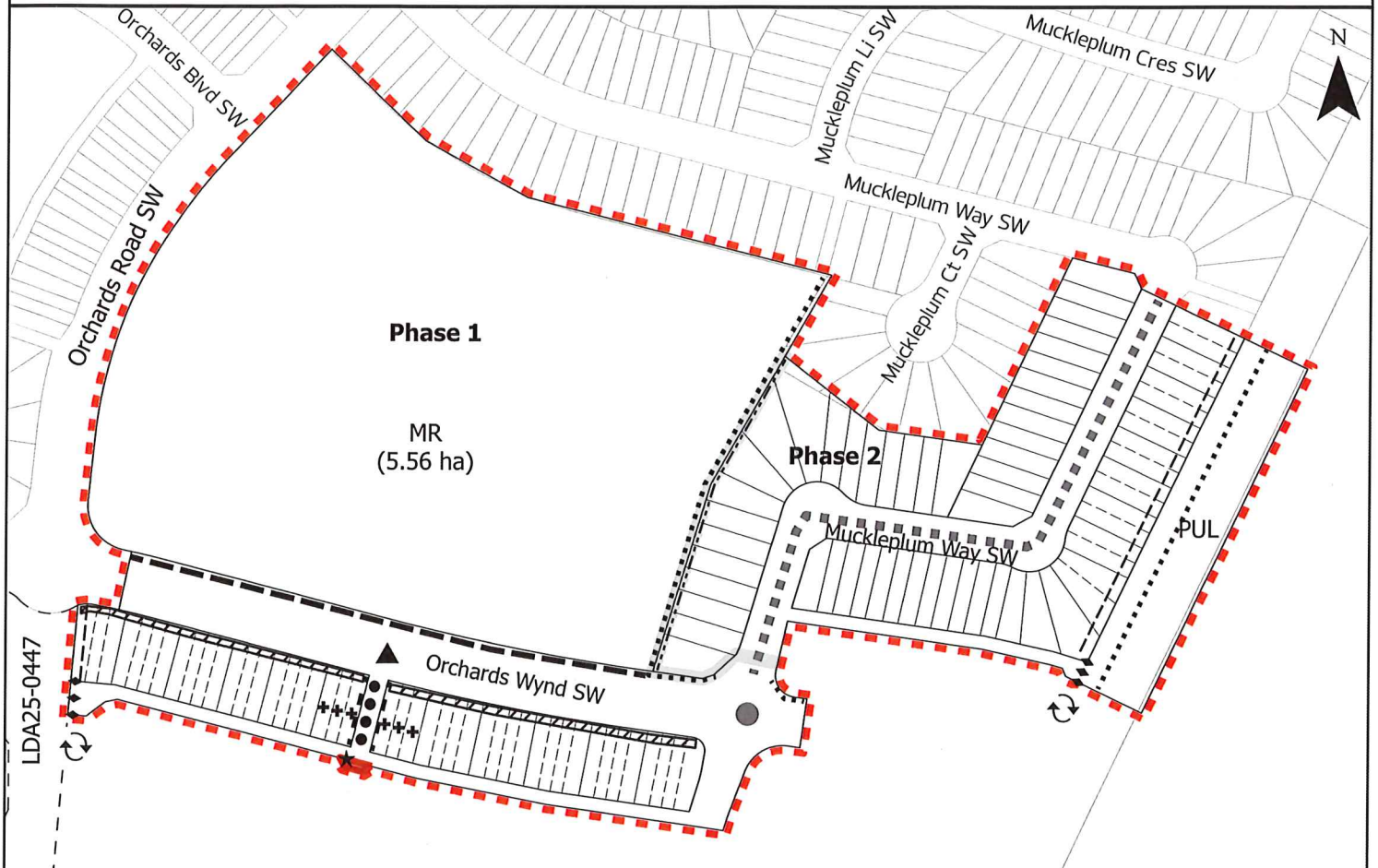
Enclosure

SUBDIVISION CONDITIONS OF APPROVAL MAP

June 18, 2026

LDA25-0487

- | | |
|--|---|
| --- Limit of proposed subdivision | --- Temporary 4 m roadway |
| --- Phasing Line | ⤵ Temporary 12 m radius turnaround |
| --- Amend subdivision boundary | --- 1.8 m uniform screen fence as per Zoning Bylaw |
| + Restrictive Covenant re:disturbed soil | --- 1.8 m Uniform Fence |
| ● Construct Roundabout | ●● 1.8 m concrete sidewalk |
| ▲ Traffic Calming and RRFB | --- 1.2 m uniform fence |
| 3 m Hard surface shared pathway | ◆◆◆ Bollards |
| --- 4.5 m hard surface shared pathway | ▨ Dedicate as road right of way to conform to an approved cross-section |





Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026

File No. LDA25-0536

Greg MacKenzie + Associates Consulting Ltd.
440 4th Ave
Campbell River BC V9W 3W8

ATTENTION: Greg MacKenzie

RE: Tentative plan of subdivision to create 184 residential lots and one (1) Municipal Reserve lot, from the SW 14-51-24-W4M and the NW-14-51-24-W4M, located south of 32 Avenue SW and east of 66 Street SW; **MATTSON**

I The Subdivision by Plan is APPROVED on June 18, 2026, subject to the following conditions:

1. that the owner dedicate Municipal Reserve (MR) as a 0.57 ha lot, pursuant to Section 666 of the Municipal Government Act as shown on the "Conditions of Approval" map, Enclosure I;
2. that the owner provide Municipal Reserve (MR) in the amount of 1.104 ha by a Deferred Reserve Caveat registered against the remnant lot, pursuant to Section 669 of the Municipal Government Act;
3. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act;
4. that the owner enter into a Deferred Servicing Agreement with the City of Edmonton, pursuant to Section 655 of the Municipal Government Act;
5. that concurrent with registration of the plan of survey, the City of Edmonton shall register against the remnant parcel a claim of interest by caveat of the Deferred Servicing Agreement pursuant to Section 655 of the Municipal Government Act;
6. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution & Transmission Inc., EPCOR Water Services Inc., and EPCOR Drainage Services, as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
7. that the owner dedicate, clear and level 66 Street SW as required for road right of way, and said dedication shall conform to an approved Concept Plan or to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure II;
8. that the owner be permitted to register this plan of subdivision in phases in sequential order, as shown on the "Conditions of Approval" map, Enclosure I;

9. that LDA25-0425 to amend the Edmonton Zoning Bylaw shall be approved prior to the endorsement of the plan of survey;
10. that the owner register a Disturbed Soil restrictive covenant in favour of EPCOR Drainage Services, against the lots flanking the walkway, as shown on the "Conditions of Approval" map, Enclosure I; and
11. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

II The Servicing Agreement required in Clause I (3) shall contain, among other things, the following conditions:

1. that the owner pay all servicing costs, assessments, roadway modification costs (including but not limited to sidewalk, shared use path and/or transit infrastructure), construction costs and inspection costs required by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to endorsement of the plan of survey;
3. that the owner pay the Drainage Assessments applicable to this subdivision;
4. that the owner pay the Arterial Roadway Assessments applicable to this subdivision;
5. that the owner pay the Fire hall Offsite Levy applicable to this subdivision;
6. that the owner submits an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards, and that Complete Streets design and cross-section details for the roadway be determined through the engineering drawing review and approval process, and as a result, may require adjustments to the road right-of-way to the satisfaction of the City Departments and affected utility agencies;
8. that the owner construct temporary 4 m gravel surface emergency accesses with T-bollards, to the satisfaction of Subdivision and Development Coordination as shown on the "Conditions of Approval" map, Enclosure I. This roadway will be required prior to Construction Completion Certificate (CCC) for roads (or when required by Subdivision and Development Coordination);
9. that the owner construct the first two (2) lanes of 66 Street SW to an arterial roadway standard, including lighting, and any transitional improvements, intersection improvements and turn bays, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I. Preliminary plans are required to be approved for 66 Street SW prior to the approval of engineering drawings for the subdivision and the arterial roadway;
10. that the owner construct a southbound left turn bay and taper for the 66 Street SW and 34 Avenue SW intersection, to an arterial roadway standard, including intersection construction, channelization, lighting, landscaping, paint line marking modifications, utility relocations/modifications, and any transitional improvements, to the satisfaction of Subdivision

and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I. Preliminary plans are required to be approved for 66 Street SW prior to the approval of engineering drawings for the subdivision and the arterial roadway;

11. that the owner construct a 3 m hard surface shared pathway on the east side of 66 Street from the existing terminus at the east west greenway to the south property line of the subject site, and on the west side of 66 Street from the existing terminus south of Orchards Boulevard to the south property line of the subject site, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure II. Preliminary plans are required to be approved for 66 Street SW prior to the approval of engineering drawings for the subdivision and the arterial roadway;
12. that the owner construct a 3 m hard surface shared pathway with lighting and bollards, within the walkway, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
13. that the owner pay for the installation of traffic signals, that may include additional infrastructure modifications to support the installation, as shown on the "Conditions of Approval" map, Enclosure I. The City of Edmonton shall complete the signal design, and the City's Electrical Services Contractor must install the signals as per the agreement between the City of Edmonton and the Electrical Services Contractor. The timing of the traffic signals installation will be at the direction of City Operations. If traffic signals are not deemed warranted by City Operations within 5 years of signing the Servicing Agreement, the owner will be required to provide payment to the City of Edmonton for the installation of traffic signals at that time to fulfill this obligation;
14. that the owner design the ultimate Storm Water Management facility (SWMF) and constructs the interim facility, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
15. that the engineering drawings include grading plans to accommodate the 3 m shared use path within the Storm Water Management Facility (SWMF), to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
16. that the owner is responsible for the disposal of any stormwater flow generated from the proposed development, at their own cost, until such time that the downstream storm sewer system is completed and operational to the satisfaction of Subdivision and Development Coordination;
17. that the owner shall be responsible for monitoring the water level in SWMF 2 and managing pumping operations as necessary;
18. that a Construction Completion Certificate (CCC) for SWMF 2 and the storm outlet sewers from the SWMF 2 will not be issued until such time as the downstream storm sewer systems are completed and operational to the satisfaction of Subdivision and Development Coordination;

19. that the owner provide accommodations for temporary major drainage, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
20. that the owner construct underground utilities including watermain, sanitary and storm sewer main extensions, to the satisfaction of EPCOR Water Services Inc. and Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure II;
21. that the owner construct a 1.8 m noise attenuation fence contained wholly within private property, for all lots backing onto or flanking 66 Street SW, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
22. that the owner construct all fences wholly on privately-owned land, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I; and
23. that the owner is responsible for the landscape design and construction within the Reserve lot, road right(s) of way, and walkway to the satisfaction of City Departments and affected utility agencies.

III That the Deferred Servicing Agreement required in Clause I (4) requires that upon further subdivision or upon the issuance of a development permit, whichever occurs first, that the owner, or its successor in title, will be required to complete, among other things, the following:

1. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards, to the satisfaction of Subdivision and Development Coordination; and
2. that the owner construct the first two (2) lanes of 66 Street to an arterial roadway standard including shared pathways on both sides, channelization, accesses, lighting, any transitional improvements, and the complete intersection of 66 Street SW and 41 Avenue SW, to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure II. Preliminary plans are required to be approved for 66 Street SW prior to the approval of engineering drawings for the arterial roadway.

Enclosures I and II are maps of the subdivision identifying major conditions of this approval.

Municipal Reserves (MR) for SW-14-51-24-W4M are owing. Arterial road (0.26 ha) is being dedicated with this application. A 0.57 ha park is being provided with this application. A 1.104 ha Deferred Reserve Caveat (DRC) will be provided against SW-14-51-24-W4M (3521 66 St SW, title no. 242193760).

Road dedication is conditioned within the NW-14-51-24-W4M. MR for this parcel will be addressed with LDA25-0511.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that an appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, 10019 - 103 Avenue NW, Edmonton Alberta, T5J 0G9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/mn/Posse #589799721-001

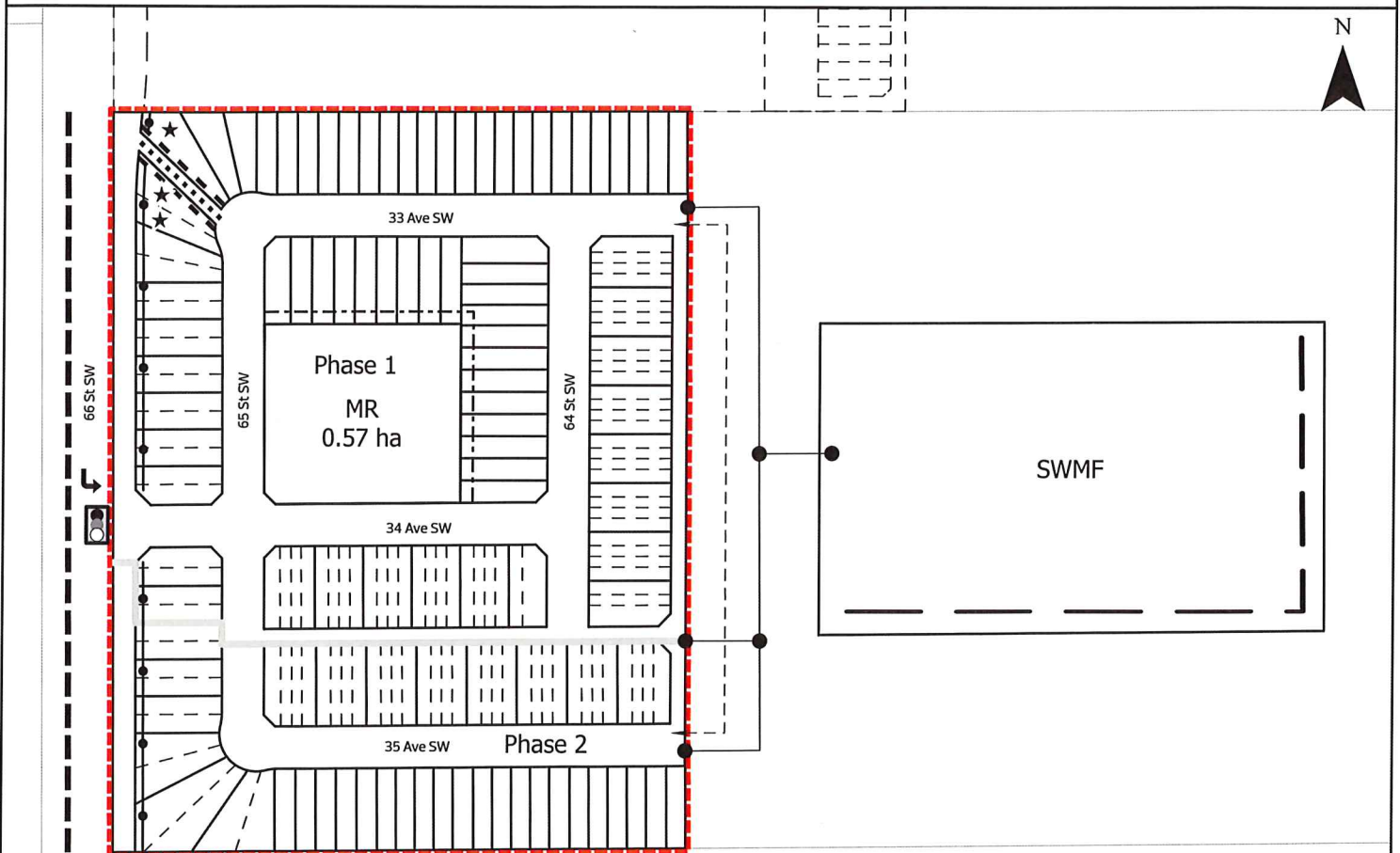
Enclosures

SUBDIVISION CONDITIONS OF APPROVAL MAP

June 18, 2026

LDA25-0536

-  Limit of Proposed Subdivision
-  Phasing Line
-  Restrictive Covenant re: Disturbed Soil
-  Traffic Signal
-  Turn bay
-  1.2 m Uniform fence
-  1.8 m Uniform Fence as per Zoning Bylaw
-  Noise Attenuation Fence
-  3 m Hard surface shared use path
-  Temporary 4m Emergency Access
-  Construct first two lanes to an arterial roadway standard
-  Include grading plans in engineering drawings
-  Temporary major drainage



NOTE: All roads shown on this map are within the SW quadrant

-  Title area to be subdivided
-  Subdivision area

RM h23

RSF

AG

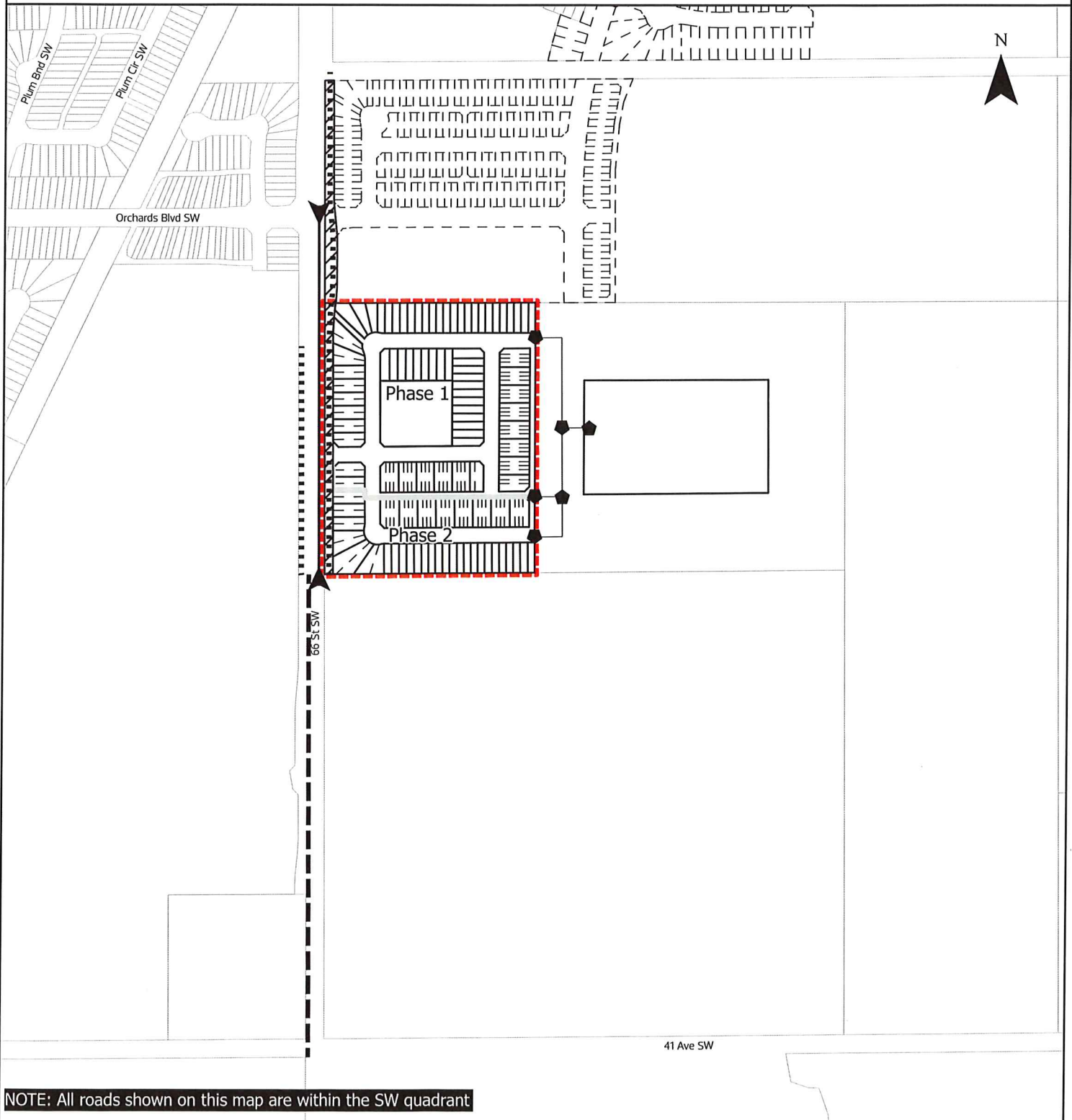
AG

SUBDIVISION CONDITIONS OF APPROVAL MAP

June 18, 2026

LDA25-0536

- | | |
|---|--|
|  Limit of Proposed Subdivision |  Construct storm sewer |
|  Phasing Line |  Construct underground utilities |
|  3m Hard surface shared use path |  Dedicate, clear, and level 66 St |
|  Construct first two lanes to an arterial roadway standard with DSA | |





Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026, 2026

File No. LDA26-0112

Pals Geomatics Corp.
10704 176 St NW
Edmonton AB T5S 1G7

ATTENTION: Brad Machon

RE: Tentative plan of subdivision to create ten (10) bare land condominium units from Lot 2, Block 6, Plan 2522449, located north of 154 Avenue NW and west of 18 Street NW; **GORMAN**

The Subdivision by Bare Land Condominium is APPROVED on June 18, 2026, subject to the following condition:

1. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

Enclosure I is an attachment of the major advisements throughout the subdivision process. Enclosure II is a map of the subdivision and identifies major conditions and advisements of this approval.

Municipal Reserve (MR) for Lot 2, Block 6, Plan 252 2449, were previously addressed with LDA22-0597 by providing money in place.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that the Subdivision Authority will not endorse the plan of subdivision or other instrument until the appeal period as prescribed by the Municipal Government Act has lapsed. An appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, 10019 - 103 Avenue NW, Edmonton Alberta, T5J 0G9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/jm/Posse #652972319-001

Enclosures

Please be advised of the following:

Next Steps for Subdivision Approval

- The next step in the subdivision process is to have a legal instrument prepared (ie. Plan of Survey) in order to register the approved subdivision. The legal instrument is then forwarded to the City for endorsement along with the endorsement fee (\$24,280.00 - 2026 Fees Schedule) and subsequently released to the applicant for registration at the Land Titles Office.

Building / Site

- The owner shall ensure the bare land condominium adheres to the conditions and design layout approved in the Development and Building Permits, any changes or revisions may require new or revised development and building permit applications. For further information regarding development and building permits please contact 311.

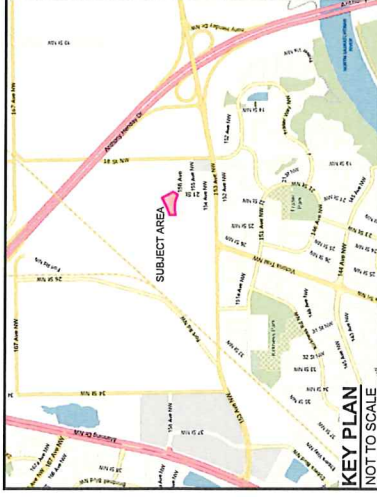
Servicing

- The owner must comply with the Fire and Rescue Services requirements for on-site and off-site hydrant installations, to ensure adequate fire protection (contact EPCOR Water at 780-412-3955).
- All municipal services must enter the site through Common Property.

NEST HOMES

NOTES:

- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL DISTANCES ON CURVED BOUNDARIES ARE ARC LENGTHS.
- ALL INFORMATION SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO THE APPROVAL OF THE CITY OF EDMONTON.
- THE BOUNDARY SHOWN, EVEN IF ANNOTATED, IS SUBJECT TO CHANGE BY THE PLAN OF SURVEY.
- THE ZONING OF THIS SUBJECT AREA IS RM16.
- PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS: AND CONTAINS: 1.02 ha



REV. NO.	DATE	ITEM	BY
0	MAR. 2026	ORIGINAL PLAN COMPLETED	ME
REVISIONS			

GORMAN TENTATIVE PLAN SHOWING BARE LAND CONDOMINIUM

OF
LOT 2, BLOCK 6, PLAN 252 2449
WITHIN THE

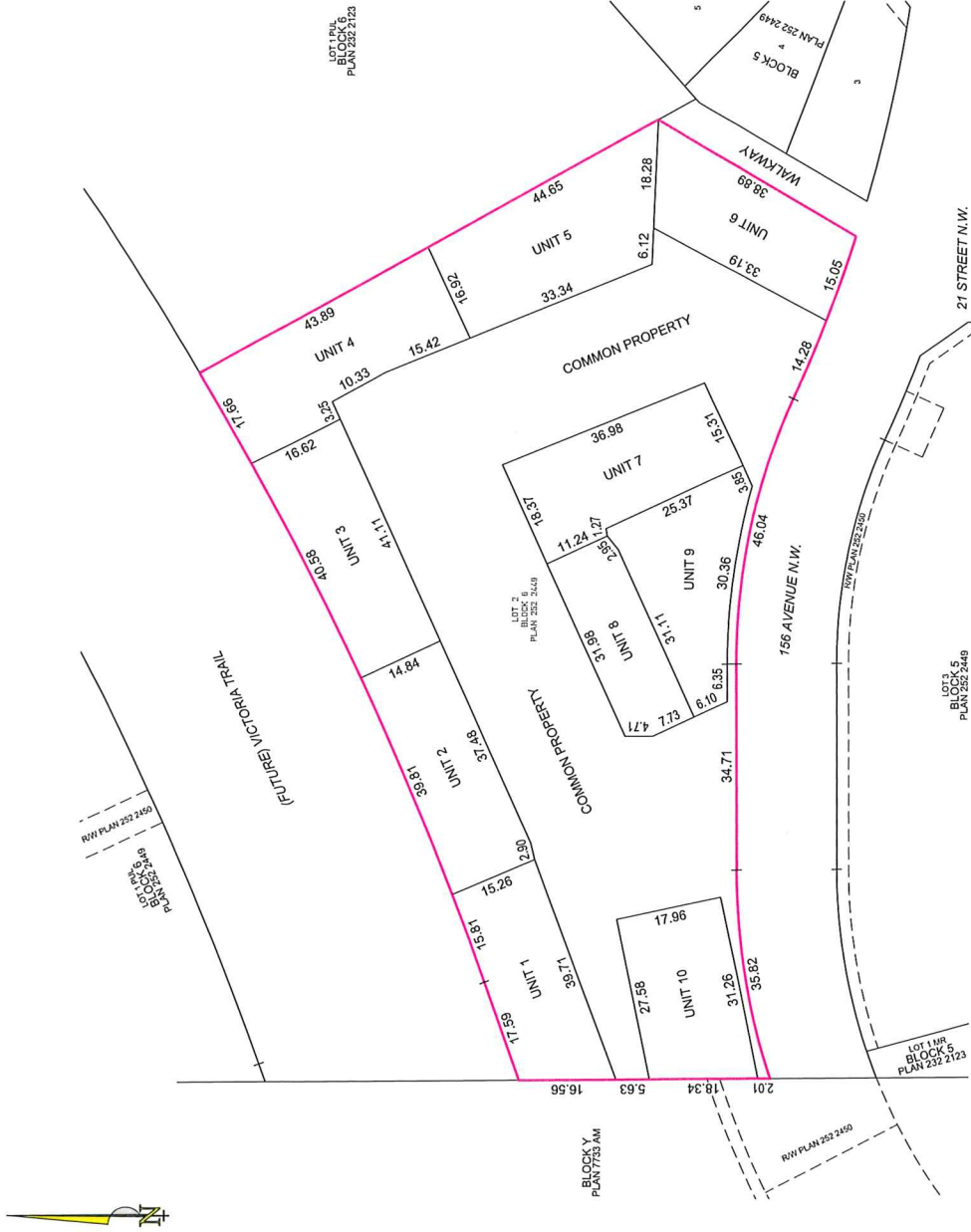
S.E. 1/4 SEC. 31 - TWP. 53 - RGE. 23 - W. 4TH MER.

EDMONTON - ALBERTA

SCALE: 1:800 0 8 16 24 32 48 METRES



FILE NO. 1230046007 DRAFTED BY: ME CHECKED BY: RE





Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026

File No. LDA26-0145

Pals Geomatics Corp.
10704 176 St NW
Edmonton AB T5S 1G7

ATTENTION: Jason Workman

RE: Tentative plan of subdivision to create three (3) bare land condominium units from Lot 1A, Block 1, Plan 032 4647, located north of 123 Avenue NW and west of 149 Street NW; **GAGNON ESTATE INDUSTRIAL**

The Subdivision by Bare Land Condominium is APPROVED on June 18, 2026, subject to the following condition:

1. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

Enclosure I is an attachment of the major advisements throughout the subdivision process. Enclosure II is a map of the subdivision and identifies major conditions and advisements of this approval.

Municipal Reserve (MR) for Lot 1A, Block 1, Plan 032 4647 were previously addressed with Subdivision 78-X-043-S (Plan 782 2940) by registering a 0.75 ha Deferred Reserve Caveat on Block Z, Plan 931 AJ.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that the Subdivision Authority will not endorse the plan of subdivision or other instrument until the appeal period as prescribed by the Municipal Government Act has lapsed. An appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, 10019 - 103 Avenue NW, Edmonton Alberta, T5J 0G9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/aw/Posse #655751323-001

Enclosures

Please be advised of the following:

Next Steps for Subdivision Approval

- The next step in the subdivision process is to have a legal instrument prepared (ie. Plan of Survey) in order to register the approved subdivision. The legal instrument is then forwarded to the City for endorsement along with the endorsement fee (\$2,235 - 2026 Fees Schedule) and subsequently released to the applicant for registration at the Land Titles Office.

Building / Site

- The owner shall ensure the bare land condominium adheres to the conditions and design layout approved in the Development and Building Permits, any changes or revisions may require new or revised development and building permit applications. For further information regarding development and building permits please contact 311.

Servicing

- The owner must comply with the Fire and Rescue Services requirements for on-site and off-site hydrant installations, to ensure adequate fire protection (contact EPCOR Water at 780-412-3955).
- All municipal services must enter the site through Common Property.



Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026

File No. LDA26-0154

Pals Geomatics Corp.
10704 176 St NW
Edmonton AB T5S 1G7

ATTENTION: Brad Machon

RE: Tentative plan of subdivision to create one (1) multi-unit housing unit and one (1) remnant unit from Lot 63, Block 45, Plan 252 1877 located south of Orchards Boulevard SW and east of Hawthorne Close; **THE ORCHARDS AT ELLERSLIE**

The Subdivision by Phased Condominium is APPROVED on June 18, 2026, subject to the following conditions:

1. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

Enclosure I is an attachment of the major advisements throughout the subdivision process. Enclosure II is a map of the subdivision and identifies major conditions and advisements of this approval.

Municipal Reserve (MR) for Lot 63, Block 45, Plan 252 1877, were previously addressed with LDA24-0347 by registering a 10.66 ha Deferred Reserve Caveat (DRC) on the remnant title.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that the Subdivision Authority will not endorse the plan of subdivision or other instrument until the appeal period as prescribed by the Municipal Government Act has lapsed. An appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, 10019 - 103 Avenue NW, Edmonton Alberta, T5J 0G9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/mm/Posse #656616700-001

Enclosures

Please be advised of the following:

Next Steps for Subdivision Approval

- The next step in the subdivision process is to have a legal instrument prepared (ie. Plan of Survey) in order to register the approved subdivision. The legal instrument is then forwarded to the City for endorsement along with the endorsement fee (\$2,615.00 - 2026 Fees Schedule) and subsequently released to the applicant for registration at the Land Titles Office.

Building / Site

- The owner shall ensure the phased condominium adheres to the conditions and design layout approved in the Development and Building Permits, any changes or revisions may require new or revised development and building permit applications. For further information regarding development and building permits please contact 311.
- Any changes to the proposed phased condominium unit(s) or remnant unit(s) require a revision be submitted to the Subdivision Authority for approval.

Servicing

- The owner must comply with the Fire and Rescue Services requirements for on-site and off-site hydrant installations, to ensure adequate fire protection (contact EPCOR Water at 780-412-3955).
- All municipal services must enter the site through Common Property.

DAYTONA HOUSING (ORCHARDS) LP

NOTES:
 - ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
 - ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
 - ALL INFORMATION SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO CHANGE BY THE PLAN OF SURVEY.
 - THE BOUNDARY SHOWN, EVEN IF ANNOTATED, IS SUBJECT TO CHANGE BY THE PLAN OF SURVEY.
 - THE ZONING OF THIS SUBJECT AREA IS RM116.
 - PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS, AND CONTAINS: 0.061 ha



REV. NO.	DATE	ITEM	BY
0	2025-12-23	ORIGINAL PLAN COMPLETED	MF

REVISIONS

DAYTONA ORCHARDS
 TENTATIVE PLAN SHOWING
 PHASED CONDOMINIUM DEVELOPMENT
 OF

LOT 63, BLOCK 45, PLAN 252 1877
 WITHIN THE

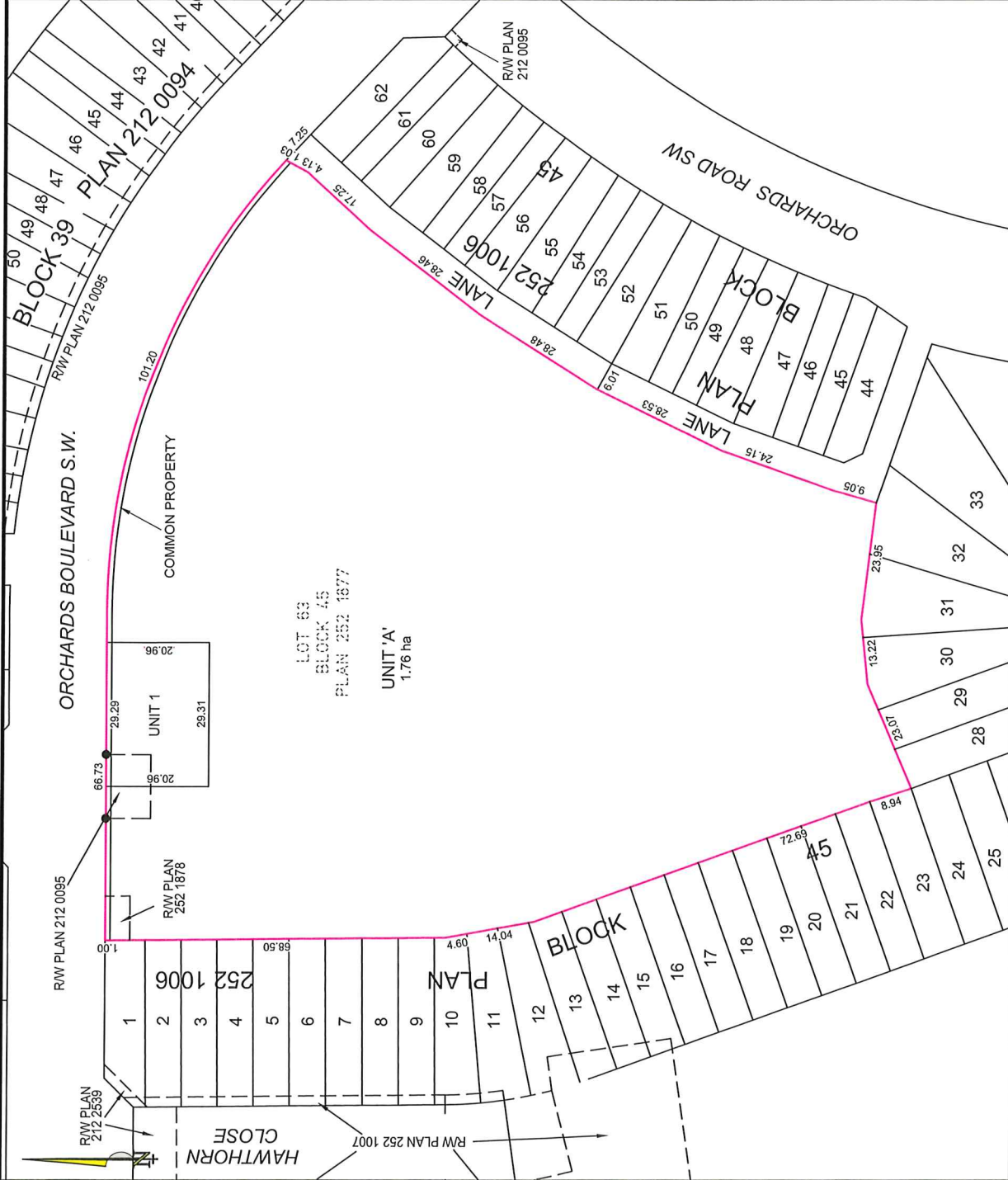
N.W. 1/4 SEC. 15 - TWP. 51 - RGE. 24 - W. 4TH MER.

EDMONTON - ALBERTA

SCALE: 1:800 0 8 16 24 32 48 METRES



FILE NO. 125039900T DRAFTED BY: MF CHECKED BY: **



DAYTONA HOUSING (ORCHARDS) LP

NOTES:

- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL DISTANCES ON CURVED BOUNDARIES ARE ARC LENGTHS.
- ALL INFORMATION SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO THE PLAN OF SURVEY.
- THE BOUNDARIES OF THIS SUBJECT AREA ARE SHOWN IN BLUE.
- THE ZONING OF THIS SUBJECT AREA IS RM 15.
- PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS:
- AND CONTAINS: 0.051 ha

REV. NO.	DATE	ITEM	BY
0	2025-12-23	ORIGINAL PLAN COMPLETED	MF

REVISIONS

DAYTONA ORCHARDS TENTATIVE PLAN SHOWING SUBDIVISION

OF
LOT 63, BLOCK 45, PLAN 252 1877
WITHIN THE
N.W. 1/4 SEC. 15 - TWP. 51 - RGE. 24 - W. 4TH MER.

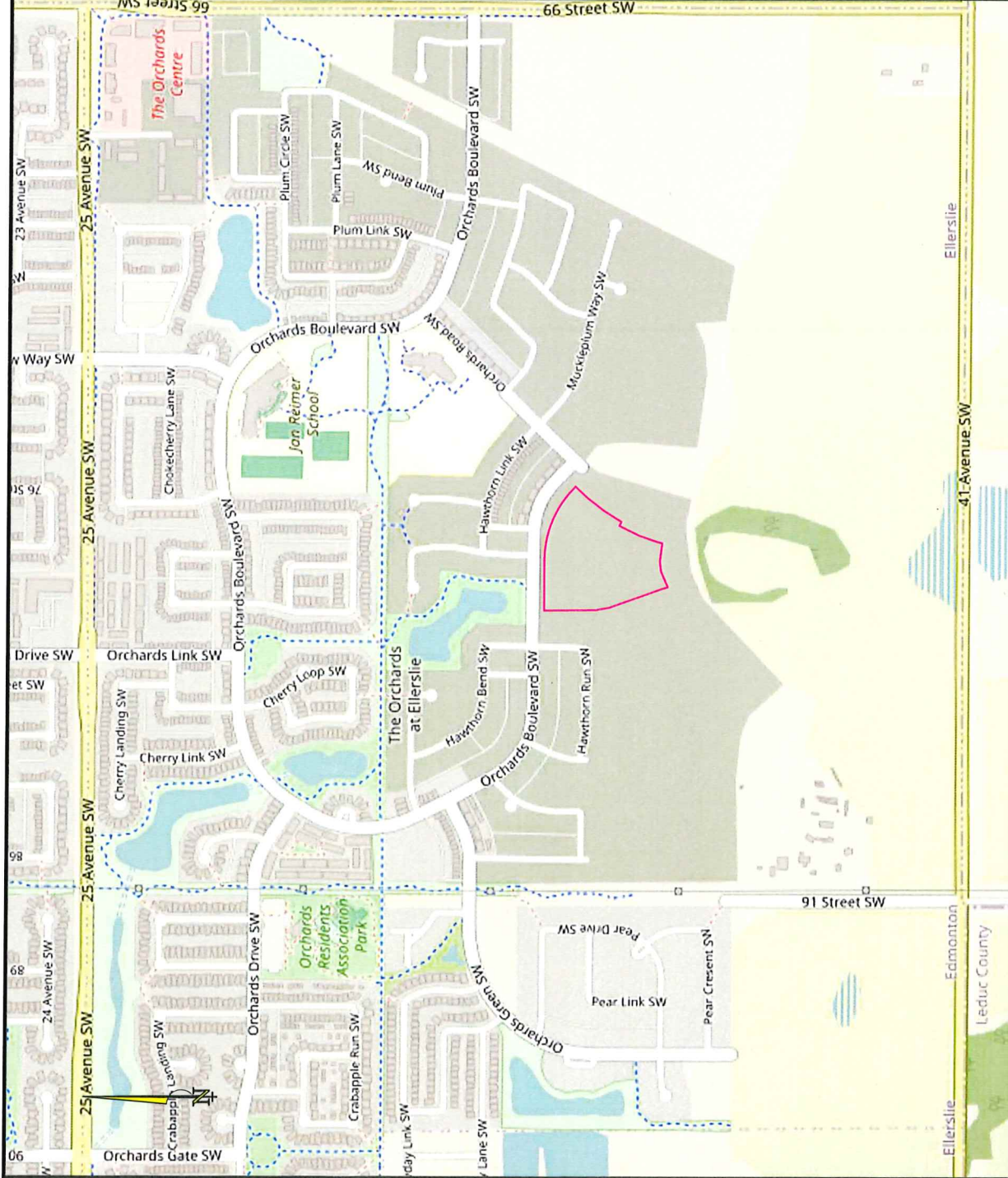
EDMONTON - ALBERTA

SCALE: 1:800



Pals Geomatics
Phone: (780) 455-3177 Fax: (780) 451-2047
Email: edmonton@palsgeomatics.com
10704-176 Street NW, Edmonton, Alberta T5S 0G7

FILE NO. 1250398007 DRAFTED BY: MF CHECKED BY:



DAYTONA HOUSING (ORCHARDS) LP

NOTES:

- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL DISTANCES ON CURVED BOUNDARIES ARE ARC LENGTHS.
- THE BOUNDARY SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO CHANGE BY THE PLAN OF SURVEY.
- THE BOUNDARY SHOWN ON THIS PLAN IS BOTH TENTATIVE AND PRELIMINARY, AND SUBJECT TO CHANGE BY THE PLAN OF SURVEY.
- THE ZONING OF THIS SUBJECT AREA IS RM 116.
- PLAN TO BE SUBDIVIDED SHOWN OUTLINED THUS: AND CONTAINS: 0.061 ha



REV. NO.	DATE	ITEM	BY
0	2025-12-23	ORIGINAL PLAN COMPLETED	MF

DAYTONA ORCHARDS TENTATIVE PLAN SHOWING SUBDIVISION

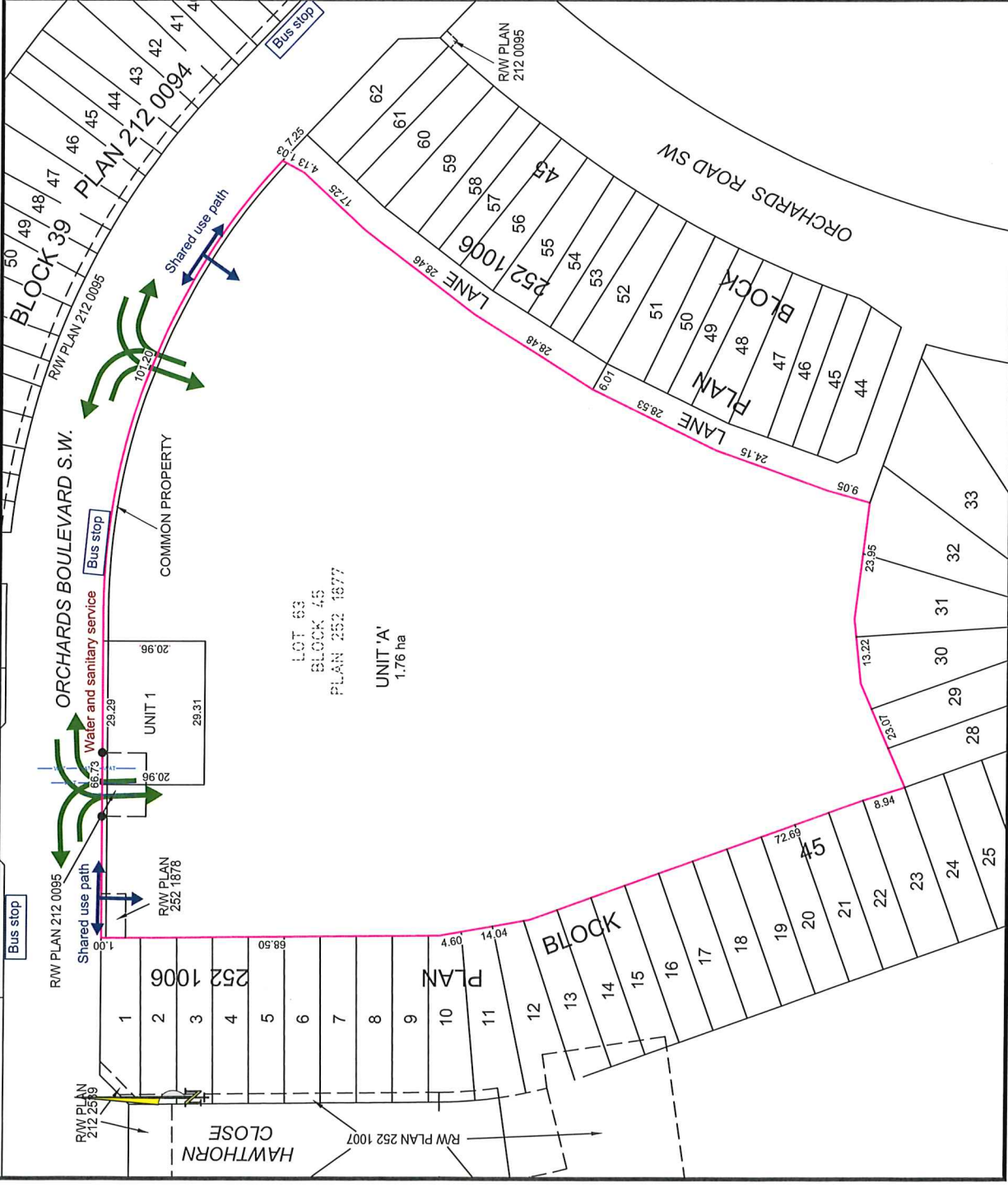
OF
LOT 63, BLOCK 45, PLAN 252 1877
WITHIN THE
N.W. 1/4 SEC. 15 - TWP. 51 - RGE. 24 - W. 4TH MER.

EDMONTON - ALBERTA

SCALE: 1:800 0 8 16 24 32 48 METRES

Pals Geomatics
Phone: (780) 455-3177 Fax: (780) 451-2047
Email: edmonton@palsgeomatics.com
10704-176 Street NW, Edmonton, Alberta T5S 1G7

FILE NO. 1250398007 DRAFTED BY: MF CHECKED BY: MF





Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026

File No. LDA26-0169

Ivo Nedev Surveying Ltd.
18811 96 Ave NW
Edmonton AB T5T 5L2

ATTENTION: Ivo Nedev

RE: Tentative plan of subdivision to create one (1) additional mixed use lot from Lots 9 and 11, Block 10, Plan 618KS, located south of 132 Avenue NW and west of 97 Street NW; **LAUDERDALE**

I The Subdivision by Plan is APPROVED on June 18, 2026, subject to the following conditions:

1. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act; and
2. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

II The Servicing Agreement required in Clause I (1) shall contain, among other things, the following conditions:

1. that the owner constructs offsite storm sewers to serve the proposed subdivision to the satisfaction of Subdivision and Development Coordination, as shown on the "Conditions of Approval" map, Enclosure I;
2. that the owner remove the existing accesses to 97 Street, as shown in Enclosure I, and reconstruct the curb, gutter, and sidewalk to Complete Streets Design and Construction Standards to the satisfaction of Subdivision and Development Coordination;
3. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Servicing standards to the satisfaction of Subdivision and Development Coordination; and
4. that the owner submits an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual.

Enclosure I is an attachment of the major advisements throughout the subdivision process. Enclosure II is a map of the subdivision and identifies major conditions and advisements of this approval.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that the Subdivision Authority will not endorse the plan of subdivision or other instrument until the appeal period as prescribed by the Municipal Government Act has lapsed. An appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, 10019 - 103 Avenue NW, Edmonton Alberta, T5J 0G9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

The Subdivision Authority did not receive comments from adjacent landowners. The application complies with the regulations set out in the Edmonton Zoning Bylaw, the land is serviceable, and the proposal advances a more compact urban form. The Subdivision Authority is of the opinion, after considering factors set out in Section 9 of the Matters Related to Subdivision and Development Regulation, that the land is suitable for the purpose for which the subdivision is intended.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/mm/Posse #655601034-001

Enclosures

Please be advised of the following:

Next Steps for Subdivision Approval

- The next step in the subdivision process is to have a legal instrument prepared (ie. Plan of Survey) in order to register the approved subdivision. The legal instrument is then forwarded to the City for endorsement along with the endorsement fee (\$745.00 - 2026 Fees Schedule) and subsequently released to the applicant for registration at the Land Titles Office.

Transportation

- Access for future development must be to the adjacent alley as per the General Regulations (Section 6.1) in the 2.80 MU - Mixed Use Zone of Zoning Bylaw 20001.
- There is an existing access to 97 Street NW. Upon redevelopment of proposed Lot 9-11, it must be removed. At that time, the owner/applicant will be required to obtain a Permit for the access' removal from the City's Development & Zoning Services team. Apply online at www.edmonton.ca/permits.
- The owner considers registering private access easement(s) within the proposed lots to ensure access is maintained throughout the site to the approved access locations.

Building / Site

- The owner shall ensure that any change in property boundaries does not cause any structures on site to become non-compliant with the Safety Codes Act and the Alberta Building Code. Permits may be required for such changes. Please contact 311 for more information.

Servicing

- The owner is required to make satisfactory arrangements for, and pay all costs associated with separate servicing to each lot, as well as the modification, relocation and/or removal of existing services. For further information, please contact: EPCOR Distribution & Transmission Inc. (780-412-4000), TELUS Communications (Edmonton) Inc. (Real Estate Division [Rights of Way] 780-508-2456), ATCO Gas (780-424-5222), and EPCOR Drainage Services (Infill Water and Sewer Servicing 780-496-5444).
- The existing services enter the proposed subdivision approximately as stated below;
 - Proposed Lot 30
 - The sanitary service is approximately 4.0m south of the north property line of current Lot 9 off the lane west of 97 Street NW.
 - Proposed Lot 29
 - The sanitary service is approximately 7.6m north of the south property line of current Lot 9 off the lane west of 97 Street NW.
 - The water service is approximately 17.76m north of the south property line of current Lot 9 off the lane west of 97 Street NW.

As per the EPCOR Drainage Services Bylaw and the EPCOR Water Services and Wastewater Treatment Bylaw, these services cannot cross the proposed property line.

- There is a deficiency in on-street hydrant spacing adjacent to the property. The applicant/owner is advised to review on-site fire protection requirements to ensure adequate coverage (contact EPCOR Water at 780-412-3955).
- There is deficient water network capacity adjacent to the property. The applicant/owner is advised to review on-site fire protection requirements to ensure adequate coverage (contact EPCOR Water at 780-412-3955).
- All private drainage system connections including underground and surface drainage between the proposed separately titled lots must be eliminated prior to registration of the subdivision.
- If power service crosses the proposed property line the owner may be required to provide a blanket easement in favour of EPCOR Distribution & Transmission Inc. If required, said easement shall be registered prior to or concurrent with the final plan of survey (contact EPCOR Land Administration Group at 780-412-3252).

Ivo Surveys

PHONE: (780) 666 - 2511 FAX: (780) 666 - 2359
OFFICE@IVOSURVEYS.CA WWW.IVOSURVEYS.CA
18811 - 96 AVE. NW, EDMONTON, AB, T5T 5L2

PROJECT: 2026012
DRAFTED BY: IN CHECKED BY: IN

ADDRESS: 13120 - 97 STREET NW
NEIGHBOURHOOD: LAUDERDALE

CITY OF EDMONTON

TENTATIVE PLAN SHOWING

SUBDIVISION

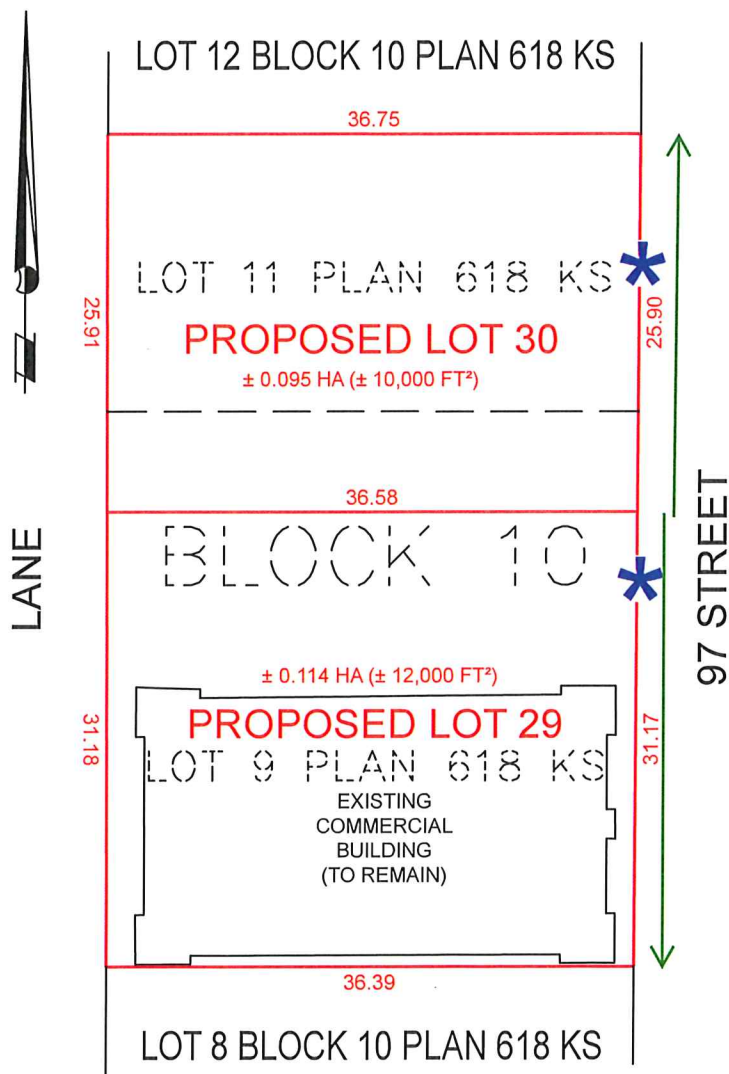
OF

LOT 9 & LOT 11, BLOCK 10, PLAN 618 KS

WITHIN

SE 1/4, SEC 20, TWP 53, RGE 24, W 4 MER

SCALE 1:500



GENERAL NOTES

1. THIS PLAN IS SUBJECT TO APPROVAL BY THE LOCAL APPROVING AUTHORITY
2. DIMENSIONS ARE IN METRES AND DECIMALS THEREOF
3. AREAS, DIMENSIONS & EXISTING IMPROVEMENTS ARE SUBJECT TO CONFIRMATION BY FIELD SURVEY
4. EXISTING IMPROVEMENTS SHOWN ARE NOT BASED ON FIELD SURVEY, ARE APPROXIMATE ONLY AND DERIVED FROM AVAILABLE DATA

REVISION HISTORY

1. ISSUED FOR CLIENT REVIEW APR 22, 2026
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.



EXISTING ACCESSES TO BE REMOVED WITH REDEVELOPMENT OF SITE



OFFSITE STORM SEWER



Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026

File No. LDA26-0161

Quantum Geomatics Ltd.
20612 - 98 Ave NW
Edmonton AB T5T 4V9

ATTENTION: Richard David

RE: Tentative plan of subdivision to create one (1) additional residential lot, from Lot 16, Block 12, Plan 8661T, located south of 129 Avenue NW and east of 123 Street NW; **CALDER**

The Subdivision by Plan is APPROVED on June 18, 2026, subject to the following conditions:

1. that the owner apply for a permit to demolish the existing dwelling and garage prior to endorsement of the final plan. Demolition permits can be obtained from Development Services. Apply online at www.edmonton.ca/permits; and
2. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

Enclosure I is an attachment of the major advisements throughout the subdivision process. Enclosure II is a map of the subdivision and identifies major conditions and advisements of this approval.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that the Subdivision Authority will not endorse the plan of subdivision or other instrument until the appeal period as prescribed by the Municipal Government Act has lapsed. An appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, 10019 - 103 Avenue NW, Edmonton Alberta, T5J 0G9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

The Subdivision Authority did not receive comments from adjacent landowners. The application complies with the regulations set out in the Edmonton Zoning Bylaw, the land is serviceable, and the proposal advances a more compact urban form. The Subdivision Authority is of the opinion, after considering factors set out in Section 9 of the Matters Related to Subdivision and Development Regulation, that the land is suitable for the purpose for which the subdivision is intended.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/jm/Posse #657930349-001

Enclosures

Please be advised of the following:

Next Steps for Subdivision Approval

- The next step in the subdivision process is to have a legal instrument prepared (ie. Plan of Survey) in order to register the approved subdivision. The legal instrument is then forwarded to the City for endorsement along with the endorsement fee (\$745.00 - 2026 Fees Schedule) and subsequently released to the applicant for registration at the Land Titles Office.

Transportation

- There are existing boulevard trees adjacent to the site that must be protected during construction. For information about tree protection please refer to the City of Edmonton's website (search "Trees and Construction").
- Any and all costs associated with tree work requests (removal, pruning or other) and/or remediation from damages are borne on to the proponent as per the Corporate Tree Management Policy (C456C). All work is to be carried out by Urban Forestry who can be contacted at citytrees@edmonton.ca. Removal of City of Edmonton trees must follow the Live Tree Removal Guidelines which include community notice and value compensation.
- Access for future development must be to the adjacent alley as per the General Regulations (Section 6.1) in the 2.10 RS - Small Scale Residential Zone of Zoning Bylaw 20001.

Building / Site

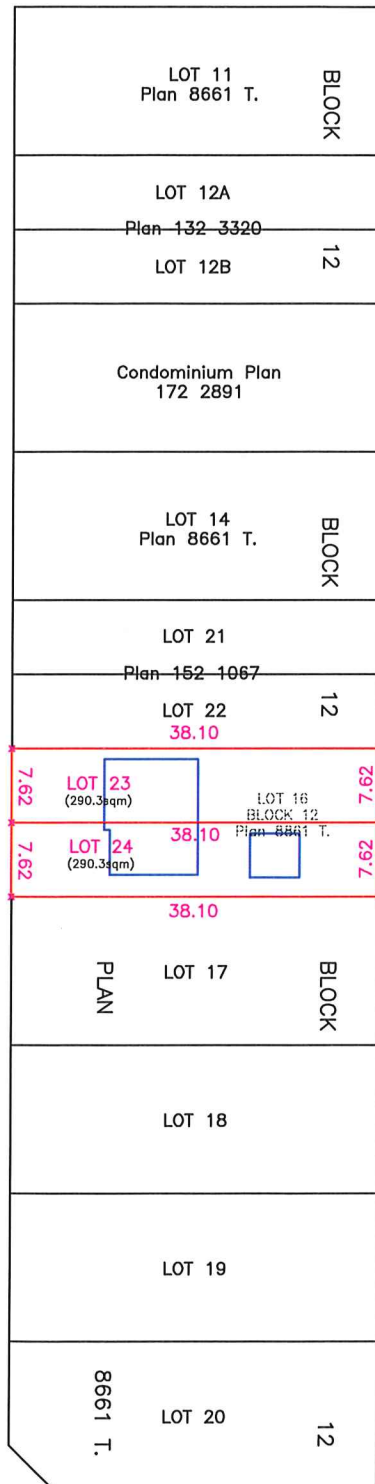
- The owner shall ensure that any change in property boundaries does not cause any structures on site to become non-compliant with the Safety Codes Act and the Alberta Building Code. Permits may be required for such changes. Please contact 311 for more information.

Servicing

- The owner is required to make satisfactory arrangements for, and pay all costs associated with separate servicing to each lot, as well as the modification, relocation and/or removal of existing services. For further information, please contact: EPCOR Distribution & Transmission Inc. (780-412-4000), TELUS Communications (Edmonton) Inc. (Real Estate Division [Rights of Way] 780-508-2456), ATCO Gas (780-424-5222), and EPCOR Drainage Services (Infill Water and Sewer Servicing 780-496-5444).
- The existing services (water and sanitary) enter the proposed subdivision approximately 3.87m south of the north property line of existing Lot 16, off the lane. As per the EPCOR Drainage Services Bylaw and the EPCOR Water Services and Wastewater Treatment Bylaw, these services cannot cross the proposed property line.
- There is a deficiency in on-street hydrant spacing adjacent to the property. The applicant/owner is advised to review on-site fire protection requirements to ensure adequate coverage (contact EPCOR Water at 780-412-3955).
- If power service crosses the proposed property line the owner may be required to provide a blanket easement in favour of EPCOR Distribution & Transmission Inc. If required, said easement shall be registered prior to or concurrent with the final plan of survey (contact EPCOR Land Administration Group at 780-412-3252).

1 2 9 T H A V E N U E N W

1 2 3 R D S T R E E T N W



1 2 8 T H A V E N U E N W

TENTATIVE PLAN
of
SUBDIVISION
affecting all of

LOT 16, BLOCK 12, PLAN 8661 T.
EDMONTON, AB
2026



ADDRESS: 12823 - 123 STREET NW.
EDMONTON, AB T5L 0J4

NEIGHBORHOOD: CALDER

CURRENT ZONE: SMALL SCALE
RESIDENTIAL (RS)

REGISTERED OWNER: DALLAS SCOTT
(c/o LuxVera Construction)

DATE PREPARED: MAY 1, 2026
FILE No.: 26A-007_TENT



* Proposed corners (calculated)

**Existing DWELLING & GARAGE
to be removed

QUANTUM GEOMATICS LTD.
20612 - 98th Avenue NW
Edmonton, AB T5T 4V9

(780) 242-2012
www.QGeo.ca
info@QGeo.ca





Subdivision Authority

6th Floor, Edmonton Tower
10111 – 104 Avenue NW
Edmonton, Alberta T5J 0J4

June 18, 2026

File No. LDA26-0172

Geodetic Surveys and Engineering Ltd.
6111 101 Ave NW
Edmonton AB T6A 0G9

ATTENTION: Patrick Stoll

RE: Tentative plan of subdivision to create separate titles for a semi-detached dwelling from Lot 16,
Block 31, Plan 4312 HW, located west of 132 Street NW and south of 109A Avenue NW;
WESTMOUNT

The Subdivision by Plan is APPROVED on June 18, 2026, subject to the following condition:

1. that the owner pay all outstanding property taxes prior to the endorsement of the plan of survey.

Enclosure I is an attachment of the major advisements throughout the subdivision process. Enclosure II is a map of the subdivision and identifies major conditions and advisements of this approval.

Please be advised that the approval is valid for one (1) year from the date on which the subdivision approval is given to the application. An extension beyond that time may be granted by the City of Edmonton.

Please be advised that the Subdivision Authority will not endorse the plan of subdivision or other instrument until the appeal period as prescribed by the Municipal Government Act has lapsed. An appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, 10019 - 103 Avenue NW, Edmonton Alberta, T5J 0G9, within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be seven (7) days from the date the decision is mailed.

The Subdivision Authority did not receive comments from adjacent landowners. The application complies with the regulations set out in the Edmonton Zoning Bylaw, the land is serviceable, and the proposal advances a more compact urban form. The Subdivision Authority is of the opinion, after considering factors set out in Section 9 of the Matters Related to Subdivision and Development Regulation, that the land is suitable for the purpose for which the subdivision is intended.

If you have further questions, please contact subdivisions@edmonton.ca.

Regards,

Blair McDowell
Subdivision Authority

BM/mm/Posse #659112114-001

Enclosures

Please be advised of the following:

Next Steps for Subdivision Approval

- The next step in the subdivision process is to have a legal instrument prepared (ie. Plan of Survey) in order to register the approved subdivision. The legal instrument is then forwarded to the City for endorsement along with the endorsement fee (\$745.00 - 2026 Fees Schedule) and subsequently released to the applicant for registration at the Land Titles Office.

Transportation

- There are existing boulevard trees adjacent to the site that must be protected during construction. For information about tree protection please refer to the City of Edmonton's website (search "Trees and Construction").
- Any and all costs associated with tree work requests (removal, pruning or other) and/or remediation from damages are borne on to the proponent as per the Corporate Tree Management Policy (C456C). All work is to be carried out by Urban Forestry who can be contacted at citytrees@edmonton.ca. Removal of City of Edmonton trees must follow the Live Tree Removal Guidelines which include community notice and value compensation.
- Access for future development must be to the adjacent alley as per the General Regulations (Section 6.1) in the 2.10 RS - Small Scale Residential Zone of Zoning Bylaw 20001.
- There is an existing access to 132 Street NW. Upon redevelopment of proposed Lot 16A, it must be removed. At that time, the owner/applicant will be required to obtain a Permit for the access' removal from the City's Development Services team. Apply online at www.edmonton.ca/permits.

Building / Site

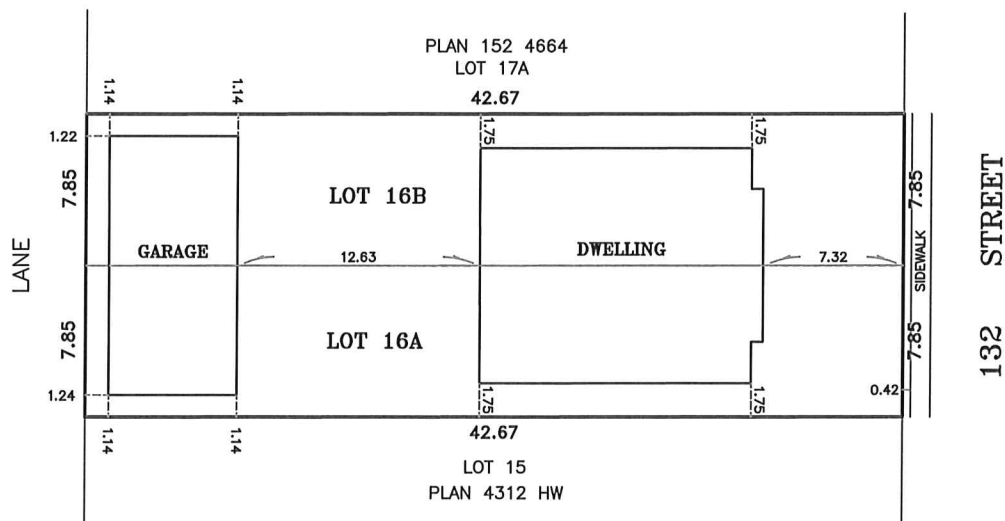
- The owner shall ensure that any change in property boundaries does not cause any structures on site to become non-compliant with the Safety Codes Act and the Alberta Building Code. Permits may be required for such changes. Please contact 311 for more information.

Servicing

- The owner is required to make satisfactory arrangements for, and pay all costs associated with separate servicing to each lot, as well as the modification, relocation and/or removal of existing services. For further information, please contact: EPCOR Distribution & Transmission Inc. (780-412-4000), TELUS Communications (Edmonton) Inc. (Real Estate Division [Rights of Way] 780-508-2456), ATCO Gas (780-424-5222), and EPCOR Drainage Services (Infill Water and Sewer Servicing 780-496-5444).
- The existing services (water and sanitary) enter the proposed subdivision approximately 4.14m north of the south property line of current Lot 16 off the lane west of 132 Street NW and 7.45m south of the north property line of current Lot 16 off the lane west of 132 Street NW. As per the EPCOR Drainage Services Bylaw and the EPCOR Water Services and Wastewater Treatment Bylaw, these services cannot cross the proposed property line.
- There is a deficiency in on-street hydrant spacing adjacent to the property. The applicant/owner is advised to review on-site fire protection requirements to ensure adequate coverage (contact EPCOR Water at 780-412-3955).

- Overhead power lines are located on or adjacent to the subject site. It is important to prevent structural conflicts with electrical equipment. At the Development Permit stage, power poles, transformers, and other electrical equipment near the subject site must be included on all site plans and drawings. If a structure is greater than 5.5 m in height and has a setback of 4.5 m or less from the property line, please advise EPCOR Power's Customer Engineering Services (CES@epcor.com or 780-412-3128). They will provide feedback from a safety perspective, to help ensure Alberta Electrical Utility Code clearance requirements are achieved. For more information, refer to EPCOR Power's website at www.epcor.com (search "Building Structures and Power Equipment Clearances").
- If power service crosses the proposed property line the owner may be required to provide a blanket easement in favour of EPCOR Distribution & Transmission Inc. If required, said easement shall be registered prior to or concurrent with the final plan of survey (contact EPCOR Land Administration Group at 780-412-3252).

1. ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
2. FENCES ARE SHOWN THUS
3. AREA OF PROPOSED SUBDIVISION BOUNDED THUS.....
AND CONTAINS 0.067 ha.



JOB No. 126147

Thursday, June 11, 2026
10:00 am.



SUBDIVISION AUTHORITY MINUTES

MEETING NO. 23

PRESENT Blair McDowell, Chief Subdivision Officer

1. ADOPTION OF AGENDA

MOVED

Blair McDowell

That the Subdivision Authority Agenda for the June 11, 2026 meeting be adopted.

FOR THE MOTION

Blair McDowell

CARRIED

2. ADOPTION OF MINUTES

MOVED

Blair McDowell

That the Subdivision Authority Minutes for the June 4, 2026 meeting be adopted.

FOR THE MOTION

Blair McDowell

CARRIED

3. OLD BUSINESS

4. NEW BUSINESS

1. LDA25-0421
596092500-001

Tentative plan of subdivision to create two (2) multi-unit housing lots (MHL), and one (1) Public Utility Lot from Lot B, Plan 1548 MC located north of Ellerslie Road SW and east of 119 Street SW; **MACEWAN**

MOVED

Blair McDowell

That the application for subdivision be Approved.

FOR THE MOTION

Blair McDowell

CARRIED

2. LDA26-0076
640912456-001

Tentative plan of subdivision to create 70 residential lots and one (1) multi-unit housing lot (MHL) from Lot 1, Block 1, Plan 262 0251 located south of 167 Avenue NE and east of Meridian Street NW; **QUARRY RIDGE**

MOVED

Blair McDowell

That the application for subdivision be Approved.

FOR THE MOTION

Blair McDowell

CARRIED

3. LDA26-0168
658143301-001

Tentative plan of subdivision to create one (1) additional residential lot from Lot 1A, Block 18, Plan 4747 KS, located north of 124 Avenue NW and west of 81 Street NW; **ELMWOOD PARK**

MOVED	Blair McDowell That the application for subdivision be Approved.	
FOR THE MOTION	Blair McDowell	CARRIED
5.	ADJOURNMENT The meeting adjourned at 10:15 a.m.	