

PROJECT LOCATION

MUNICIPAL ADDRESS

ADDRESS
LESTER N ALLYN HOUSE
9932 - 112 STREET NW, T5K1L7
EDMONTON, ALBERTA

LEGAL DESCRIPTION

LOT 74B, BLOCK 12, PLAN 0941778

ZONING DESIGNATION

LAND USE BYLAW - 12800
MEDIUM DENSITY MULTIPLE FAMILY ZONE (RF6)

GENERAL SITE INFORMATION

AREA = 473.825 M2
YEAR BUILT: 1907
NEIGHBOURHOOD: OLIVER
WARD 06
OVERLAYS: MATURE NEIGHBOURHOOD OVERLAY
MEDIUM SCALE RESIDENTIAL INFILL OVERLAY
PLAN IN EFFECT: OLIVER ARP

NOTES

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CONSULTANT PROJECT NO.

Edmonton THE CITY OF
BUILDINGS DESIGN AND
CONSTRUCTION BRANCH

PROJECT:
Oliver Historic Properties
Lester N Allyn House

LOCATION: 9932 112 St NW

DRAWING TITLE:
Site Plan

ALL DIMENSIONS ARE IN MILLIMETERS

SCALE As indicated

DRAWN BY	WRH
DATE	07/09/02

REVIEWED BY	NK
DATE	07/09/02

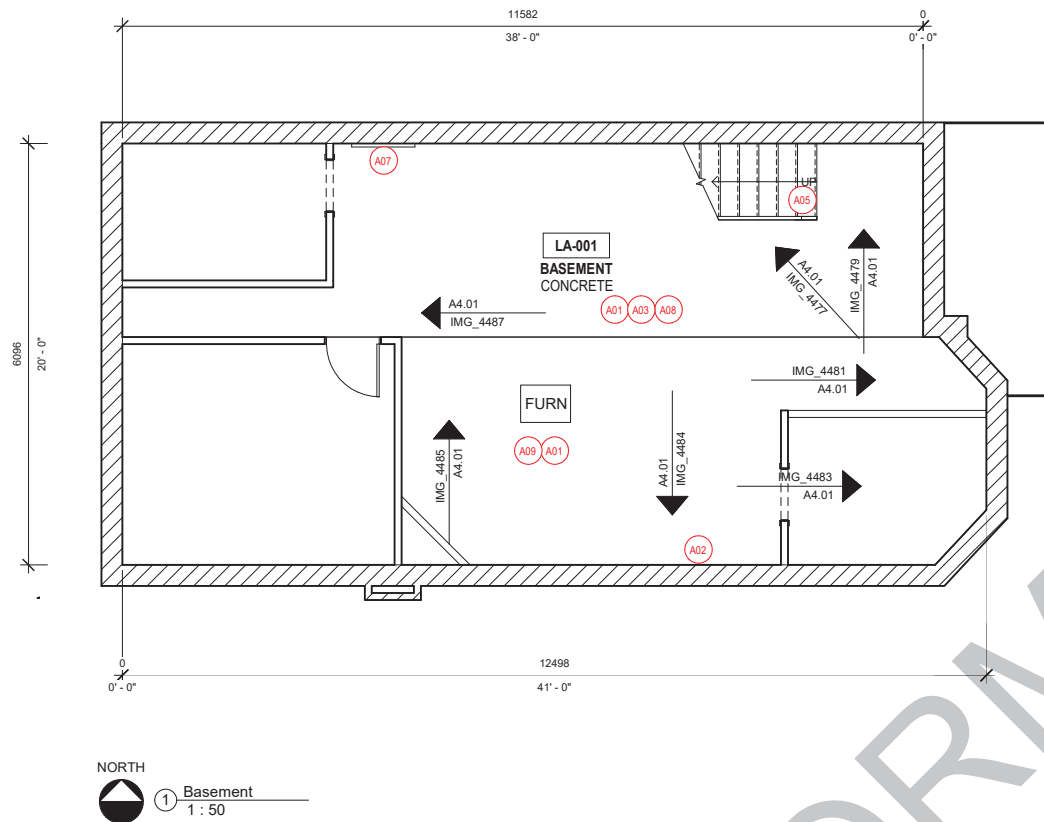
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DATE	07/09/02

DRAWING NO.

A1.00

PROJECT NO. City No.

CAD FILE NAME: 20



DEMOLITION GENERAL NOTES

1. THE OWNER RESERVES THE RIGHT TO SALVAGE ANY ITEMS IDENTIFIED TO BE REMOVED. AT THE BEGINNING OF DEMOLITION WORK THE OWNER'S REPRESENTATIVE SHALL IDENTIFY ALL ITEMS TO BE SALVAGED.
2. DEMOLITION SHALL BE PERFORMED IN AN ORDERLY FASHION. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PROTECT EXISTING FACILITIES FROM DAMAGE DURING CONSTRUCTION.
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SCOPE AND KEYNOTE DESCRIPTION

SCOPE A = KEYNOTE GROUP A = STRUCTURAL STABILIZATION AND BRICK REPAIR
SCOPE B = KEYNOTE GROUP B = INTERIOR DEMOLITION TO EXPOSED STUD INTERIORS
SCOPE C = KEYNOTE GROUP C = RENOVATION TO HABITABLE SPACE

Keynote Legend	
Key Value	Keynote Text

A01	CONCRETE SLAB TO BE REMOVED
A02	FOUNDATION WALLS TO BE REMOVED
A03	DEMOLISH AND RECONSTRUCT ENTIRE FOUNDATION INCLUDING BASEMENT FLOOR SLABS WITH CAST IN PLACE CONCRETE AND PROPER DRAINAGE TILE
A05	WOODEN STAIRS TO BE REMOVED. NEW STAIRS TO BE CONSTRUCTED
A07	REMOVE EXISTING ELECTRICAL SYSTEM IN BASEMENT AREA ONLY
A08	REMOVE AND REPLACE BASEMENT INTERIOR SUPPORTING STRUCTURES WITH NEW METAL STRUCTURES ON PROPER FOUNDATIONS
A09	DISCONNECT AND SEAL EXISTING UTILITIES

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CONSULTANT PROJECT NO.

THE CITY OF
Edmonton BUILDINGS DESIGN AND
CONSTRUCTION BRANCH

PROJECT: Oliver Historic Properties
Lester N Allyn House

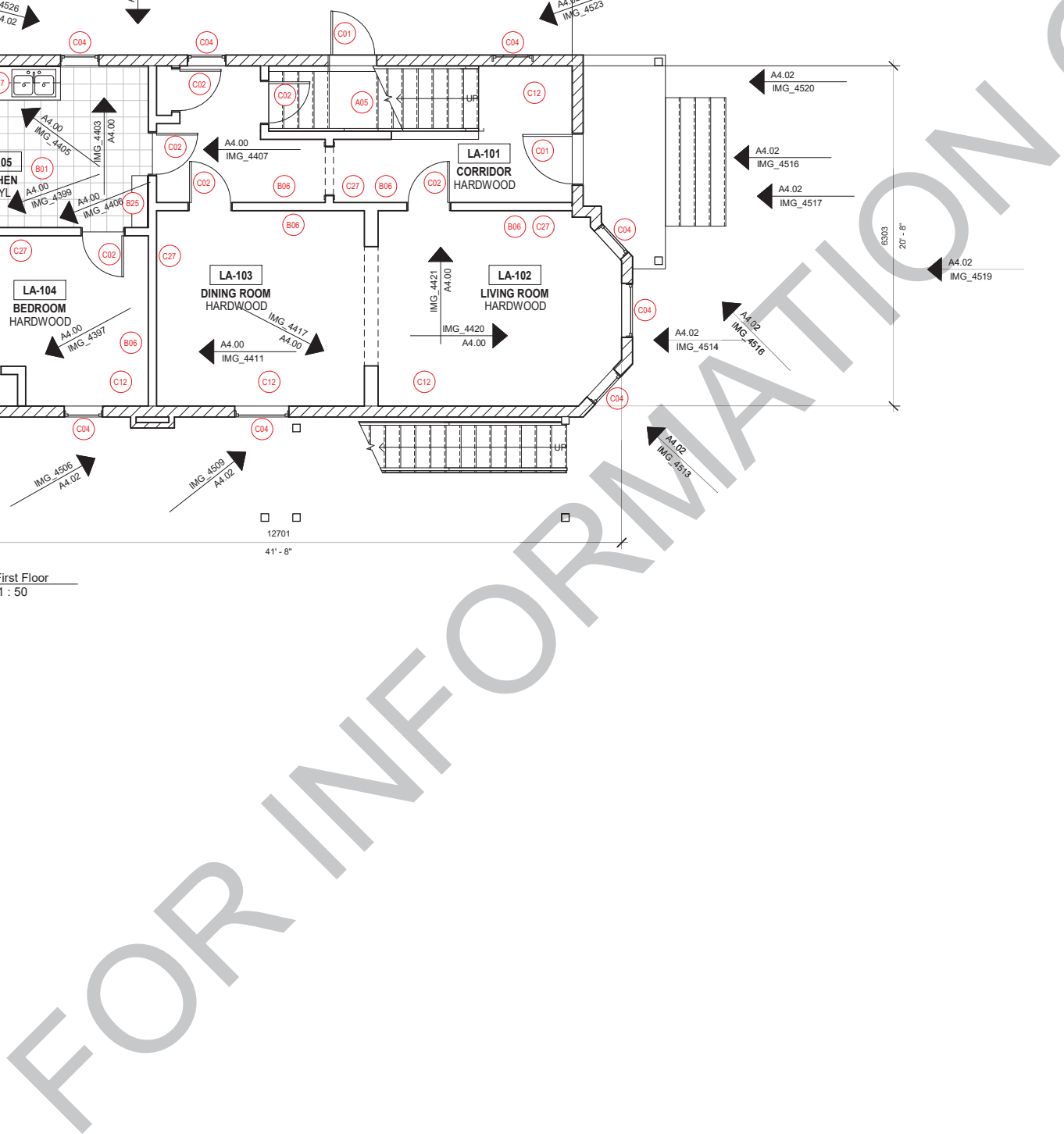
LOCATION: 9932 112 St NW

DRAWING TITLE:

Basement Plan

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SCALE	As indicated	DRAWING NO.	A1.01
DRAWN BY	Author		
DATE	07/09/02		
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DATE	07/09/02		
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DATE	07/09/02		
CAD FILE NAME:			



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SCOPE C = KEYNOTE GROUP C = RENOVATION TO HABITABLE SPACE

Keynote Legend	
Key Value	Keynote Text
A05	WOODEN STAIRS TO BE REMOVED. NEW STAIRS TO BE CONSTRUCTED
B01	REMOVE LINOLEUM AND VINYL FLOORING
B06	REMOVE ALL LATH AND PLASTER FROM WALLS AND CEILING TO EXPOSE INTERIOR STUD SPACE. TRIM IS TO BE REMOVED, REFINISHED AND REINSTALLED IN SCOPE C.
B07	REMOVE KITCHEN CABINETRY, FIXTURES AND APPLIANCES. DISCONNECT AND SEAL EXISTING UTILITIES.
B25	CASEWORK TO BE REMOVED
C01	EXTERIOR DOOR REFURBISH. ADJUST DOOR TO SWING AND CLOSE PROPERLY. INSPECT DOOR HARDWARE AND REPLACE IF IN POOR CONDITION. REPLACE WEATHER STRIPING TO CREATE A PROPER SEAL ON FRAME
C02	INTERIOR DOOR REFURBISH. ADJUST DOOR TO SWING AND CLOSE PROPERLY. INSPECT DOOR HARDWARE AND REPLACE IF IN POOR CONDITION
C04	WINDOW REFURBISHMENT. SCRAPE, REPAINT AND WEATHERSTRIP ALL EXISTING WINDOWS
C12	REPAIR, SAND AND REFINISH WOOD FLOORING
C27	REINSTALL ALL TRIM THAT WAS REMOVED IN SCOPE B

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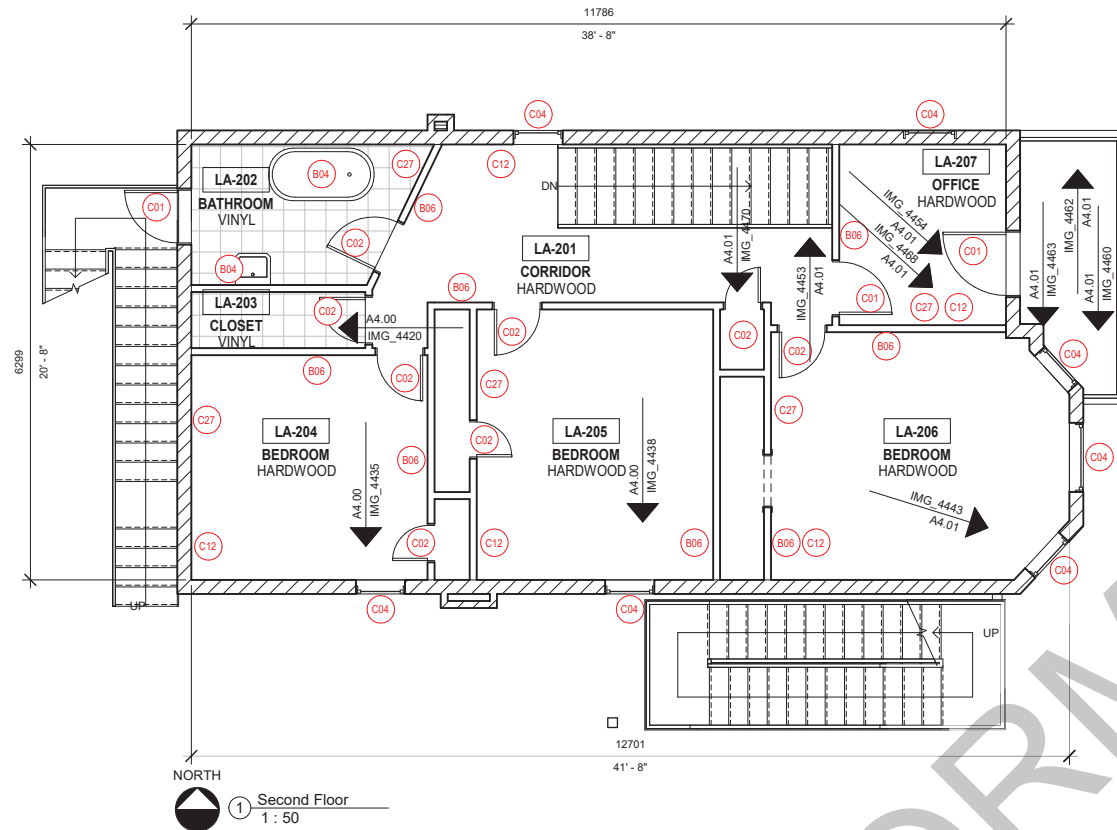
PROJECT:
Oliver Historic Properties
Lester N Allyn House

LOCATION: 9932 112 St NW

DRAWING TITLE:
First Floor Plan

ALL DIMENSIONS ARE IN MILLIMETERS

SCALE As indicated	DRAWING NO.
DRAWN BY WRH DATE 07/09/02	A2.01
REVIEWED BY NK DATE 07/09/02	
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CAD FILE NAME:	



DEMOLITION GENERAL NOTES

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SCOPE AND KEYNOTE DESCRIPTION

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SCOPE B = KEYNOTE GROUP B = INTERIOR DEMOLITION TO EXPOSED STUD INTERIORS
SCOPE C = KEYNOTE GROUP C = RENOVATION TO HABITABLE SPACE

Keynote Legend	
Key Value	Keynote Text

B04	REMOVE PLUMBING FIXTURES
B06	REMOVE ALL LATH AND PLASTER FROM WALLS AND CEILING TO EXPOSE INTERIOR STUD SPACE. TRIM IS TO BE REMOVED, REFINISHED AND REINSTALLED IN SCOPE C.
C01	EXTERIOR DOOR REFURBISH. ADJUST DOOR TO SWING AND CLOSE PROPERLY. INSPECT DOOR HARDWARE AND REPLACE IF IN POOR CONDITION. REPLACE WEATHER STRIPING TO CREATE A PROPER SEAL ON FRAME
C02	INTERIOR DOOR REFURBISH. ADJUST DOOR TO SWING AND CLOSE PROPERLY. INSPECT DOOR HARDWARE AND REPLACE IF IN POOR CONDITION
C04	WINDOW REFURBISHMENT. SCRAPE, REPAINT AND WEATHERSTRIP ALL EXISTING WINDOWS
C12	REPAIR, SAND AND REFINISH WOOD FLOORING
C27	REINSTALL ALL TRIM THAT WAS REMOVED IN SCOPE B

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CONSTRUCTION BRANCH

PROJECT:
Oliver Historic Properties
Lester N Allyn House

LOCATION: 9932 112 St NW

DRAWING TITLE:
Second Floor Plan

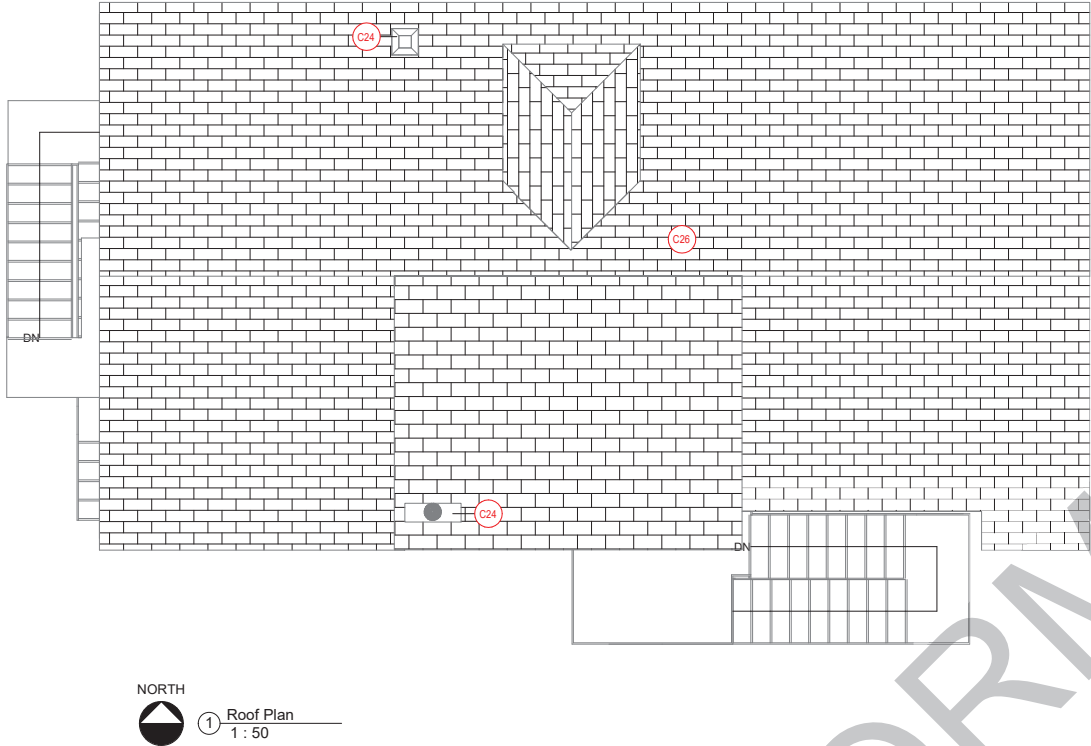
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SCALE	As indicated	DRAWING NO.	A2.02
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DATE	07/09/02		
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DATE	07/09/02		
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DATE	07/09/02		
CAD FILE NAME:			



Keynote Legend	
Key Value	Keynote Text
B01	REMOVE LINOLEUM AND VINYL FLOORING
B04	REMOVE PLUMBING FIXTURES
B06	REMOVE ALL LATH AND PLASTER FROM WALLS AND CEILING TO EXPOSE INTERIOR STUD SPACE. TRIM IS TO BE REMOVED, REFINISHED AND REINSTALLED IN SCOPE C.
B07	REMOVE KITCHEN CABINETRY, FIXTURES AND APPLIANCES. DISCONNECT AND SEAL EXISTING UTILITIES.
C01	EXTERIOR DOOR REFURBISH. ADJUST DOOR TO SWING AND CLOSE PROPERLY. INSPECT DOOR HARDWARE AND REPLACE IF IN POOR CONDITION. REPLACE WEATHER STRIPING TO CREATE A PROPER SEAL ON FRAME
C02	INTERIOR DOOR REFURBISH. ADJUST DOOR TO SWING AND CLOSE PROPERLY. INSPECT DOOR HARDWARE AND REPLACE IF IN POOR CONDITION
C04	WINDOW REFURBISHMENT. SCRAPE, REPAINT AND WEATHERSTRIP ALL EXISTING WINDOWS
C12	REPAIR, SAND AND REFINISH WOOD FLOORING
C27	REINSTALL ALL TRIM THAT WAS REMOVED IN SCOPE B

PROJECT NO.



DEMOLITION GENERAL NOTES

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Keynote Legend	
Key Value	Keynote Text
C24	CHIMNEY REQUIRE FURTHER REVIEW FOR EXTENT OF REPAIR AND STABILIZATION
C26	A LIMITED OBSERVATION WAS CONDUCTED AND FOUND ASPHALT SHINGLES TO BE IN FAIR CONDITION. ROOFING REQUIRES FURTHER REVIEW FOR EXTENT OF REPAIR

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CONSULTANT PROJECT NO.

THE CITY OF

Edmonton

BUILDINGS DESIGN AND CONSTRUCTION BRANCH

PROJECT:
Oliver Historic Properties
Lester N Allyn House

LOCATION: 9932 112 St NW

DRAWING TITLE:
Roof Plan

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Author
07/09/02

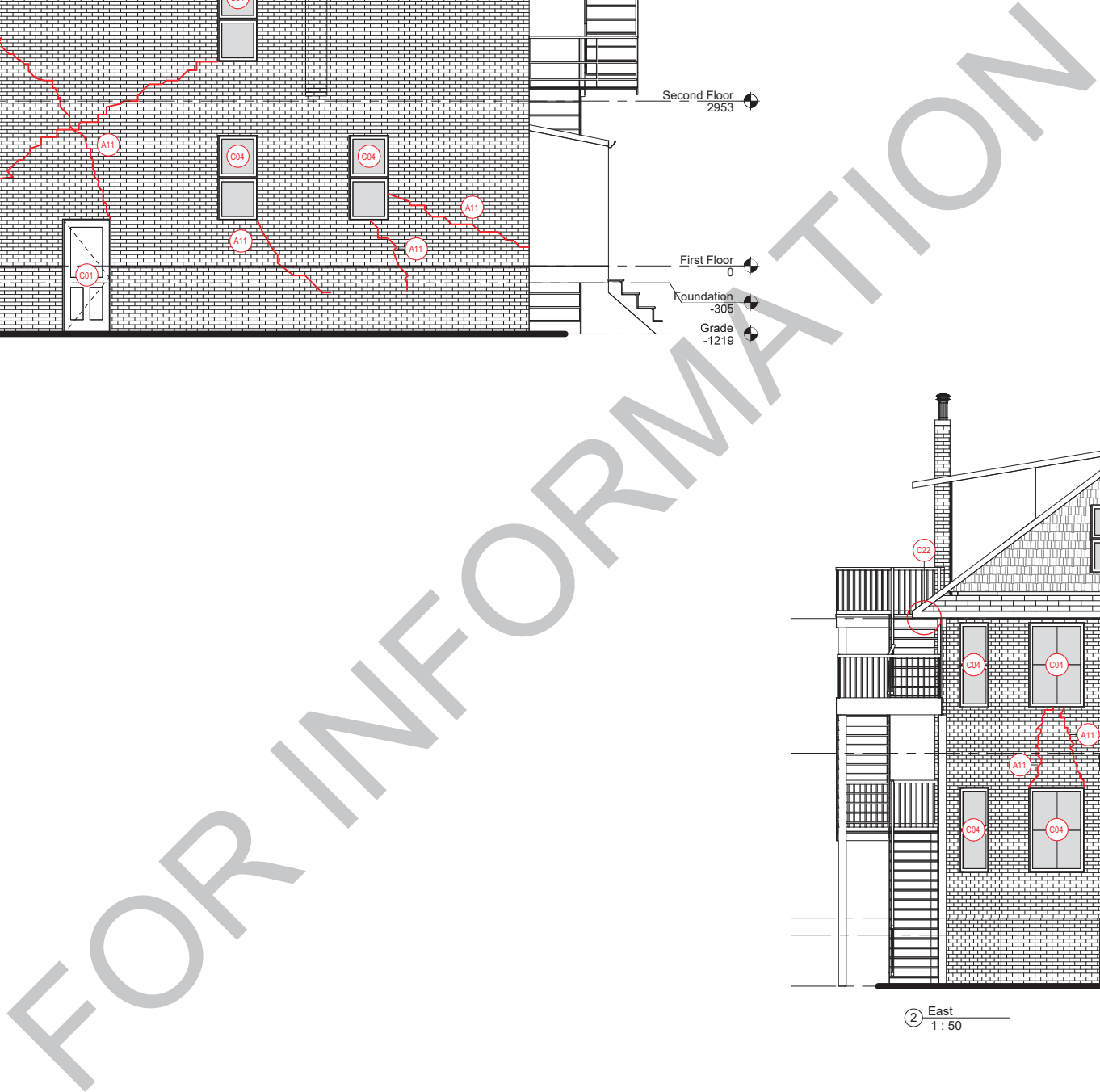
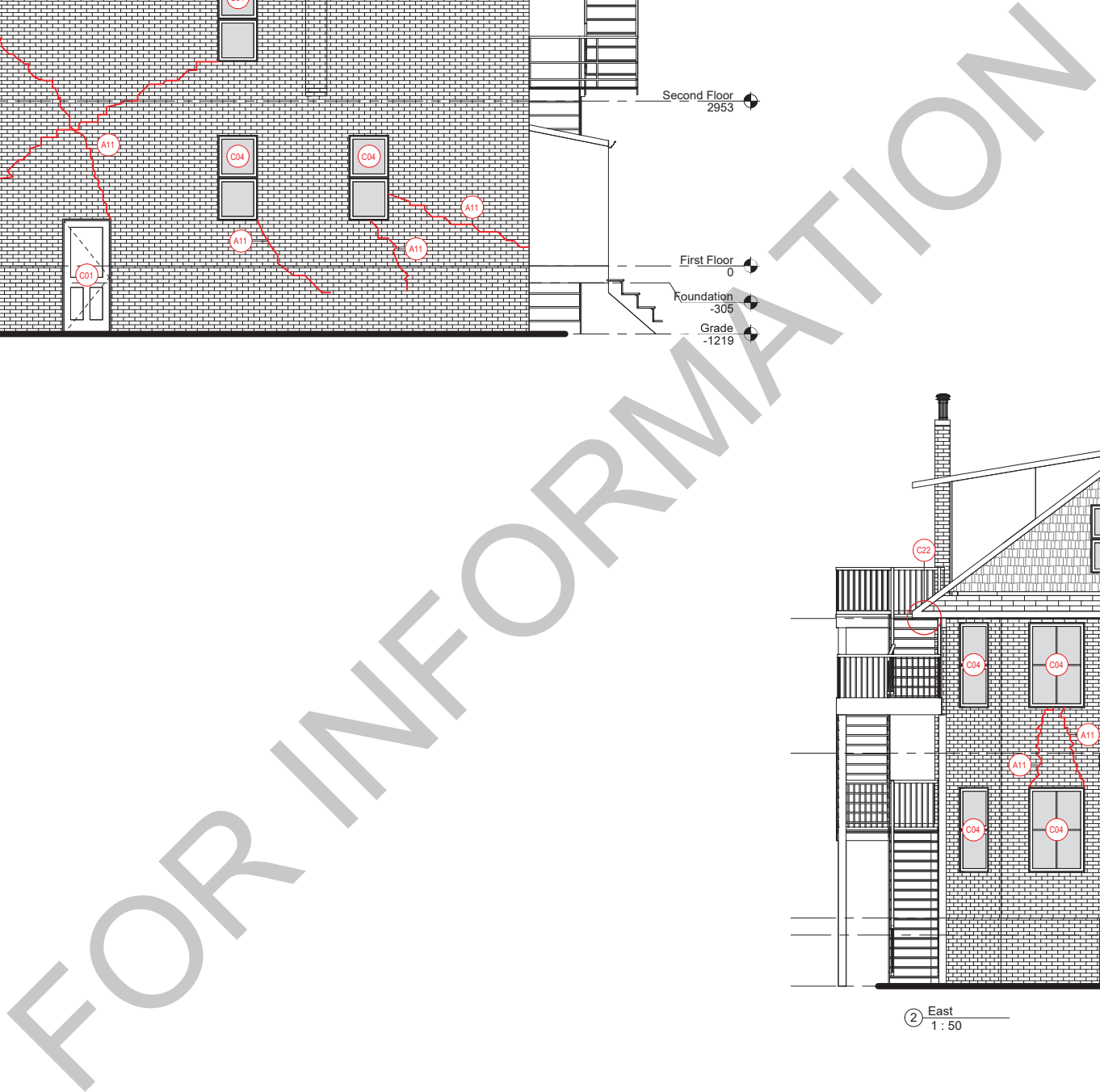
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A2.05

PROJECT NO.

CAD FILE NAME:



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A11	REPAIR AND STABILIZE CRACKING IN THE BRICK. REFER TO STRUCTURAL FOR REPAIR METHODS
C01	EXTERIOR DOOR REFURBISH. ADJUST DOOR TO SWING AND CLOSE PROPERLY. INSPECT DOOR HARDWARE AND REPLACE IF IN POOR CONDITION. REPLACE WEATHER STRIPING TO CREATE A PROPER SEAL ON FRAME
C04	WINDOW REFURBISHMENT. SCRAPE, REPAINT AND WEATHERSTRIP ALL EXISTING WINDOWS
C21	REMOVE AND REPLACE ROTTING WOOD
C22	REMOVE AND REPAIR ROTTING OR DAMAGED WOOD SOFFIT
C23	STABILIZE AND SECURE EXISTING GUARD RAIL

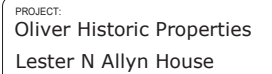
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CONSULTANT PROJECT NO.



LOCATION: 9932 112 St NW

DRAWING TITLE:
Elevations

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SCALE As indicated

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DATE 07/09/02

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DATE 07/09/02

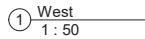
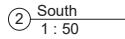
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PROJECT NO.

DRAWING NO.

A3.00



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Keynote Legend	
Key Value	Keynote Text
A10	STABILIZE BUCKLING CHIMNEY. REFER TO STRUCTURAL
A11	REPAIR AND STABILIZE CRACKING IN THE BRICK. REFER TO STRUCTURAL FOR REPAIR METHODS

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THE CITY OF
Edmonton BUILDINGS DESIGN AND
CONSTRUCTION BRANCH

PROJECT: Oliver Historic Properties
Lester N Allyn House

LOCATION: 9932 112 St NW

DRAWING TITLE:

Elevations

ALL DIMENSIONS ARE IN MILLIMETERS

SCALE As indicated	DRAWING NO.
DRAWN BY DATE Author 07/09/02	A3.01
REVIEWED BY DATE 07/09/02	
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