

INTRODUCTION

As part of the Secondary Suites in Semi-detached and Duplex Housing public consultation process, City staff conducted a survey in June 2017. The survey received over 1,700 responses.

This survey provided an opportunity for residents to share their feedback on proposed changes to allow Secondary Suites in Semi-detached and Duplex Housing. This survey was distributed through the Insight Community.

FOR MORE INFORMATION



311



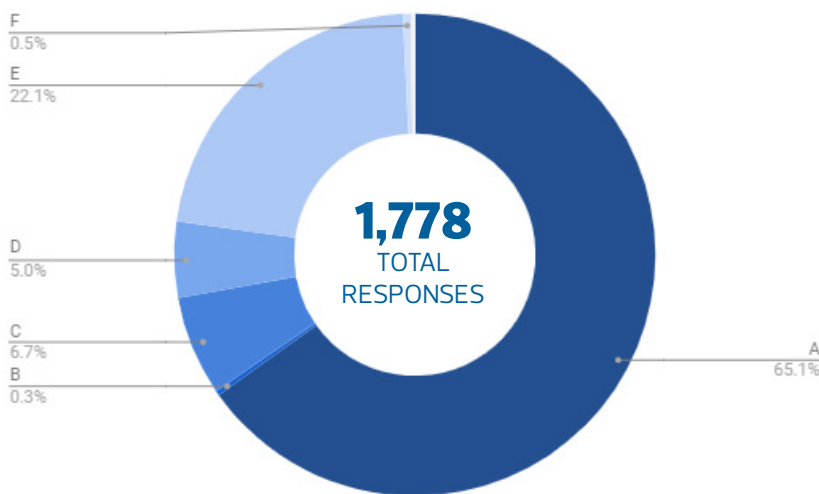
[www.edmonton.ca/
secondarysuites zoning](http://www.edmonton.ca/secondarysuites zoning)



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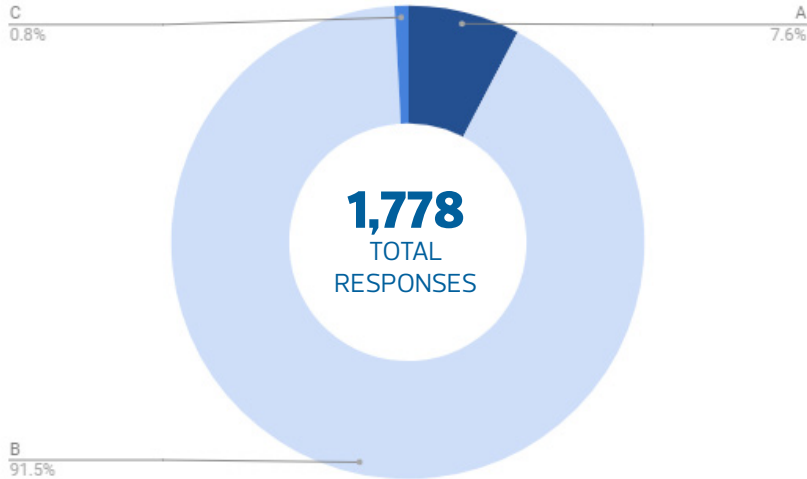
SURVEY RESULTS

1. What type of dwelling do you live in?



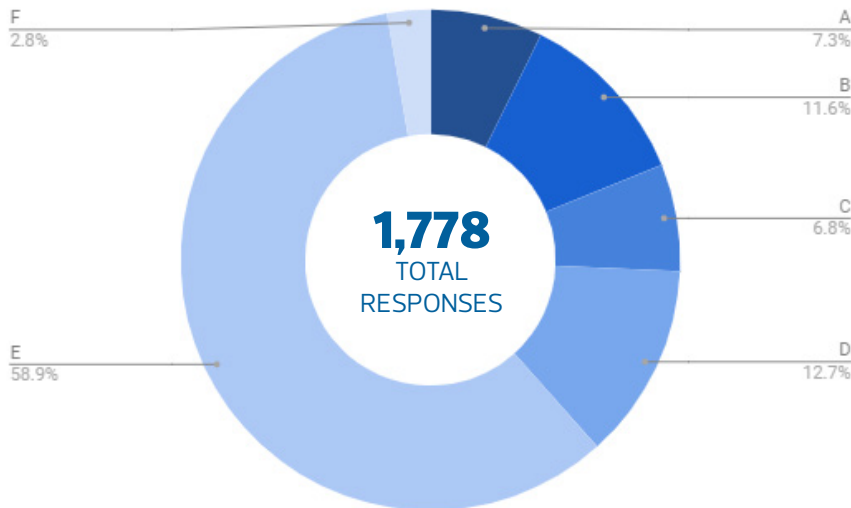
		Responses
A	Detached House	1,158
B	Mobile Home	6
C	Semi-detached or Duplex House	119
D	Row House	89
E	Apartment/Condo	393
F	Secondary Suite	9
G	Garage or Garden Suite	4

2. Do you currently have a secondary suite or garage or garden suite on your property?



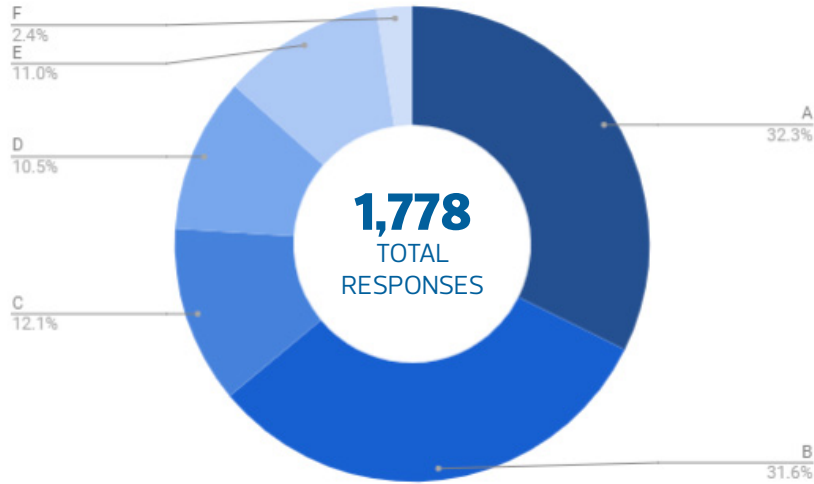
		Responses
A	Yes	136
B	No	1,627
C	I live in a secondary, garage or garden suite.	15

3. How likely are you to consider developing a secondary suite?



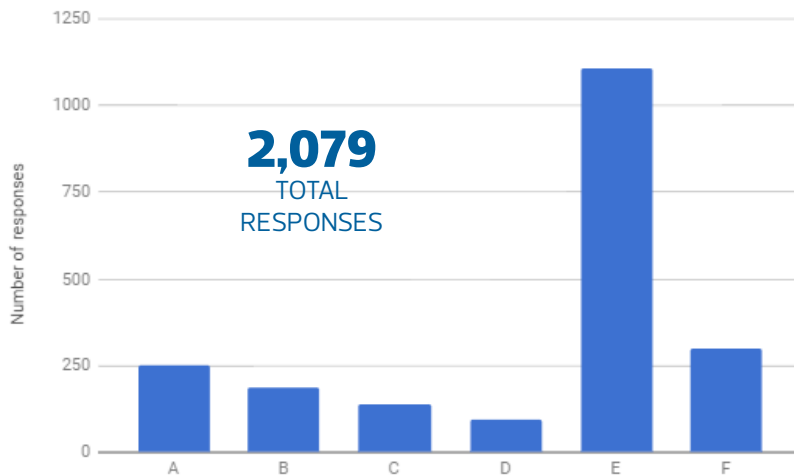
		Responses
A	Very likely	116
B	Somewhat likely	185
C	Neutral	109
D	Somewhat unlikely	203
E	Very unlikely	941
F	Don't know	44

4. Please indicate your level of agreement with the following statement: I support allowing regulated secondary suites in semi-detached and duplex housing in Edmonton.



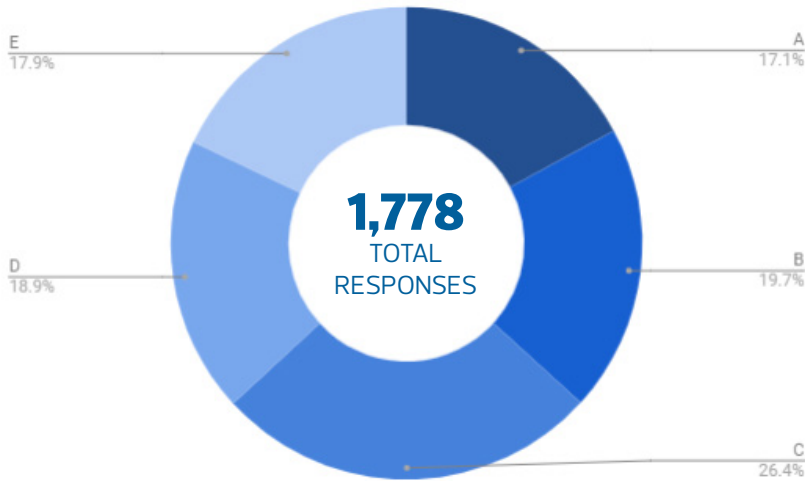
		Responses
A	Strongly agree	575
B	Somewhat agree	562
C	Neither agree nor disagree	215
D	Somewhat disagree	187
E	Strongly disagree	196
F	Don't know	43

5. Secondary suites in semi-detached or duplex housing should be allowed...



		Responses
A	Near high frequency transit	252
B	On corner lots, properties along arterial roads, or next to properties with row housing, apartment or commercial development.	188
C	In new neighbourhoods	137
D	In mature or established neighbourhoods	96
E	All of the above - suites should be allowed wherever semi-detached or duplex housing is allowed.	1,105
F	None of the above - suites in semi-detached or duplex housing should not be allowed in any locations.	301

6. Currently, properties have to be a certain size before they are allowed to have a secondary suite on them. How important is to you that suites be constructed only on larger properties, recognizing that the building itself will not be allowed to be any bigger?

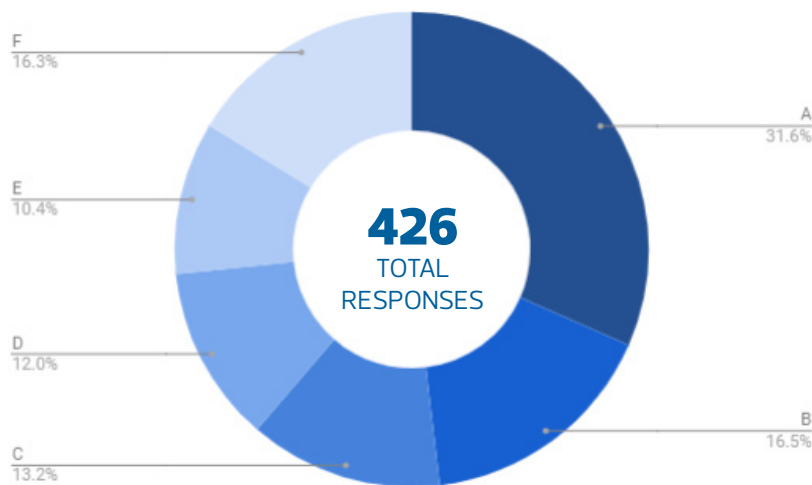


		Responses
A	Very important	304
B	Important	350
C	Neutral	469
D	Not very important	336
E	Not at all important	319

6a. Why do you feel this way?

A total of 1,071 Survey participants (60%) provided their feedback in the open text field. Responses were sorted by how important the respondents rated question 6, and the most commonly occurring responses have been grouped into categories as shown.

RESPONDENTS WHO SELECTED IMPORTANT OR VERY IMPORTANT



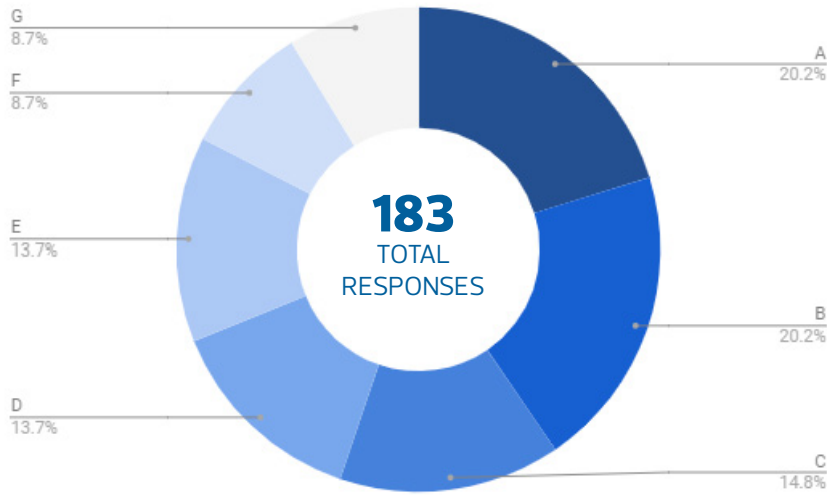
		Responses
A	Parking and traffic	134
B	Suite size/crowding of property	70
C	Concerns about density/ neighbourhood overcrowding	56
D	Amenity/open/green space	51
E	Building size/distance from neighbours/privacy	44
F	Other	69

"The present trend is already to make extremely high density housing, and putting even more people into tighter lots is going to cause larger conflicts among neighbours and tenants."

"The green space around the building is important."

"I am not in favour of trying to squeeze as many people as possible into every residential area. The extra space requirement is necessary to keep density to a bearable level."

RESPONDENTS WHO WERE NEUTRAL



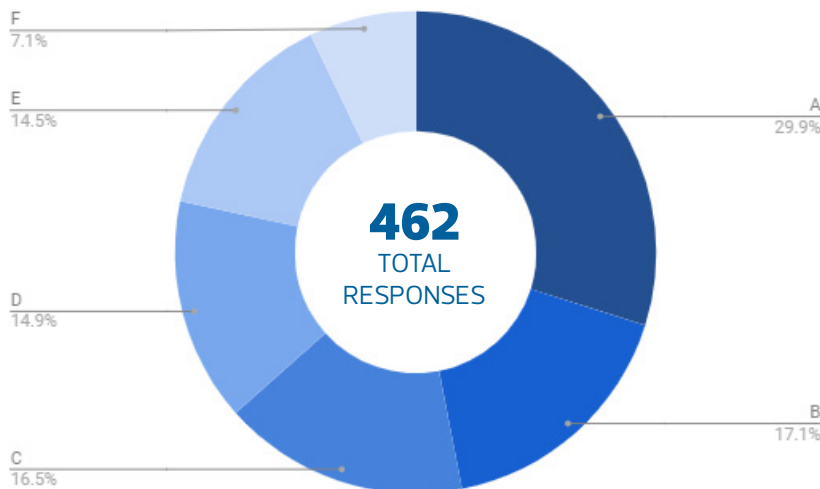
		Responses
A	Doesn't make a difference/not an issue if maximum building size doesn't change	37
B	No opinion	37
C	Not an issue as long as parking is provided	27
D	Increased density/suites are positive	25
E	Decision should be up to property owner/suite resident	16
F	Design/ what the suite is like is more important	16
G	Other	25

"It depends on the character of the neighbourhood that the property is in. If the surrounding area is fairly dense, then there is no reason that a secondary suite should not be allowed on a smaller lot."

"It seems to me that it really depends upon the specifics of the site. Arbitrary regulations don't recognize the degree of viability which may exist in differing situations."

"Do not care about this issue and do not want to force my opinion on someone who would like to have a suite in their place."

RESPONDENTS WHO SELECTED NOT VERY IMPORTANT OR NOT AT ALL IMPORTANT



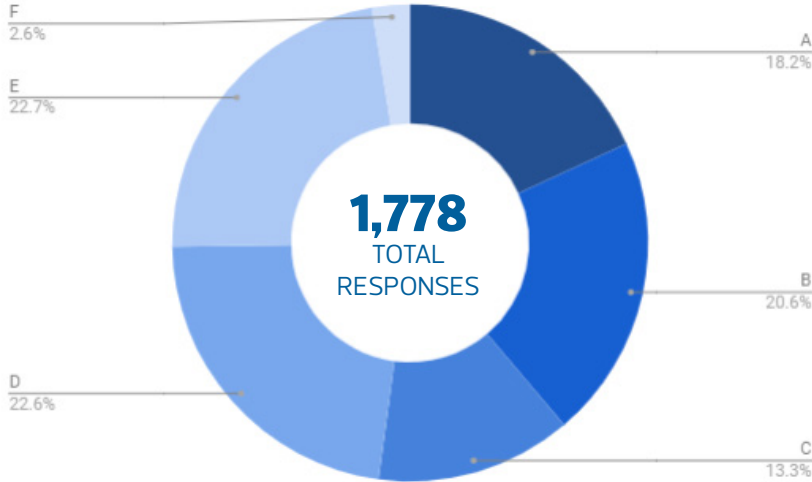
		Responses
A	Doesn't make a difference/not an issue if maximum building size doesn't change	138
B	Increased density/suites are positive	79
C	Other	76
D	Unfair/limits opportunities and housing options	69
E	Decision should be up to property owner/suite resident	67
F	Not an issue as long as parking is provided	33

"Some people who I would call "minimalists" are quite content living in a relatively small area without necessarily accumulating a lot of "stuff". They should be free to do so."

Why would the lot size matter? Building size is what's important!

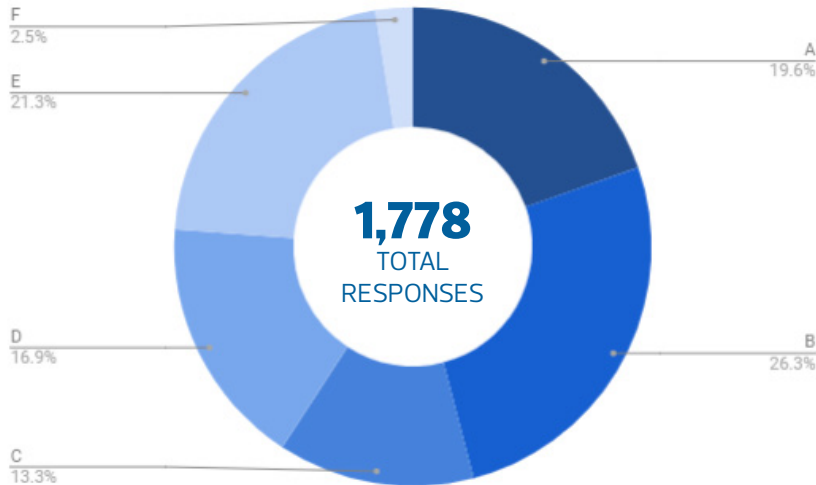
"I think up to date plumbing is far more important than size."

7. Neighbours should be able to appeal secondary suites in semi-detached and duplex housing even if they comply with all the regulations.



		Responses
A	Strongly Agree	323
B	Somewhat Agree	367
C	Neither Agree nor Disagree	237
D	Somewhat Disagree	402
E	Strongly Disagree	403
F	Don't Know	46

8. I support allowing regulated secondary suites in row housing in Edmonton.



		Responses
A	Strongly Agree	349
B	Somewhat Agree	467
C	Neither Agree nor Disagree	237
D	Somewhat Disagree	301
E	Strongly Disagree	379
F	Don't Know	45

NEXT STEPS

Thank you to everyone who participated in this survey. Your input will be used to inform the Secondary Suites in Semi-detached and Duplex Housing project.

For more information regarding the Secondary Suites in Semi-detached and Duplex Housing project, please visit:

www.edmonton.ca/secondariesuites zoning

SECONDARY SUITES IN SEMI-DETACHED AND DUPLEX HOUSING REVIEW PROJECT TIMELINE

- PUBLIC CONSULTATION**
Summer to Fall 2017
- DRAFT CIRCULATION**
Winter 2017 / 2018
- URBAN PLANNING COMMITTEE MEETING**
February 2018