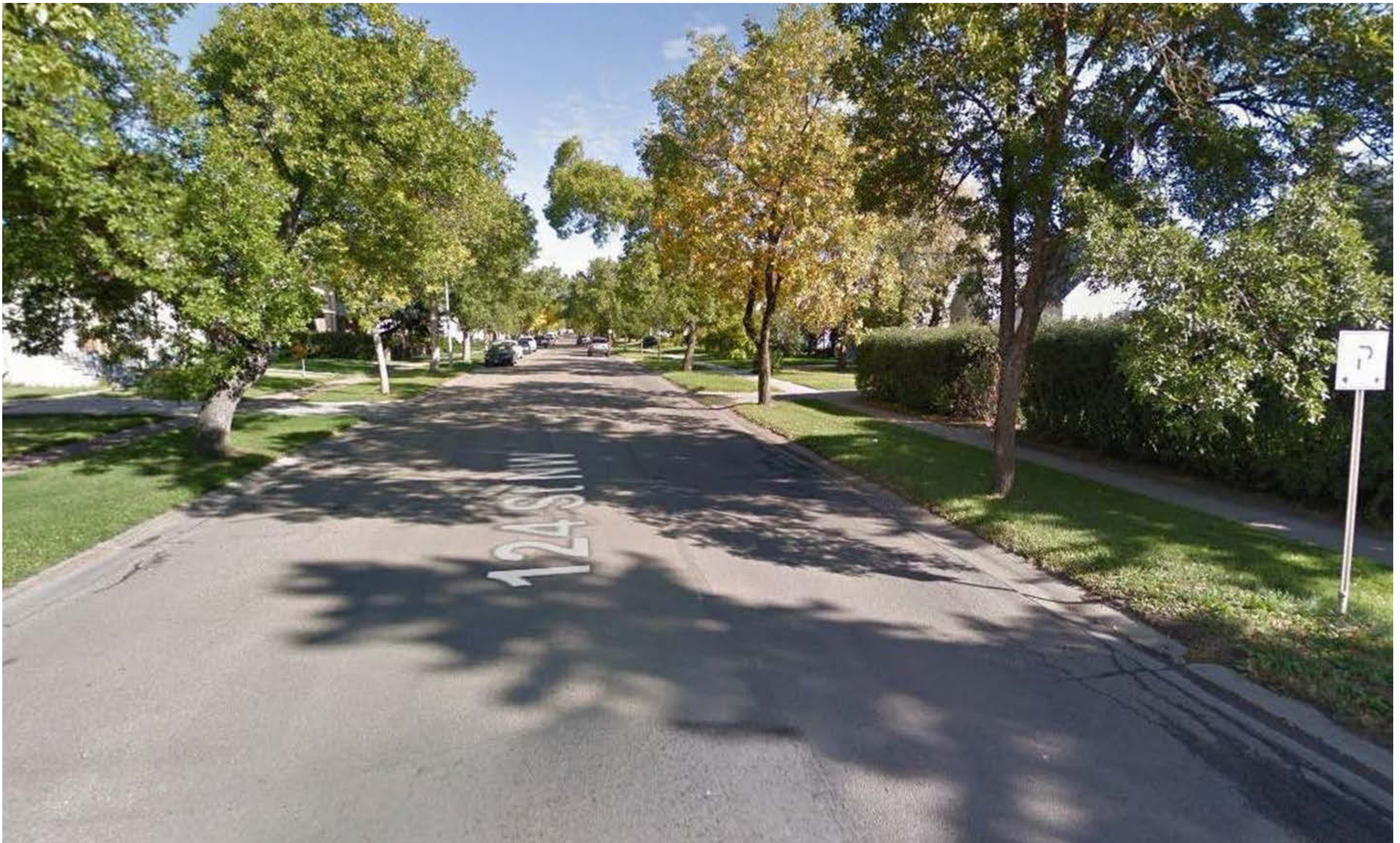




Building Great Neighbourhoods

# PRINCE CHARLES

Neighbourhood Reconstruction Public Meeting  
January 25, 2018



# WELCOME





# Building Great Neighbourhoods

**Building Great Neighbourhoods (BGN) is a long-term initiative that coordinates the efforts to renew, replace and enhance infrastructure in Edmonton neighbourhoods.**

This includes:

- Reconstructing the pavement
- Replacing curbs and gutters
- Replacing sidewalks
- Adding sidewalks where there are missing links
- Adding curb ramps at corners of all intersections
- Upgrading standard streetlights
- Coordinating with other projects





## Public Involvement

Today's meeting is to share the final design for the neighbourhood, outline the construction process and answer any questions about the local improvements.



- Community League Meeting #1:  
**September 6, 2016**
- Public Meeting #2:  
**March 7, 2017**
- Public Meeting #3:  
**Today - January 25, 2018**



# Room Map

Local Improvements

Entrance

Kids  
Zone

Tables

Coffee

Construction Process

Neighbourhood  
Design





# NEIGHBOURHOOD DESIGN





# Community Traffic Management Plan

- Permanent installation of traffic measures will occur with the Neighbourhood Renewal Construction
- Council approved the permanent installation of traffic measures on April 5, 2016

## Recommended Permanent Traffic Measures

Attachment 1

Figure 1. Recommended Permanent Traffic Measures in the Prince Charles Neighbourhood





# Streetlight Design

The Streetlight System is upgraded to energy efficient LED lighting

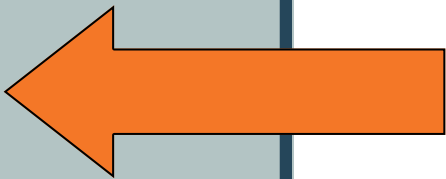






# LOCAL IMPROVEMENTS

	City prepares Local Improvement Plan
	Notices sent to owners
	Bylaw prepared
	30-day petition period
	Bylaw voted by City Council
	Construction
	Local Improvement Tax Levy



WE ARE HERE





# Local Improvements

Local improvements are construction projects undertaken near or adjacent to your property, which City Council considers of **greater benefit to your area** than to the municipality as a whole. Local Improvements are regulated by the Provincial Municipal Government Act.



Local improvements are paid for by property owners in one of two ways:

1. **Lump sum payment:** One-time full cost payment.
2. **Amortized payment:** The cost is paid gradually on your yearly property taxes (includes interest charges). The tax stays with the property; if you sell, the next owner will continue to pay the balance.



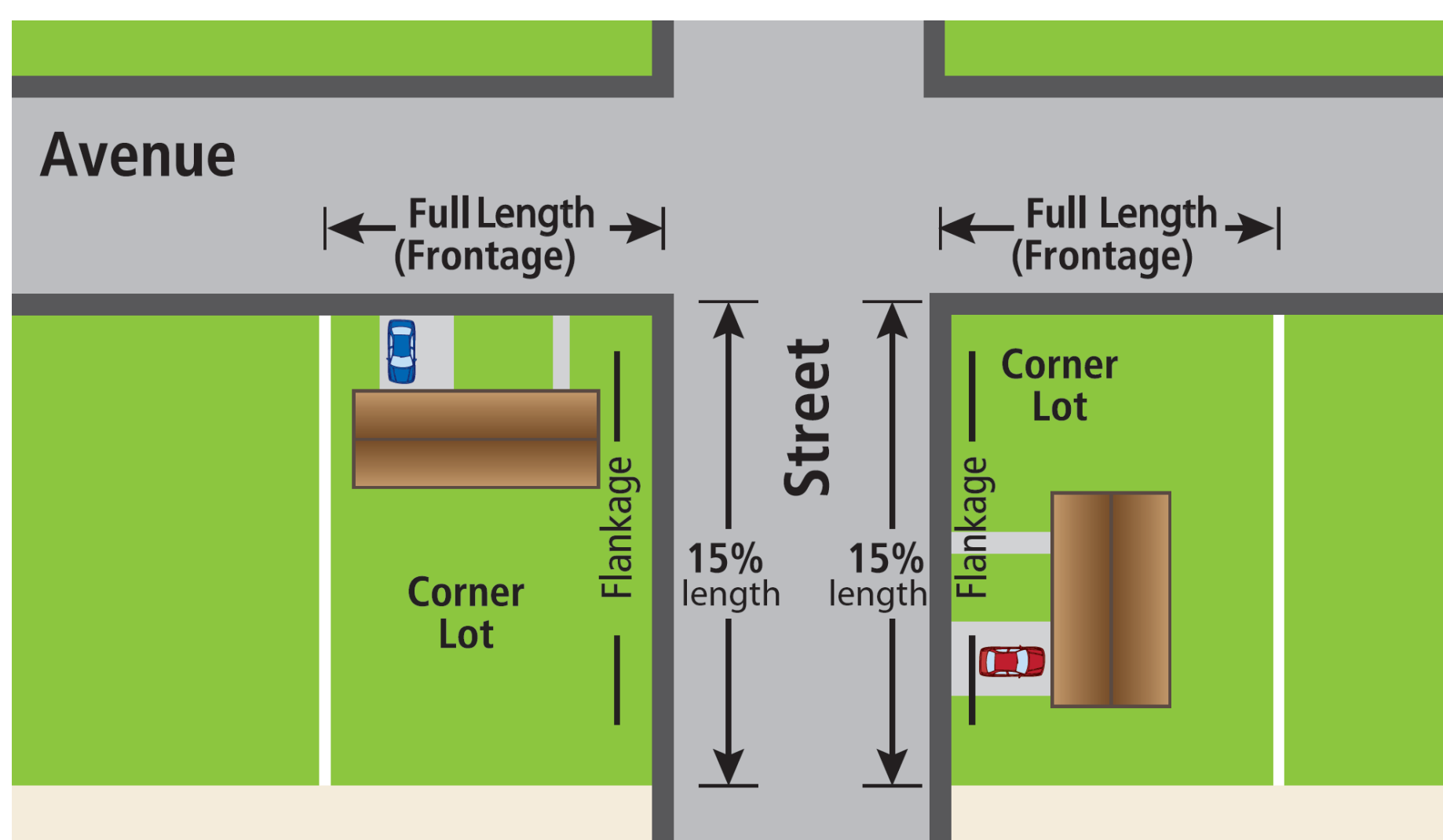
# Local Improvements: Cost

Property owners pay 50% of the sidewalk reconstruction based on their lot length assessment. The 2018 rate (50% of the cost) is: **\$203.39 per/m** as a lump sum or **\$14.68 per/m** per year.

A typical 50ft. (15.24m) lot would cost about **\$3100** or **\$224/year** over **20 years**.

## Corner Lots Length Assessment

Corner lots that have proposed local improvement renewal on both the front and the side of the property are assessed the full length of the frontage (short side) and 15% of the flankage (long side). House orientation does not affect frontage/flankage.

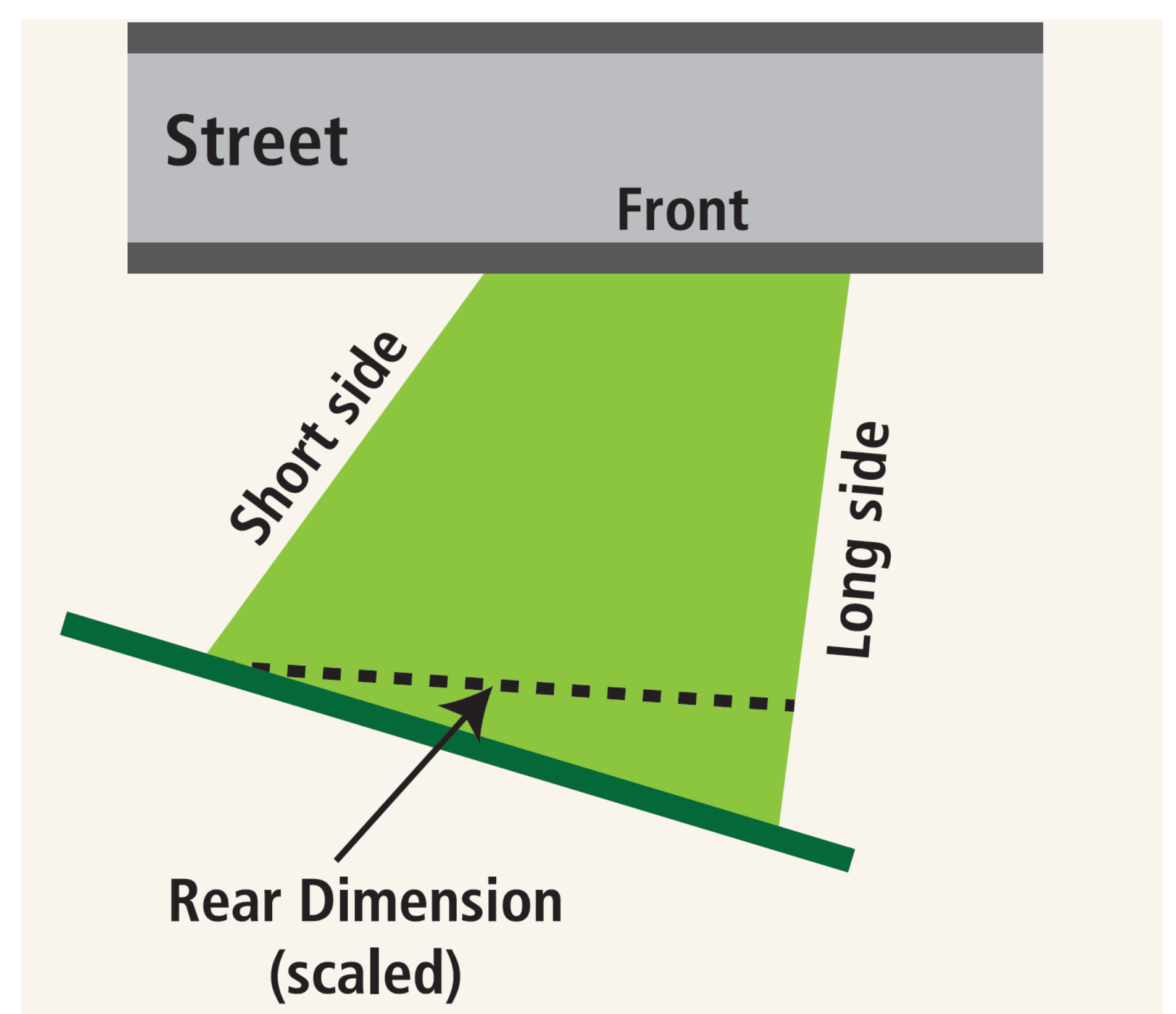


## Condo Unit Assessment

The assessed total length of the lot is divided by the amount of units in the condo, including parking and storage spaces if they have tax roll accounts.

## Pie or Odd-Shaped Lots Length Assessment

Pie or odd-shaped lot frontage is determined by adding the front and rear lot dimensions and dividing the total in half.



The rear dimension of a pie shaped lot is scaled off the corner at the shortest side and is projected at a right angle to the longest side.

**The exact cost for the local improvement is included on your tax notice the year following the sidewalk reconstruction.**





# Local Improvement: Process

Property owners receive a local improvement notice in the mail about **4-6 months** before neighbourhood reconstruction begins.

- Property owners have **30 days to petition** against the local improvement
- A valid petition against must include **witnessed signatures of all title owners** and must swear an affidavit before a Commissioner of Oaths

Integrated Infrastructure Services | City of Edmonton

Transportation Infrastructure

Neighbourhood Renewal Program

7th floor


Century Place

9803-102A Avenue

Edmonton, AB T5J 3A3

Canada

edmonton.ca



LOCAL IMPROVEMENT NOTICE

January 25, 2016

MR PROPERTY OWNER    MRS PROPERTY OWNER

6969 66A AVENUE NW

EDMONTON AB S5X 5E9

RE: Proposed Sidewalk Local Improvement

Local Improvements are proposed in Lansdowne Neighbourhood for construction in 2016 and 2017 and includes Sidewalk reconstruction. The details of the local improvement assessment for your property are indicated below.

The total cost for all sidewalk local improvements in your neighbourhood is \$3,411,966.00 and the cost is split - 50% paid by the benefiting property owners and 50% is paid by the City at large. Your cost for this improvement is shown below.

Sidewalk Local Improvement Details for Project 1

Tax Roll #	Address	Estimated Length (m)	Payment Options	
			Cost per year*	One Time Cost*
XXXXXXX	6969 66A AVENUE NW	15.24	217.78	3,112.16

\* Costs are determined by multiplying the estimated length by the uniform tax rate described on the back side of this sheet.

You have the option to petition against the proposed local improvement. If you choose to petition against, the petition must be received within 30 days of this notice, February 18, 2016. The local improvements are being constructed in accordance with provincial legislation\*\*. For more details regarding this assessment or the local improvement process refer to the back of this sheet and the information included.

Please note, condominium owners receive a notice for each condo unit, parking stall and storage unit that have a separate tax roll number. The Address description in the table above for some of these may have no entries.

Tax Roll No.:

Project

Petition Against the Proposed Local Improvement

We, the registered owners, are opposed to the above local improvement project, as notified by the Transportation Services, and do not wish it to proceed.

Owner's Name (Print)	Owner's Address (Where You Live)	Property Address (Improvement Location)	Owner's & (Signature)	Date	Witness (Signature)
1					
2					
3					
4					
5					

PLEASE NOTE:

1. To cancel this project, two conditions must be met. First, a majority (50% plus 1) of the benefiting owners must submit a petition opposing this local improvement. Second, the value of the petitioners' properties must equal at least one half of the total value of the assessments of all the benefiting properties. This form may be used.

2. If a parcel of land is owned by more than one owner, all owners must sign the petition. The owners are considered as one owner for the purpose of counting the number of owners that reply.

3. If a corporation, church, organization, estate or other entity is entitled to sign a petition, the petition may be signed on its behalf by a person who is at least 18 years old and who can produce a certificate authorizing the person to sign the petition.

4. The WITNESS must fill in the "Affidavit of Execution of Witness", (attached).

This personal information is being collected under the authority of sections 302 & 306 of the Municipal Government Act, R.S.A. 2000, c. M-26 and will be used to process your petition against the Local Improvement project. It is protected by the privacy provisions Section 33 (a) of the Freedom of Information and Protection of Privacy Act, R.S.A. 2000, c. F-25. If you have any questions about the collection of personal information, please contact the F.I.P.A. office at (780) 496-2907.

AFFIDAVIT OF EXECUTION of WITNESS

(Must be filled in by the WITNESS and sworn before a Commissioner for Oaths)

CANADA ) I, \_\_\_\_\_ (Witness) of the  
PROVINCE OF ALBERTA ) City of Edmonton, in the Province of Alberta,  
TO WIT ) MAKE OATH AND SAY:

1. That I was personally present and did see (Print Owner Name(s))  
(1) \_\_\_\_\_ (4) \_\_\_\_\_  
(2) \_\_\_\_\_ (5) \_\_\_\_\_  
(3) \_\_\_\_\_  
named in the within instrument who is (are) personally known to me to be the person(s) named therein, duly sign and execute the same for the purpose named therein.

2. That the same was executed at the City of \_\_\_\_\_ in the Province of Alberta, and that I am subscribing witness thereto.

3. That I know the said (Print Owner Name(s))  
(1) \_\_\_\_\_ (4) \_\_\_\_\_  
(2) \_\_\_\_\_ (5) \_\_\_\_\_  
(3) \_\_\_\_\_  
and (s)he (they) is (are) in my opinion the full age of eighteen years.

SWORN BEFORE ME at the )  
City of \_\_\_\_\_ )  
In the Province of Alberta, this )  
\_\_\_\_ day of \_\_\_\_\_, (Signature of Witness)  
20\_\_\_\_

A COMMISSIONER FOR OATHS in and for  
the Province of Alberta  
(Print Name & Expiry Date or Affix Stamp)

Neighbourhoods are divided into project areas for the sidewalk reconstruction.

For the petition ***against*** sidewalk reconstruction to be successful, the petition must receive support from 50% +1 of the property owners within the project area (See Project Map).

*Please note: there is no cost to property owners for brand new sidewalks that may be added to the neighbourhood as part of the neighbourhood reconstruction process.*





# Local Improvements

If the local improvement petition succeeds, the property owners will be notified and the existing sidewalk will still undergo regular maintenance at the City's cost.

Examples of sidewalk maintenance include: grinding, patching and mud-jacking.



*Grinding*



*Asphalt Patching*



*Mud Jacking*





# Local Improvements



If the local improvement petition fails, City Council will pass a Local Improvement Bylaw and the local improvement for sidewalk reconstruction will proceed.

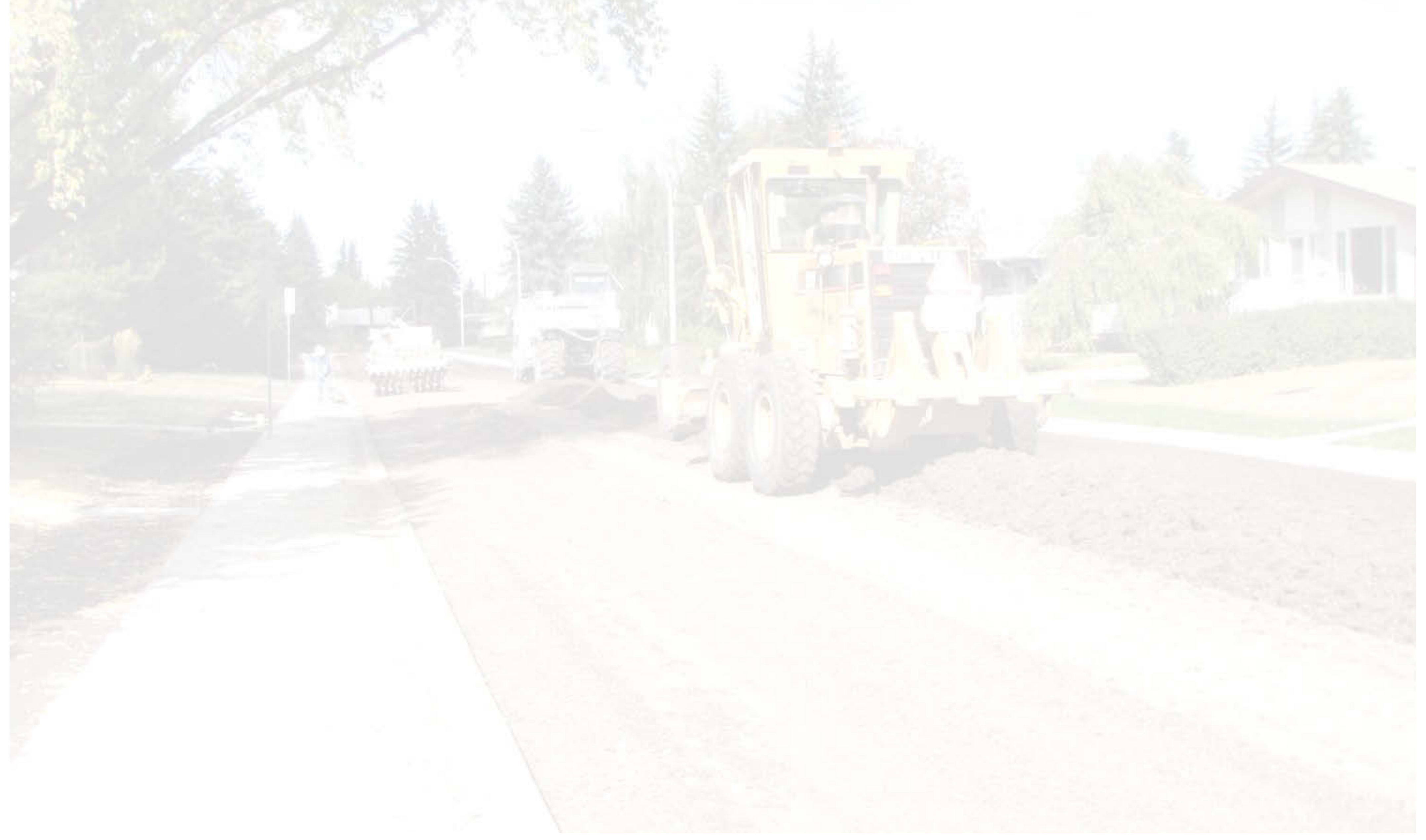
Sidewalk Reconstruction Local Improvement costs include:

- Removal of existing concrete
- Excavation
- Laying of gravel base
- Pouring new concrete with reinforcing steel
- Connecting sidewalk to property owners' sidewalk and driveway
- Re-landscaping disturbed areas to City specifications
- A two-year construction warranty





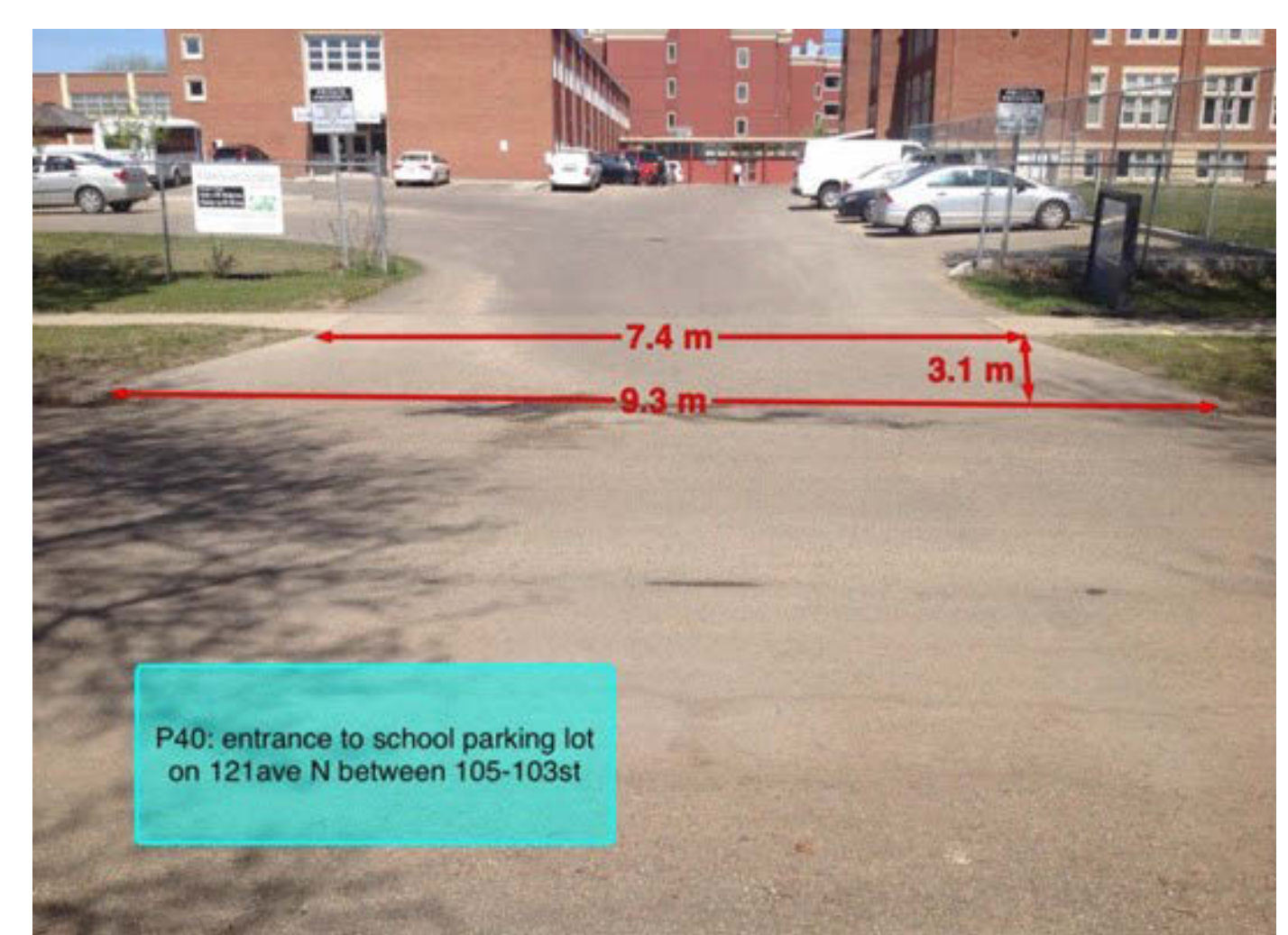
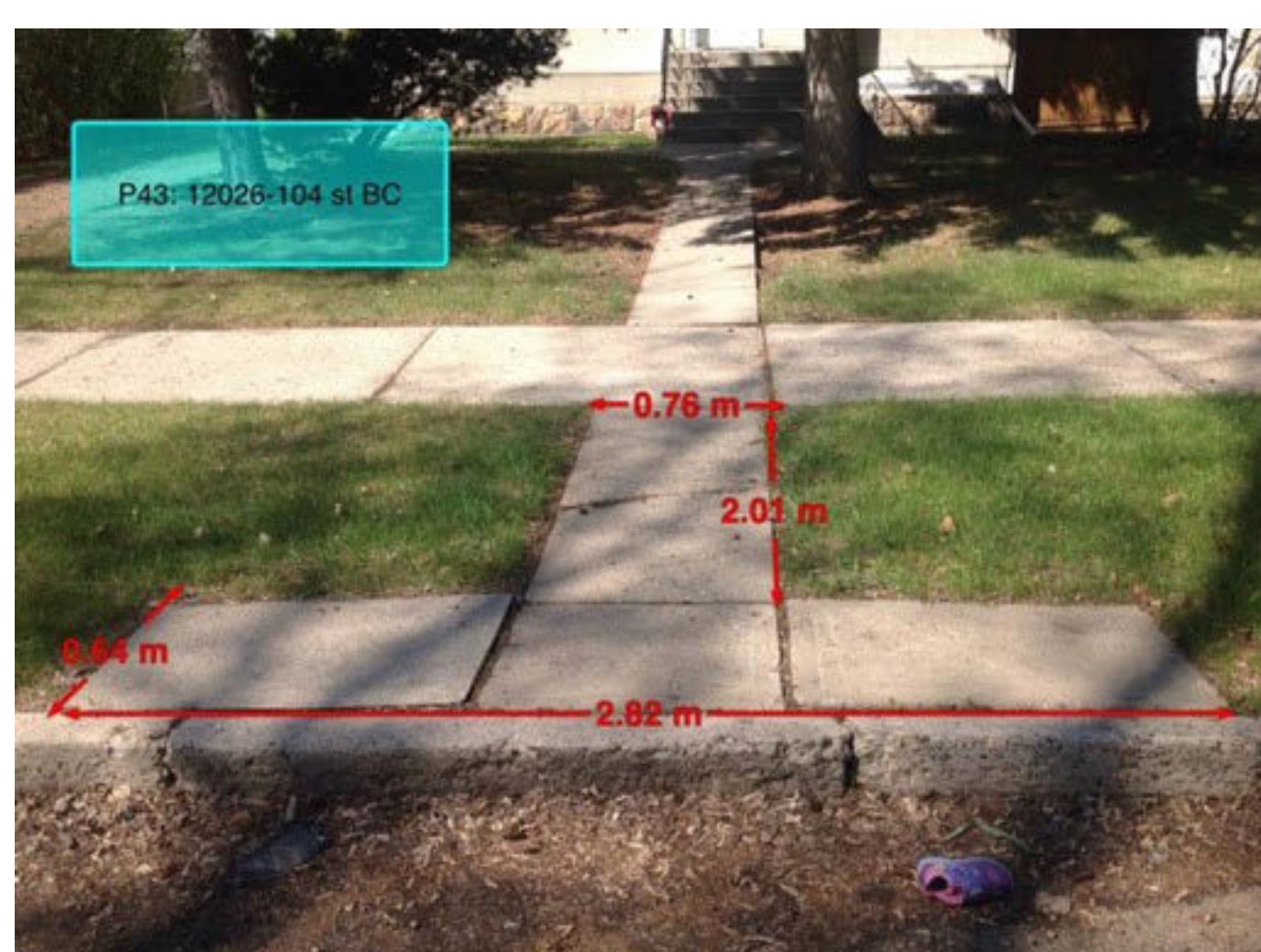
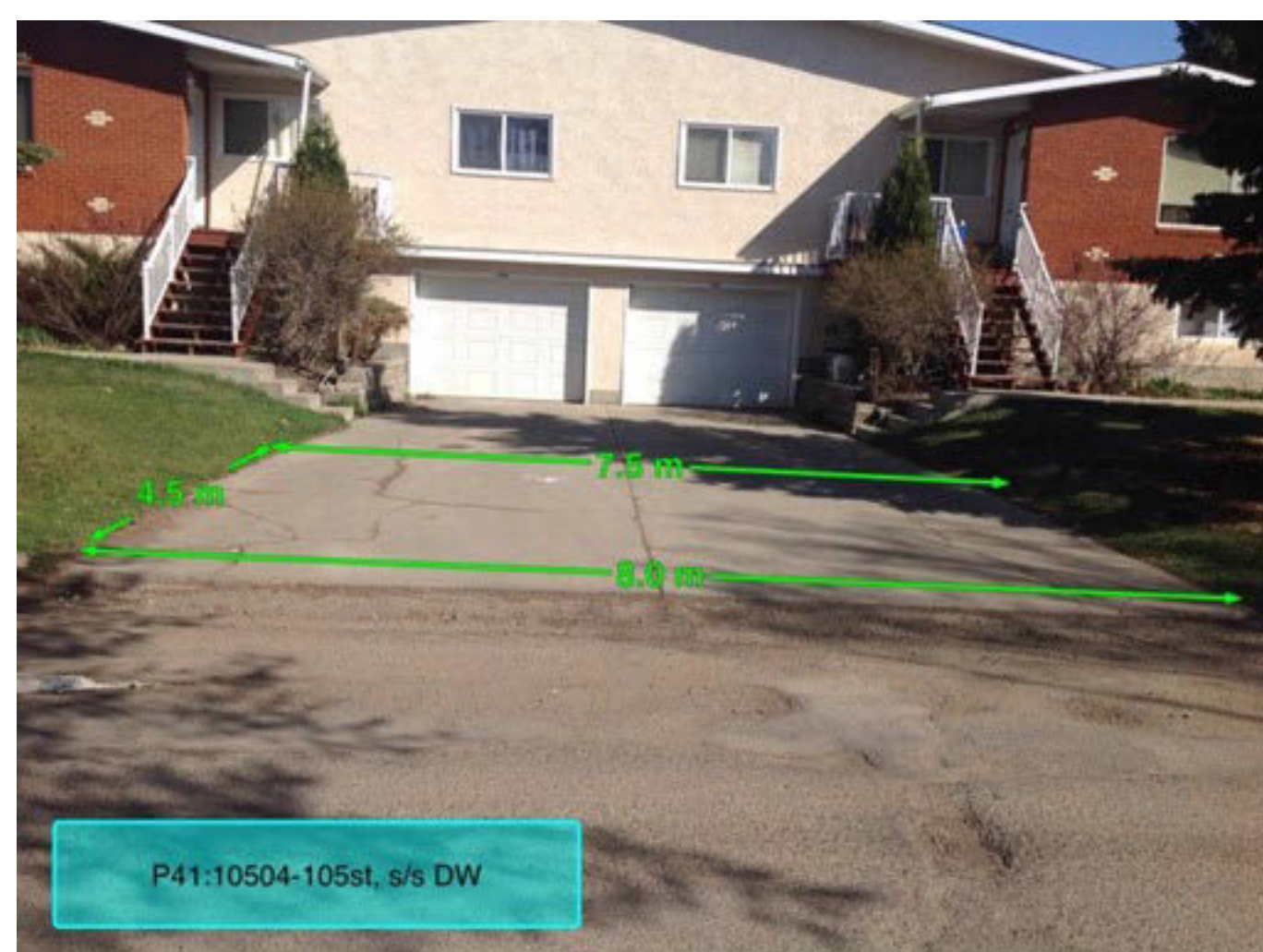
# CONSTRUCTION





# Prior to Road Construction

- Underground utility work is coordinated to avoid cutting into the road after it is reconstructed
- Existing trees that may be in the way of equipment are pruned. If a tree on private property requires pruning, the property owner will be notified
- New streetlights, which includes removal of existing streetlights and installation of new pole bases, are installed
- A photo record of the neighbourhood to ensure we replace what is removed in the same shape and dimensions is taken





# Removal of Sidewalk

- One of the first things you will see during road construction is the removal of existing sidewalks
- This is done on one side of the road at a time to maintain pedestrian access on the other side of the road
- Sections of private walkways and driveways are also removed. The extent of removal will depend on design and drainage to the road



In order to work safely and efficiently, there will be “no parking” signs placed on either or both sides of the road and will be dependent on the existing road width.





# Sidewalk Construction



After removal of the existing sidewalk, gravel is placed and compacted to prepare for construction.



Forms are set in order to pour new concrete for the sidewalk.





# Sidewalk Construction



It takes approximately 3-4 weeks from the time concrete is removed to when it is cured and can be walked or driven on again.

If a sidewalk is machine poured, a stringline is used to set grades as it pours the concrete.

If the stringline has been moved accidentally, please notify the Project Manager.



If you have any mobility concerns, please let the Project Manager know and they will arrange access.



# Working Around Trees

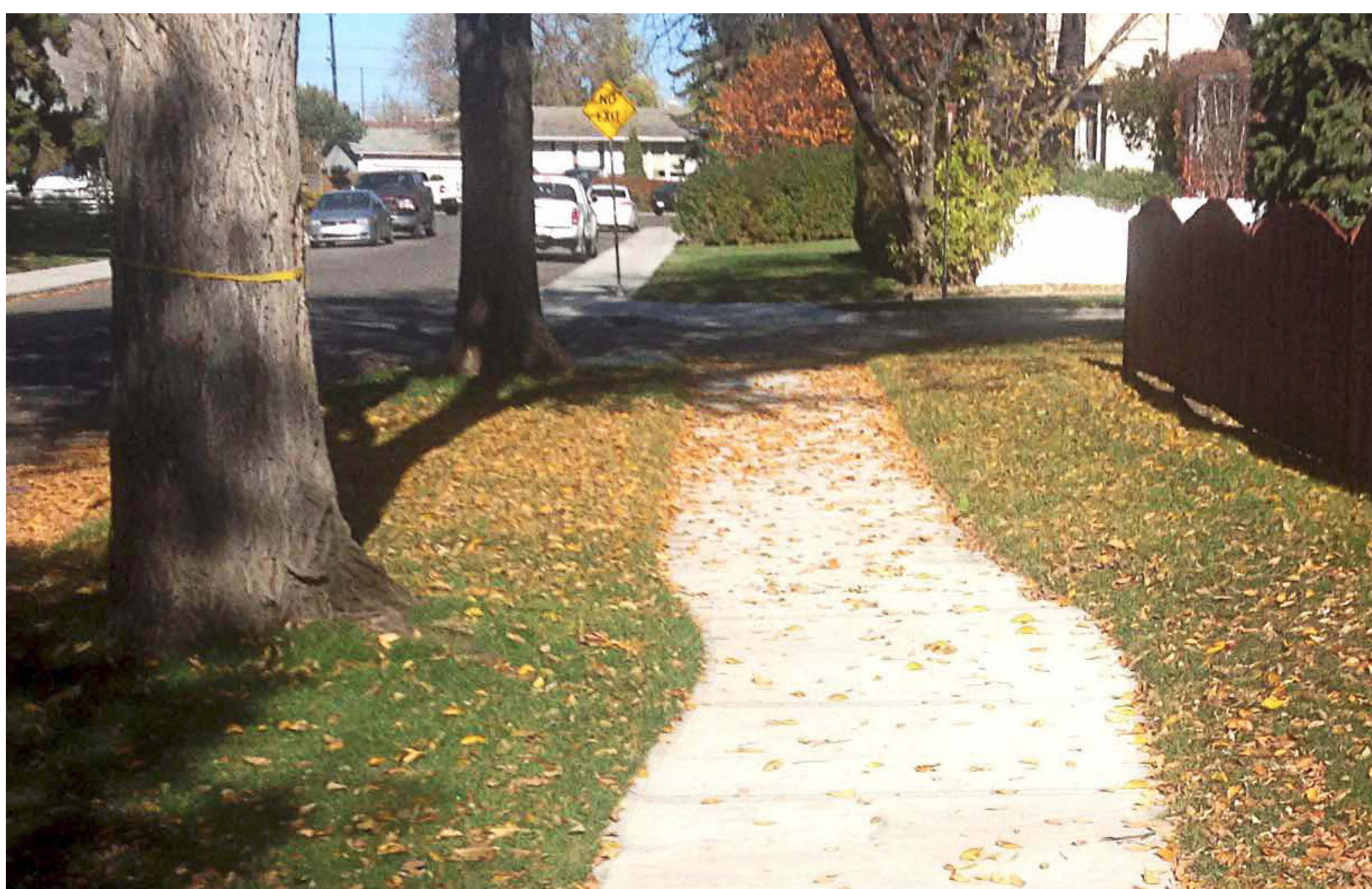
Neighbourhood Renewal works closely with the City's Urban Foresters to ensure tree health remains a top priority before, during and after the construction process. Whenever possible, the City designs and constructs in ways to make sure trees are protected. In the rare case a tree must be removed, the City will consult with adjacent property owners and invest the dollar value of the tree back into the neighbourhood.



- An area around each tree is maintained during construction to protect it and its roots



- Extra deep cuts and rebar are added to the sidewalk to control where the sidewalk will crack and to keep the sidewalk intact as the tree's roots grow

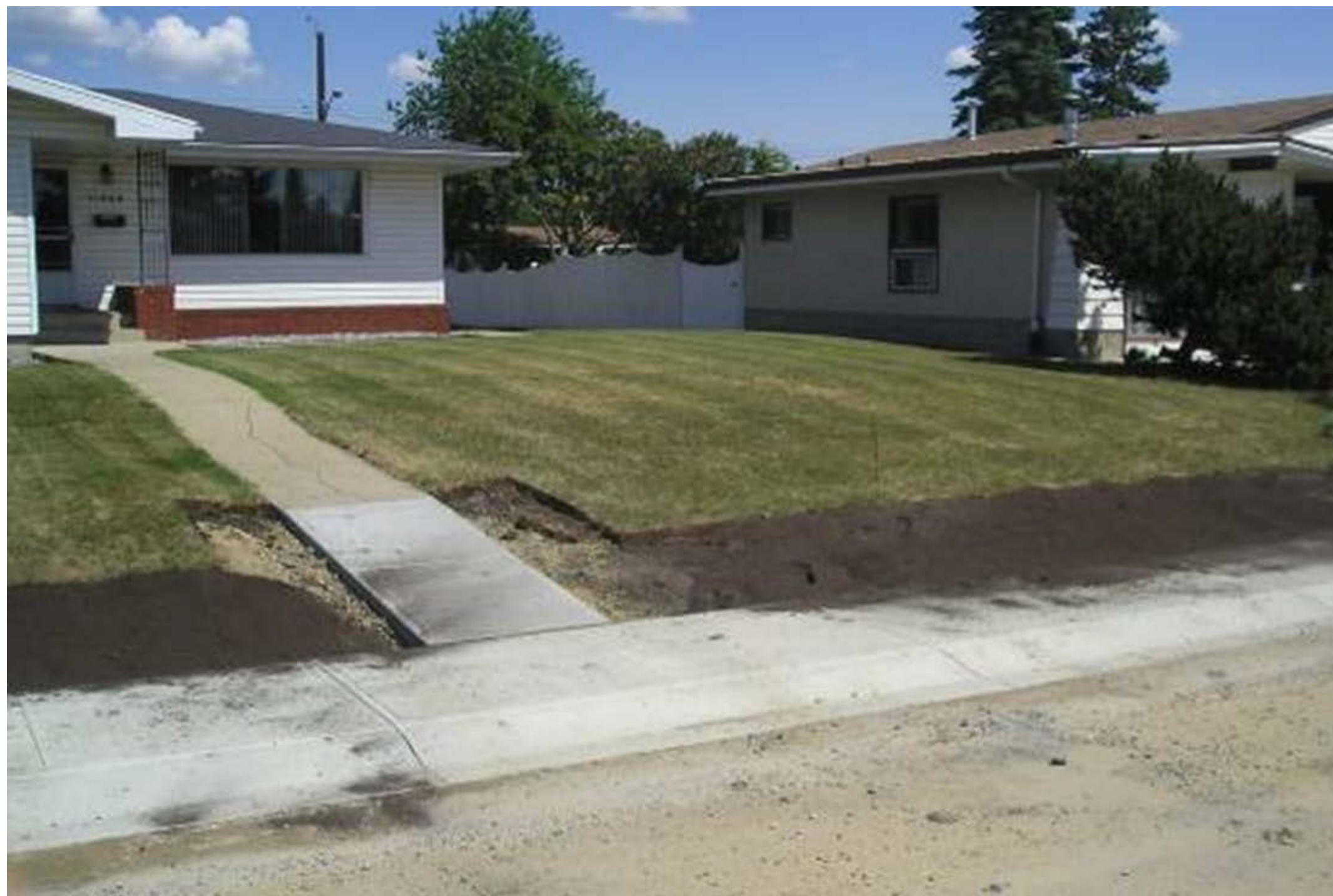


- Sidewalks are constructed around trees to protect their roots

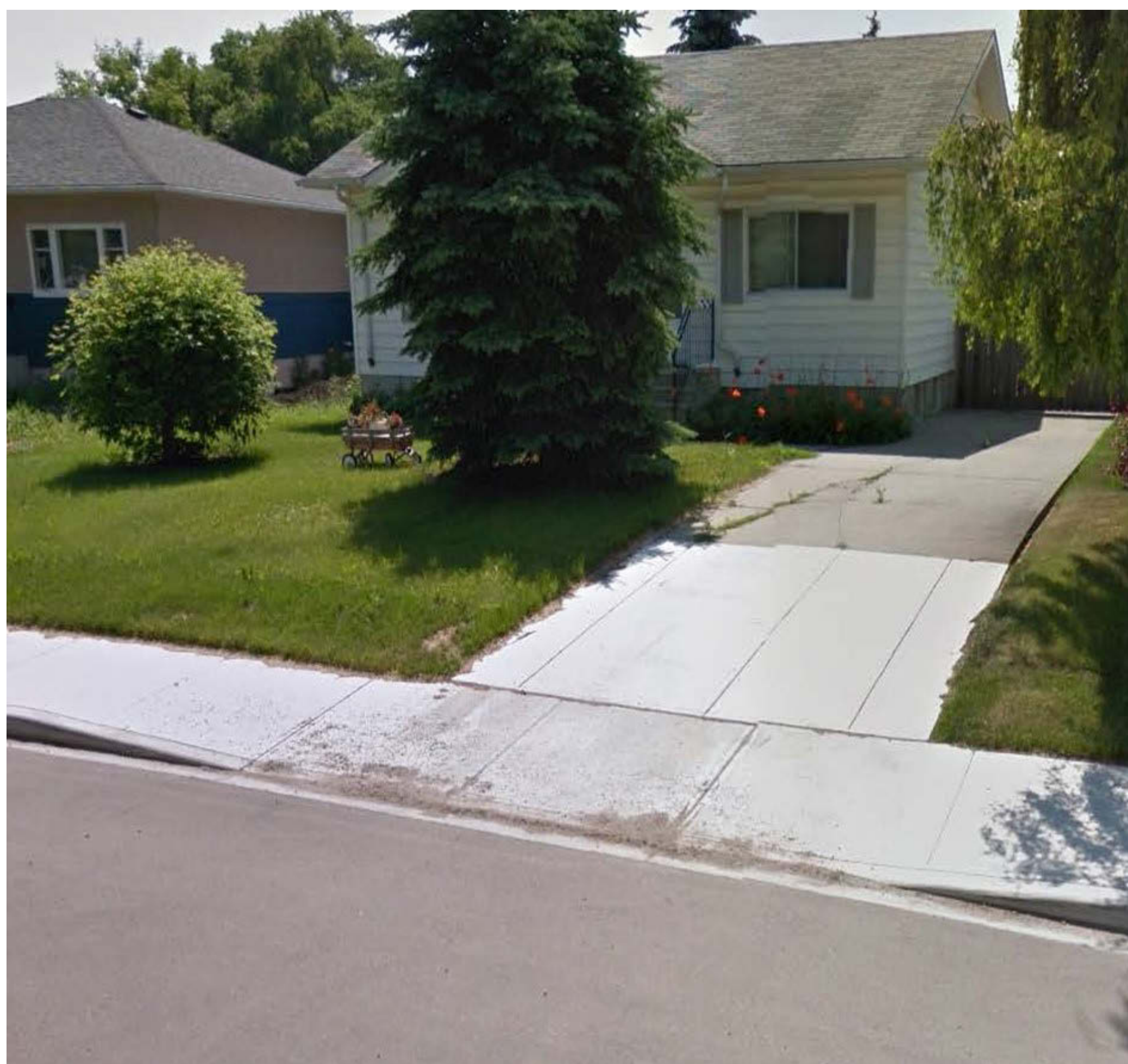


# In Front of Your House Connector Walkways

After the main sidewalk is poured, the connector walkways are installed.



If the connector walkway grade is over City specifications, the property owner is presented the option of having a step installed. The Project Manager will contact the property owner to discuss options.



The portion of private walkway and driveway that was removed will be replaced with the material that was originally removed.



# In Front of Your House Landscaping



Once the sod has been laid, we encourage you to water it regularly to promote healthy growth.

If you have specialty plants or flowers, we encourage you to remove them before construction.

If you have mulch or rocks, we encourage you to contact the Project Manager to coordinate temporary removal options.

If you have underground sprinkler systems, please clearly mark these out, so they do not get damaged during construction.



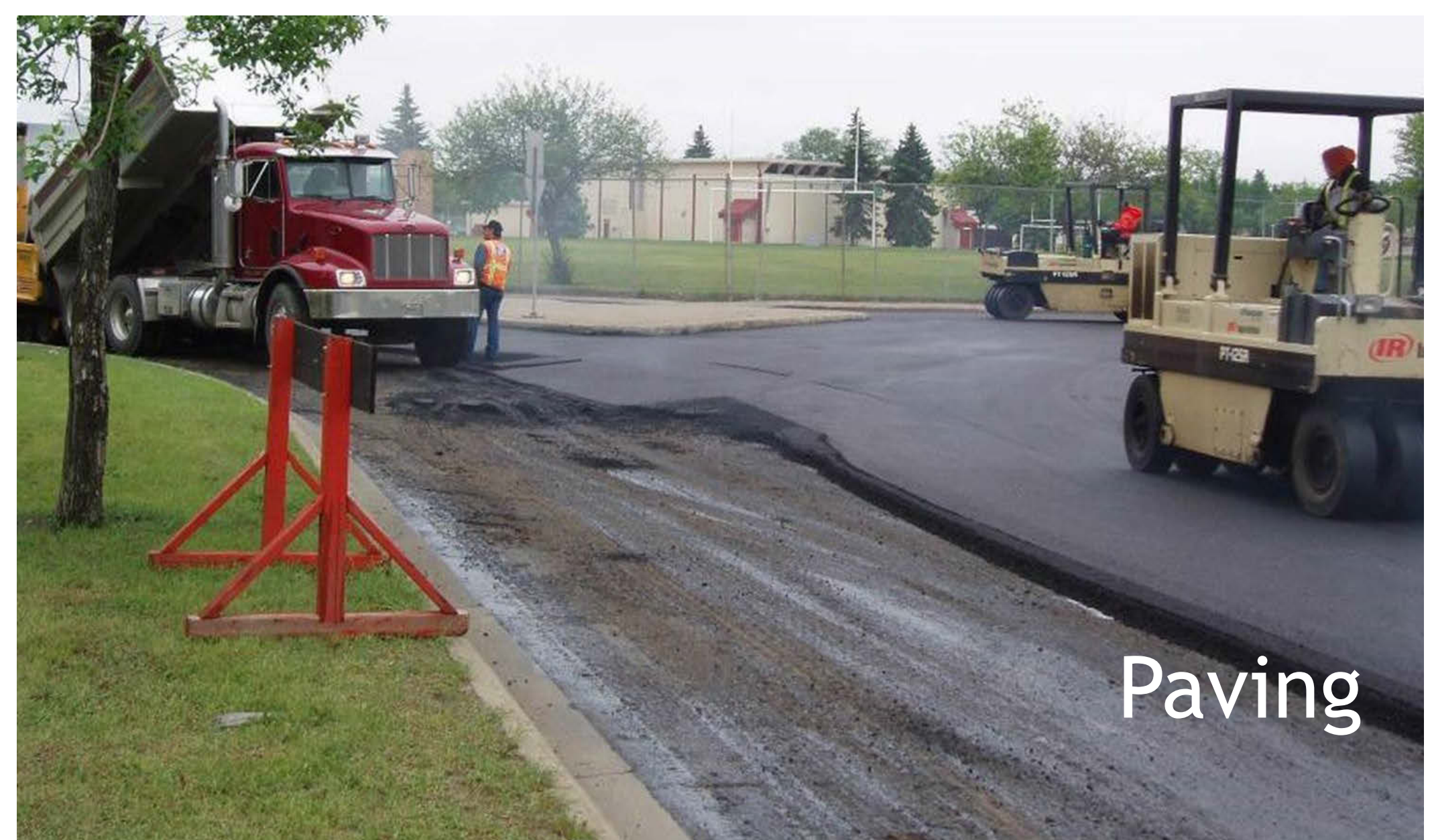
Sod is laid when there is a large enough area in the neighbourhood to complete. It may not be immediately done following the construction of the sidewalk.





# Road Reclamation & Paving

We use an efficient, cost effective and environmentally friendly process called full depth reclamation. It includes pulverizing the existing gravel and asphalt structure, mixing it with cement and oil to make the new base for the road.



- Grading the base takes about 3-5 days with intermittent road closures
- The road base can be driven on. It needs 2-3 days for it to cure prior to paving
- The road is fully closed during paving operations and opens later on the same day
- Paving is the quickest step. Contractors can usually pave 3-5 blocks per day



# Quality Assurance Testing & Warranty

Quality assurance testing occurs throughout construction to ensure it is compliant with City specifications. Materials such as gravel, asphalt and concrete are tested. There is a two year warranty period that includes materials and workmanship.

- Contract awarded to the lowest price qualified bidder
- Construction Completion Certificate (CCC) issued at the end of the each construction season
  - ➡ Address deficiencies
- Final Acceptance Certificate (FAC) issued two years after CCC
  - ➡ Address deficiencies
- Two-year contractor warranty period starts after issuing CCC. This includes materials and workmanship only







# Your Construction Project Manager

Your Construction Project Manager is:

Felix Lam

phone: 780-944-7695

email: [felix.lam@edmonton.ca](mailto:felix.lam@edmonton.ca)

For more information about the  
Prince Charles Neighbourhood Renewal Project:  
[edmonton.ca/BuildingPrinceCharles](http://edmonton.ca/BuildingPrinceCharles)

## Next Steps:

You will receive a bulletin at the start of the construction season with contact information.

[We look forward to working in and renewing your neighbourhood over the next two years.](#)