

Phase I Environmental Site Assessment  
11049 - 83 Avenue NW &  
11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Prepared by

**CRIMSON Environmental Limited**

PO Box 24 - #314 – 222 Baseline Road

Sherwood Park, Alberta, T8H 1S8

Telephone: 780.719.4959

The Association of Professional Engineers and Geoscientists of Alberta  
Permit to Practice P08305

for

**The City of Edmonton**

Engineering Services Section

Integrated Infrastructure Services

Business Planning & Support Branch

11004 - 190 Street NW

Edmonton, Alberta

T5S 0G9

Project Number: CEL-37544B

February 27, 2021

## EXECUTIVE SUMMARY

CRIMSON Environmental Limited (CRIMSON) was retained by the City of Edmonton to conduct a Phase I Environmental Site Assessment (ESA) of two vacant parcels of land situated in the city's Garneau Neighbourhood. The municipal addresses for the subject properties are 11049 - 83 Avenue NW and 11053 - 83 Avenue NW, Edmonton, Alberta (Figures 1 and 2). The legal description for the subject site is Lots 17 and 18, Block 157, Plan I19.

The objective of this assessment was to identify potential environmental concerns associated with the current and/or historical activities at the subject properties. Immediately adjacent properties were also evaluated during the assessment for potential impacts to the subject properties.

This report summarizes the scope of work, methodology and the findings of the investigation.

The findings of this assessment indicate that the subject property has an agricultural and/or residential history of at least 100 years. Environmental liabilities associated with properties with such extensive histories are often difficult to discern based on currently available information. The potential for these liabilities should not be easily dismissed and further assessment is often warranted. Based on the findings of this assessment, it is CRIMSON's opinion that there is a likelihood of environmental impairments associated with the current and/or historical land uses of the subject properties and/or adjacent lands. Several items of concerns are provided in the following discussion:

1. The presence of fill material on-site is considered to be high. Based on the construction details of similar buildings in the general area of the subject site, it is CRIMSON's opinion that the former residences likely contained basements. These basements would have been backfilled at the time of demolition or soon afterwards. No information related to the source of the fill materials or the fill quality present on-site has been obtained by or provided to CRIMSON during this assessment. However, based on the size of the building footprint, it is CRIMSON's opinion that a significant volume of soil would have been required in order to complete the required backfill;
2. Two sites listed as "waste generators" were reported to be present within approximately 30 metres of the subject site. The closest property listed is the EPCOR Energy property located at 11044 - 82 Avenue NW. The site is situated approximately 30 metres southeast of the subject site. The second site was reported as Westcorp Property Management Inc. and listed at 8210 - 111 Street NW. The site is located approximately 40 metres southwest of the subject properties. Both properties are reported to possess an "Unclassified Dangerous Substance/Product." It is recommended that inquiries be made with the owners of both properties to determine the nature, volume and use of the substances;

3. With respect to historical land use on-site and adjacent to the subject properties, the results of the assessment indicate the potential for small amounts of herbicides and/or pesticides to be present on-site. It is recommended that the City of Edmonton be contacted to determine whether or not the use of these types of chemicals is permitted on the subject site. It should be noted that no evidence of the large scale storage or use of these products was noted during this assessment;
4. No monitoring or testing for radon gas was completed during this investigation. There is a potential for radon to present anywhere in Alberta and future testing would be required to confirm its presence or absence.

Based on the results of the assessment, it is recommended that a Phase II Environmental Site Assessment be completed for the property.

# TABLE OF CONTENTS

1.0 INTRODUCTION.....	1
2.0 SITE DESCRIPTION.....	2
3.0 RECORDS REVIEW.....	4
4.0 SITE VISIT.....	11
5.0 INTERVIEWS.....	11
6.0 FINDINGS OF THE INVESTIGATION.....	12
7.0 CONCLUSIONS & RECOMMENDATIONS.....	17
8.0 QUALIFICATIONS OF THE ASSESSOR.....	18
9.0 REFERENCES.....	18
10.0 STATEMENT OF LIMITATIONS.....	19
11.0 CLOSURE.....	20



## **LIST OF FIGURES, TABLES AND APPENDICES**

### **Figures**

Figure 1 – Site Location Plan  
Figure 2 – Site Survey Plan  
Figure 3 – Site Zoning Plan  
Figure 4 – Site Plan  
Figure 5 – ESAR Information Plan  
Figure 6 – AEP GIS Water Well Plan  
Figure 7 – AER Information Plan  
Figure 8 – AER Coal Mine Map  
Figure 9 – NPRI Information Plan

### **Tables**

Table 1 – Historical Land Title Summary  
Table 2 – Historical Aerial Photograph Summary

### **Appendices**

Appendix A – Figures  
Appendix B – Correspondence  
Appendix C – Land Titles  
Appendix D – Photographs

## **1.0 INTRODUCTION**

CRIMSON Environmental Limited (CRIMSON) was retained by the City of Edmonton to conduct a Phase I Environmental Site Assessment (ESA) of two vacant parcels of land situated in the city's Garneau Neighbourhood. The municipal addresses for the subject properties are 11049 - 83 Avenue NW and 11053 - 83 Avenue NW, Edmonton, Alberta (Figures 1 and 2). The legal description for the subject site is Lots 17 and 18, Block 157, Plan I19.

The objective of this assessment was to identify potential environmental concerns associated with the current and/or historical activities at the subject properties. Immediately adjacent properties were also evaluated during the assessment for potential impacts to the subject properties.

This report summarizes the scope of work, methodology and the findings of the investigation.

### **1.1 Scope of Work**

The scope of work for this project was determined based on a request from the client and was summarized in CRIMSON's proposal dated January 13, 2021. The scope of work for the project included the following tasks:

- Obtain and review records of land ownership and land use from Alberta Land Titles;
- Obtain and review select aerial photographs of the subject properties and immediately adjacent properties;
- Obtain and review pertinent information from municipal and provincial regulatory agencies regarding the environmental status of the subject properties;
- Complete a visual inspection of the subject properties and immediately adjacent properties;
- Complete interviews with current land owner (if available) to resolve questions or uncertainties which may arise from the above investigative steps and to obtain information related to the environmental state of the subject properties; and
- Prepare a report documenting the findings of the Phase I ESA.

Authorization to proceed with the Phase I ESA was received from the client prior to commencement.

## **1.2 Methodology**

This investigation was completed following the recommended procedures outlined in the Canadian Standards Association (CSA) Publication *Z768-01 Phase I Environmental Site Assessment* (2016), the *Alberta Environmental Site Assessment Standard* (2016) provided by Alberta Environment and Parks (AEP) as well as the City of Edmonton's *Environmental Site Assessment Guidebook* (2016).

The investigation was completed between February 5 and 27, 2021. The information contained in this report, including all conclusions and recommendations, is subject to the limitations presented in Section 10.

## **2.0 SITE DESCRIPTION**

The subject site (also referred to as the subject properties) includes two vacant parcels of land situated at 11049 - 83 Avenue NW and 11053 – 83 Avenue NW, Edmonton, Alberta (Figures 1 and 2). The legal description for the subject properties is Lots 17 and 18, Block 157, Plan I19 and the properties are situated within the city's Garneau Neighbourhood. Based on historical data, the subject properties have recently been utilized for agricultural purposes. However, private residences are reported to have been present on-site from at least the mid-1920s to approximately 2004.

With respect to adjacent properties, the site is surrounded by a mix of residential and/or commercial structures. A private residence is situated immediately east of the subject site followed by the Garneau Gates apartment building. 83 Avenue NW is located immediately north of the subject site followed by several private residences. 111 Street NW is situated immediately west of the subject site followed by the Windsor Park Plaza apartment building. Residential properties are also located northwest and northeast of the subject properties. An alley way is located immediately south of the subject site followed by the Garneau Professional Centre office building. Several commercial properties are located on the ground floor of the complex including a restaurant, health care facilities and a pharmacy. A commercial property is also situated southwest of the subject properties and immediately south of the Windsor Park Plaza apartment building. This facility includes hair and beauty salons and several restaurants. A site plan including adjacent land uses is provided on Figure 4 (Appendix A).

The topography of the subject properties was generally flat with surface water runoff controlled by the site grading and the City of Edmonton's municipal storm sewer system.

The closest water body to the site is the North Saskatchewan River which is located approximately 1 kilometre north and west of the subject properties.

The subject properties and the residential properties to the east and northwest of the subject site are currently zoned RA9 (High Rise Apartment Zone). The private residences to the north and northeast of the site are currently zoned DC1 (Direct Development Control Provision). The Windsor Park Plaza building situated to the west of the subject properties across 111 Street NW is currently zoned DC2 (Site Specific Development Control Provision) and the Garneau Professional Centre office building is currently zoned CO (Commercial Office Zone). The on-site and surrounding land-use zonings are provided in Figure 3 (Appendix A).

## **2.1 Geology**

As indicated by Kathol and McPherson (1975), the surficial geology in the general area of the subject properties is reported to be comprised of glacio-lacustrine deposits. These deposits are reported to consist of clay, silt and sand with minor gravel. River Terrace deposits and erosional features are also reported to be present in the area west and northwest of the subject site near the North Saskatchewan River.

The upper bedrock underlying the subject properties is reported to be the Cretaceous aged Horseshoe Canyon Formation (also known as the Edmonton Formation). The bedrock is reported to be comprised of highly variable layers of sandstone, siltstone and mudstone as well as laterally continuous coal deposited in a non-marine to marginal marine environment (AGS, 2013).

## **2.2 Hydrogeology**

The local hydrogeology of the Edmonton Area is generally dominated by the presence of the North Saskatchewan River and/or the presence of fluvial sands and gravels of the subsurface Empress Formation.

The AEP Groundwater Information System was consulted for information that may be available regarding water wells present on-site or near the subject properties. No water wells are reported to be present on-site or within 500 metres of the subject properties. A water well plan is provided on Figure 6 in Appendix A.

### 3.0 RECORDS REVIEW

#### 3.1 Land Titles

Government of Alberta Land Title documentation for the subject properties was obtained for the periods between 1904 and 2021 (Lot 17) as well as 1918 and 2021 (Lot 18). The land titles search indicated the both lots are currently owned by the City of Edmonton. With the possible exception of the St. John's Institute, no other past commercial or industrial ownership of the subject properties was noted. No other historical land titles were provided by the Government of Alberta. All of the land titles provided to CRIMSON have been included for reference purposes in Appendix C.

<b>Table 1 – Historical Land Title Summary</b>		
<b>Legal Description</b>	<b>Occupancy Date(s)</b>	<b>Registered Owner(s)</b>
Lot 17, Block 157, Plan I19	2020 - 2021	The City of Edmonton
	1980 – 2020	St. John's Institute
	1961 - 1980	Alice Cowan
	1921 - 1961	Harold Wales Cowan
	1912 - 1921	Ellesworth C. McLaughlin
	1906 - 1912	James Y. Mitchell
	1904 - 1906	Laurent Garneau
Lot 18, Block 157, Plan I19	2020 - 2021	The City of Edmonton
	1982 – 2020	St. John's Institute
	1977 – 1982	Richard Michael Kane & Jo-Ann Kane
	1977	Darlene E. Leickner
	1975 - 1977	Edward Beverly Branch & Mary Ette Branch
	1971 - 1975	Charles H. Benet & Sandra L. Benet
	1964 - 1971	Albert Peter Lena & Anne Elizabeth Lena
	1964	Anne Elizabeth Lena & James Lawrence Lyndon
	1947 - 1964	Chloe Lyndon
	1926 - 1947	Margaret Kerber
	1923 - 1926	Jessie Foy
	1921 - 1923	Waldron W. Browne
	1921	James McNaughton
	1918 - 1921	Peter A. McNaughton

### **3.2 Alberta Environment and Parks (AEP)**

Alberta Environment and Park's (AEP) Freedom of Information & Protection of Privacy (FOIP) Office was contacted to obtain public information regarding "Responsive Records Pertaining to Spills, Releases or Site Contamination." A routine disclosure request was also made for the subject properties. With respect to both requests, documentation received from the department indicated that a search of AEP's holdings did not identify any related records. Copies of the responses received are provided in Appendix B.

In addition to the above noted requests, CRIMSON consulted the AEP Environmental Site Assessment Repository (ESAR) website for publically available records. The results of the search are provided on Figure 5 in Appendix A and indicated that no records were available for the subject properties or for any other immediately adjacent properties within 50 metres of the subject site.

As previously noted a review of the AEP groundwater information system was also completed during this assessment. The results of the search are provided on Figure 6 in Appendix A and indicated that no water wells are situated on-site or within 500 metres of the subject properties.

AEP's Approval Viewer was also consulted to obtain information related to any approvals, licenses, registrations, authorizations, permits and/or certificates issued by AEP for the subject properties under the Water Act and/or the Environmental Protection and Enhancement Act. No information was available.

### **3.3 Alberta Energy Regulator – Abadata Database**

Available AER information was consulted through the Abacus Datagraphics Ltd. Abadata Database. The available information is provided on Figure 7 in Appendix A and indicates there are no reported spills, oil wells or high/medium pressure pipelines present on or within 250 metres of the subject site.

The closest medium or high pressure pipeline to the subject properties is reported to be situated approximately 270 metres to the southwest. The license number is AB00020954-4 and the pipeline is reported to contain natural gas. A copy of the Abadata information sheet is provided in Appendix B.

### **3.4 Alberta Energy Regulator – Coal Mine Map Viewer**

Available AER information was consulted through the AER Coal Mine Map Viewer. The available information is provided on Figure 8 in Appendix A and indicates there are no coal mines present on or within 300 metres of the subject site.

### **3.5 Alberta One Call**

A request to locate underground utilities was completed for the subject properties through Alberta One Call Corporation (Ticket Number: 20210401310). The locate sheet indicates that there are no active underground utilities on the subject properties. However, two abandoned natural gas pipelines were identified on-site. In addition, low pressure natural gas pipelines, electrical lines, water lines, sewer lines and/or fiber optic lines are expected to be present in the general area of the subject site. A copy of the locate sheet is provided in Appendix B.

### **3.6 Alberta Health Services**

Alberta Health Services (AHS) was contacted during this investigation. The response received from the department indicated that after a search of the AHS files, there were no records found. The correspondence received is provided in Appendix B.

### **3.7 EPCOR - Drainage**

EPCOR's Drainage Services Department was requested to complete a search of their records for compliance with Sewer, Drainage, Water Services and Wastewater Treatment Bylaws. Documentation received from the department indicated that the properties have not been inspected and that no records were available. The correspondence received is provided in Appendix B.

### **3.8 City of Edmonton**

#### **3.8.1 Waste Management Services**

The City of Edmonton Waste Management Services was contacted to obtain any information it may possess concerning the presence of landfill in the area of the subject properties. Documentation received from the department indicated a search of the department's records did not identify a former landfill or dump site on or within a 500 metre radius of the subject properties. The correspondence received is provided in Appendix B.

#### **3.8.2 Planning and Development – Current Planning Service Centre**

The Complaints and Investigation Section of the City of Edmonton's Current Planning Service Centre was contacted to obtain any information it may possess concerning any adverse environmental conditions and non-compliance issues at the subject properties. Documentation received indicated there are no infractions against the subject properties that concern the office and/or the bylaws that the department is charged with enforcing. The correspondence received is provided in Appendix B.

### **3.8.3 Emergency Response Department – Fire Prevention Branch**

The Fire Prevention Branch of the City of Edmonton's Emergency Response Department was contacted to obtain any information it may possess concerning any previous emergency responses, adverse environmental conditions, storage tanks and non-compliance issues at the subject properties. The response received indicated the department had no records regarding the presence/absence of underground storage tanks, leaks, site contamination or remediation. The correspondence received is provided in Appendix B.

### **3.8.4 Geo-Environmental Information Services - Integrated Infrastructure Services**

The Geo-Environmental Information Services branch of the City of Edmonton's Integrated Infrastructure Services Department was contacted to obtain any information it may possess concerning any previous environmental assessments or geotechnical assessment of the subject properties or adjacent properties. The response received indicated that one Phase I ESA report was available for the subject properties. The report was completed in 2020 by Pinchin Ltd. and concluded the following:

*“Based on the results of the Phase I ESA completed by Pinchin, nothing was identified that is likely to result in potential subsurface impacts at the Site. As such, no subsurface investigation work (Phase II ESA) is recommended at this time.”*

All other reports listed were for properties situated at locations greater than 100 metres from the subject site and were not obtained or reviewed during this assessment.

### **3.9 Alberta Safety Codes Authority**

The Alberta Safety Codes Authority (ASCA) was contacted to obtain any information their office may possess concerning the presence of petroleum storage tanks at the subject properties. Documentation received from the ASCA indicated that no records of storage tanks were available for the subject properties. The correspondence received from ASCA is provided in Appendix B.

### **3.10 Previous Environmental Site Assessments**

With the exception of the Phase I ESA report completed by Pinchin Ltd. and mentioned in Section 3.8.4, no previous environmental site assessment reports of the subject properties or immediately adjacent properties were obtained by or provided to CRIMSON during the course of this investigation.



### 3.11 Previous Geological and/or Geotechnical Reports

No geological or geotechnical reports were obtained by or provided to CRIMSON during the course of this investigation.

### 3.12 Other Public or Private Records

Fire insurance maps from the 1913 and 1925 were viewed online from the City of Edmonton's Archives. Neither document contained any relevant information related to the subject site. The fire insurance map from 1953 is not available online and could not be reviewed by CRIMSON due to Covid-19 restrictions. However, information contained in the 2020 Phase I ESA report completed by Pinchin indicated that the 1953 fire insurance map lists the subject properties and adjacent properties within 200 metres of the subject site as residential dwellings.

No other site plans, reverse directories, building plans, permit records, production records, maintenance records, site utility drawings, emergency response plans, spill reports, spill plans, environmental monitoring data, waste management records, storage tank inventories or environmental audit reports were made available or reviewed by CRIMSON during the course of this investigation.

### 3.13 Historical Aerial Photography

A review of aerial photographs available from Google Earth and the City of Edmonton Archives (online) was conducted. Additional photographs were obtained from the City of Edmonton's Integrated Infrastructure Services Department (2020) and Ecolog ERIS (1998). The purpose was to determine the general type of historical activities undertaken on the subject properties. A total of fourteen photographs were reviewed during the course of this investigation. Copies of the aerial photographs from 1924, 1930, 1948, 1952, 1957, 1965, 1978, 1988, 1998, 2004, 2008, 2012, 2017 and 2020 are provided in Appendix D. The following table provides a summary of the findings of CRIMSON's review:

<b>Table 2. Historical Aerial Photograph Summary</b>		
<b>Year</b>	<b>Approximate Scale</b>	<b>Summary of Findings</b>
1924	1:20,000	The subject site and immediately adjacent properties within 50 metres appear to be utilized for residential purposes. The quality of the aerial photograph is poor.
1930	1:12,000	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.

**Table 2. Historical Aerial Photograph Summary (Continued)**

Year	Approximate Scale	Summary of Findings
1948	1:20,000	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
1952	1:20,000	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
1957	1:8,500	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
1965	1:6,000	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
1978	1:5,000	The Windsor Park Plaza apartment building is present west of the subject site. The residential properties previously situated northwest of the subject properties across 111 Street NW and 83 Avenue NW have been removed. No other significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
1988	1:15,000	The Garneau Professional Centre office building is present south of the subject site and residential buildings are present northwest of the subject properties across 111 Street NW and 83 Avenue NW. The property currently occupied by the Garneau Gates apartment building is vacant.
1998	1:10,000	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
2004	As Shown	The Garneau Gates apartment building is present east of the subject properties. No other significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
2008	As Shown	The residential building previously on-site haven been removed. No other significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
2012	As Shown	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
2017	As Shown	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.
2020	As Shown	No significant changes in land use of the subject properties or immediately adjacent properties are evident from the previous photograph.

### **3.14 Ecolog ERIS Report**

An Ecolog ERIS report was requested from ERIS Environmental Risk Information Services. The report searches all Alberta databases (federal, provincial and private) for registered locations within a 300-metre radius of the subject site. The results of the database search confirmed the following information:

- Two adjacent sites are listed with ESAR. However, both properties are greater than 50 metres from the subject properties;
- Twelve fuel storage tanks are listed. The closest site listed is Knox Met Manor which is situated more than 100 metres east of the subject properties;
- A total of 48 waste generators are listed within 300 metres of the subject properties. The closest waste generator is listed as the EPCOR Energy property located at 11044 - 82 Avenue NW. The site is situated approximately 30 metres southeast of the subject site. A second site registered as Westcorp Property Management Inc. is also listed at 8210 -111 Street NW. The site is located approximately 40 metres southwest of the subject properties. Both properties are reported to possess an “Unclassified Dangerous Substance/Product;”
- One property is listed as a hazardous waste receiver. That property is reported as the University of Alberta Hospital which is situated approximately 300 metres west of the subject properties; and
- One site registered with the National PCB Inventory was reported. The property owned by the Government of Alberta and is situated more than 150 metres west of the subject properties at 8215 - 112 Street NW;

A copy of the database report is provided in Appendix B.

### **3.15 National Pollutant Release Inventory**

The Environment and Climate Change Canada’s National Pollutant Release Inventory (NPRI) was consulted by CRIMSON in order to obtain publicly accessible information related to the inventory of pollutants released, disposed of and sent for recycling by facilities near the subject site (Figure 9). The results of CRIMSON inquiry indicated that the available information was limited to the University of Alberta’s heating plant facility which is situated more than 500 metres west of the subject site.

#### **4.0 SITE VISIT**

A site visit of the property was conducted by Mr. Douglas Pankewich of CRIMSON on February 16, 2021. The visit consisted of a visual inspection of the exterior of the subject properties and the on-site buildings. The purpose of the site visit was to observe the current uses of the property, note any remaining evidence of past uses of the property and identify any on-site activities of concern. CSA Z768-01 states that activities of concern include the use, treatment, storage, disposal and generation of hazardous materials, landfilling, and storage of wastewater. Adjacent property land use, the presence/absence of storage tanks and containers, odours and other items of concern (if any) were also noted.

CRIMSON's observations made during the site visit are provided in Section 6.0.

#### **5.0 INTERVIEWS**

No interviews were completed during this assessment. No representative of the City of Edmonton with relevant knowledge of the site was identified to CRIMSON and no adjacent property owners were reached during the assessment.

## **6.0 FINDINGS OF THE INVESTIGATION**

### **6.1 General Site Conditions**

A description of the property is provided in Section 2.0 of this report. A small amount of solid waste (litter) was observed to be present on-site. This included, but is not limited to, beverage cans, packaging materials, paper and plastic. The site was observed to be covered with snow at the time of the site visit and a detailed assessment of the surface conditions was therefore not possible.

### **6.2 Storage Tanks and Containers**

No on-site evidence of above ground storage tanks (ASTs), underground storage tanks (USTs) or other containers was observed by the assessor. In addition and with respect to adjacent properties within 100 metres of the subject site, no evidence of ASTs, USTs or containers was noted during the course of the investigation.

With regards to regulatory searches, no information was received from the PTMAA, the City of Edmonton ERD or any other agency that indicated the presence of ASTs or USTs on-site.

### **6.3 Chemical Storage**

No evidence of chemical storage was observed to be present by the assessor on-site or on any adjacent property within 100 metres of the subject properties.

### **6.4 Non-Hazardous Wastes (Solid and Liquid)**

No evidence of large scale chemical storage was noted to be present on-site or on any adjacent property within 100 metres of the subject properties. A small amount of solid waste (litter) was observed to be present on-site. This included, but is not limited to, beverage cans, packaging materials, paper and plastic.

### **6.5 Hazardous Materials and Biological Wastes**

No evidence of hazardous materials and/or biological wastes was observed to be present by the assessor on-site or on any adjacent property within 100 metres of the subject properties. Given the site's use as a community garden, the presence of some biological plant-based wastes is expected on-site. In addition, the 2020 Pinchin Ltd. Phase I ESA indicated the presence of small amounts of solid fats, cooking oil or grease on the property. These materials were not observed to be present by CRIMSON at the time of the site visit.

## **6.6 Unidentified Substances**

No unidentified substances were observed to be present on-site during the site visit.

## **6.7 Odours**

No strong, pungent, or noxious odours were observed by the assessor during the site visit.

## **6.8 Water & Wastewater**

The subject properties are located within an area serviced by the City of Edmonton's municipal potable water distribution system. No other on-site water sources or groundwater wells were noted to be present on-site.

As previously noted, a review of the AEP Groundwater Information System was completed during this assessment. The results of the search are provided on Figure 6 in Appendix A and indicated that no domestic water wells are situated on-site or within 500 metres of the subject properties.

It should also be noted that no septic fields, wastewater disposal fields, excavations, pits, sumps, lagoons, wastewater receptors, grease traps, oil/water separators, ditches, watercourses, wetlands or standing water bodies were noted to be present on-site.

## **6.9 Polychlorinated Biphenyls (PCBs)**

No PCB containing equipment was observed by the assessor at the time of the site visit. However, overhead power lines were observed to be present south the of the subject property. The observed infrastructure included at least one transformer. Transformers have historical been known to contain PCBs.

It should also be noted that two properties potentially utilizing PCBs were identified in the ECOLOG ERIS database report. One site is operated by the Government of Alberta and the second was the University of Alberta Hospital. Both properties are situated at distances that are greater than 150 metres from the subject properties.

## **6.10 Asbestos Containing Building Materials**

No Asbestos Containing Building Materials (ACBMs) were confirmed to be present on the property during the site visit. The subject properties are currently vacant. ACBMs are likely present in at least some of the adjacent building near the subject properties. This includes the private residence situated to the immediately east.

#### **6.11 Lead**

No materials containing lead were noted to be present on the property during the site visit. The subject properties are currently vacant. Lead based materials are likely present in at least some of the adjacent building near the subject properties. This includes the private residence situated to the immediately east.

#### **6.12 Ozone-Depleting Materials**

No ozone depleting materials were noted to be present on the property during the site visit. The subject properties are currently vacant.

#### **6.13 Urea Formaldehyde Foam Insulation**

No Urea Formaldehyde Foam Insulation (UFFI) was noted to be present on the property during the site visit. The subject properties are currently vacant.

#### **6.14 Radon**

No monitoring or testing for radon gas was completed during this investigation. There is a potential for radon to present anywhere in Alberta and future testing would be required to confirm its presence or absence.

#### **6.15 Gas, Oil Wells and Pipelines**

No gas or oil wells or pipelines were observed on-site or on immediately adjacent properties during the investigation. This is consistent with AER information obtained through the Abadata database. However, two abandoned low pressure natural gas lines were noted to be present on-site during the underground utility locate completed through the Alberta One Call Corporation system. Several other low pressure natural gas pipelines are believed to be present in the area immediately adjacent to the property.

#### **6.16 Mercury**

No equipment or materials containing mercury were noted to be present on the property during the site visit. The subject properties are currently vacant. Mercury based materials are likely present in at least some of the adjacent building near the subject properties. This includes the private residence situated to the immediately east.

#### **6.17 Pesticides and Herbicides**

No large scale use of herbicides and/or pesticides were reported or observed during this assessment. However, given the site's current agricultural land use, the presence of small amounts of herbicides and pesticides cannot be ruled out without further evaluation.

#### **6.18 Fill Materials**

Aerial photographs and on-site observations indicated that the private residences previously present on-site have been removed. Based on the construction details of similar buildings in the general area of the subject site, it is CRIMSON's opinion that the former residences likely contained basements. These basements would have been backfilled at the time of demolition or soon afterwards. No information related to the source of the fill materials or the fill quality present on-site has been obtained by or provided to CRIMSON during this assessment. However, based on the size of the building footprint, it is CRIMSON's opinion that a significant volume of soil would have been required in order to complete the necessary backfill.

#### **6.19 Air Quality**

No sources of regulated air emissions were observed on-site by the assessor during the course of the investigation. The subject properties are currently vacant.

#### **6.20 Mould**

No mould was observed on-site by the assessor. The subject properties are currently vacant.

#### **6.21 Electromagnetic Fields**

Above ground and/or underground electrical transmission lines are confirmed to be present in the general area of the subject properties. Therefore, there is a potential for electromagnetic fields to be present on-site.

#### **6.22 Radioactive Materials and Equipment**

No radioactive materials or equipment were observed on-site by the assessor during the course of this investigation. The subject properties are currently vacant.

#### **6.23 Hydraulic Equipment**

No hydraulic equipment was observed on-site by the assessor during the course of this investigation. The subject properties are currently vacant.



#### **6.24 Stressed Vegetation**

No stressed vegetation was observed by the assessor during the course of this investigation. However, it should be noted that the site visit was completed in February and stressed vegetation is difficult to discern at the time of the year. In addition, the subject site was covered in snow at the time of the site visit.

#### **6.25 Fire**

No evidence of previous fires was observed on-site by the assessor during the course of this investigation. In addition, no information was provided by the City of Edmonton's Emergency Response Department concerning any previous emergency responses.

## **7.0 CONCLUSIONS & RECOMMENDATIONS**

The findings of this assessment indicate that the subject property has an agricultural and/or residential history of at least 100 years. Environmental liabilities associated with properties with such extensive histories are often difficult to discern based on currently available information. The potential for these liabilities should not be easily dismissed and further assessment is often warranted. Based on the findings of this assessment, it is CRIMSON's opinion that there is a likelihood of environmental impairments associated with the current and/or historical land uses of the subject properties and/or adjacent lands. Several items of concerns are provided in the following discussion:

1. The presence of fill material on-site is considered to be high. Based on the construction details of similar buildings in the general area of the subject site, it is CRIMSON's opinion that the former residences likely contained basements. These basements would have been backfilled at the time of demolition or soon afterwards. No information related to the source of the fill materials or the fill quality present on-site has been obtained by or provided to CRIMSON during this assessment. However, based on the size of the building footprint, it is CRIMSON's opinion that a significant volume of soil would have been required in order to complete the required backfill;
2. Two sites listed as "waste generators" were reported to be present within approximately 30 metres of the subject site. The closest property listed is the EPCOR Energy property located at 11044 - 82 Avenue NW. The site is situated approximately 30 metres southeast of the subject site. The second site was reported as Westcorp Property Management Inc. and listed at 8210 -111 Street NW. The site is located approximately 40 metres southwest of the subject properties. Both properties are reported to possess an "Unclassified Dangerous Substance/Product." It is recommended that inquiries be made with the owners of both properties to determine the nature, volume and use of the substances;
3. With respect to historical land use on-site and adjacent to the subject properties, the results of the assessment indicate the potential for small amounts of herbicides and/or pesticides to be present on-site. It is recommended that the City of Edmonton be contacted to determine whether or not the use of these types of chemicals is permitted on the subject site. It should be noted that no evidence of the large scale storage or use of these products was noted during this assessment;
4. No monitoring or testing for radon gas was completed during this investigation. There is a potential for radon to present anywhere in Alberta and future testing would be required to confirm its presence or absence.

Based on the results of the assessment, it is recommended that a Phase II Environmental Site Assessment be completed for the property.

## **8.0 QUALIFICATIONS OF THE ASSESSOR**

This report was completed by Mr. Douglas Pankewich of CRIMSON Environmental Limited. Mr. Pankewich has over twenty five years of professional and project management experience as an environmental geologist in both the private and public sectors. He has worked on over 500 projects including Phase I, II, and III ESAs, contaminant delineation investigations, hydrogeological investigations and remediation projects for both soil and groundwater. Mr. Pankewich is a graduate of Laval University and the University of Québec at the National Institute for Scientific Research. He holds undergraduate degrees in Geology and Geological Engineering as well as a Master of Sciences degree in Earth Sciences.

## **9.0 REFERENCES**

1. Alberta Environment and Parks. *Alberta Environmental Site Assessment Standard*, 2016;
2. Alberta Geological Survey. Map 600. *Bedrock Geology Map of Alberta*. Edmonton, Alberta. March, 2013;
3. City of Edmonton. *Environmental Site Assessment Guidebook*. Edmonton, Alberta. March, 2016;
4. CSA International Standard Z768-01. *Phase I Environmental Site Assessment*. Toronto, Ontario. 2016;
5. Kathol and McPherson. *Urban Geology of Edmonton*. Alberta Research Council. Bulletin 32. Edmonton, Alberta. 1975; and
6. Pinchin Ltd. *Phase I Environmental Site Assessment 11049 and 11053 - 83 Avenue NW, Edmonton, Alberta*. Project Number: 270194.000. February 10, 2020.

## **10.0 STATEMENT OF LIMITATIONS**

Subject to the following conditions and limitations, the investigation described in this report has been conducted in a manner consistent with a reasonable level of care and skill normally exercised by members of the health, safety and environmental consulting profession currently practicing under similar conditions in the area:

1. This report has been prepared for the exclusive use of the City of Edmonton. The report is intended to provide an assessment of known or potential environmental concerns and liabilities associated with past and current practices of the subject properties;
2. The report is based on data and information collected from available records, personal interviews and a site investigation conducted by CRIMSON personnel. CRIMSON has relied in good faith on information provided by individuals and sources noted in this report. We accept no responsibility for any deficiency, misstatements, or inaccuracy contained in this report as a result of omissions, misstatements, or fraudulent acts of persons interviewed;
3. The site investigation is based solely on the site conditions at the site at the time of the field investigation as described in this report;
4. The service provided by CRIMSON in completing the investigation is intended to assist the Client with a business decision. The liability of this site is not transferred to CRIMSON as a result of such services, and CRIMSON does not make recommendations regarding the purchase, sale or investment of the property;
5. The scope of the investigation described in this report has been limited by the budget set for the investigation in our contract. The scope of the investigation has been reasonable having regard to that budget constraint;
6. The investigation described in this report has relied upon information provided by third parties concerning the history of the site. Except as stated in this report, we have not made an independent verification of such historical information;
7. The investigation described in this report has been made in the context of existing government regulations generally promulgated at the date of this report. The investigation did not take account of any government regulations not in effect or not generally promulgated at the date of this report;
8. Where indicated or implied in this report, or where mandated by the condition of the site and its attendant structures, the conclusions of this report are based on visual observation of the site and a limited amount of sampling. The conclusions of this report do not apply to any areas of the site not available for inspection or areas not sampled;
9. The investigation was limited in scope. As such, the potential remains for the presence of unknown, unidentified, or unforeseen surface or subsurface contamination. If further evidence suggests potential contamination, a follow-up investigation including sampling and analysis would be recommended; and
10. This report is intended for the exclusive use of the company, organization or individual to whom it is addressed. It may not be used or relied upon in any manner whatsoever, or for any purpose whatsoever, by any other party. The Consultant makes no representation of fact or opinion of any nature whatsoever to any person or entity other than the company, organization or individual to whom this report is addressed.

## 11.0 CLOSURE

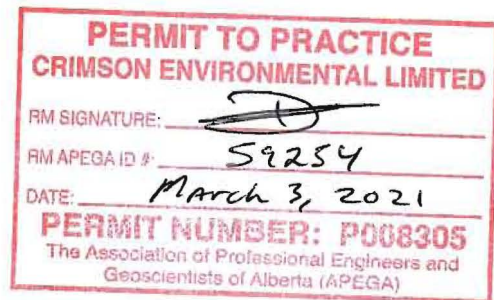
We trust that this report meets with your current requirements. Should you have any questions or concerns please do not hesitate to contact the undersigned.

Respectfully Submitted,

**CRIMSON** Environmental Limited



Douglas Pankewich, M.Sc., P.Geol., P.Eng.  
Geological Engineer



# Appendix A

Figures





Approximate  
Site Location



Scale  
30 metres

Reference: The City of Edmonton, 2021 & Goggle, 2021.

\*Scale provided is approximate.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Location Plan

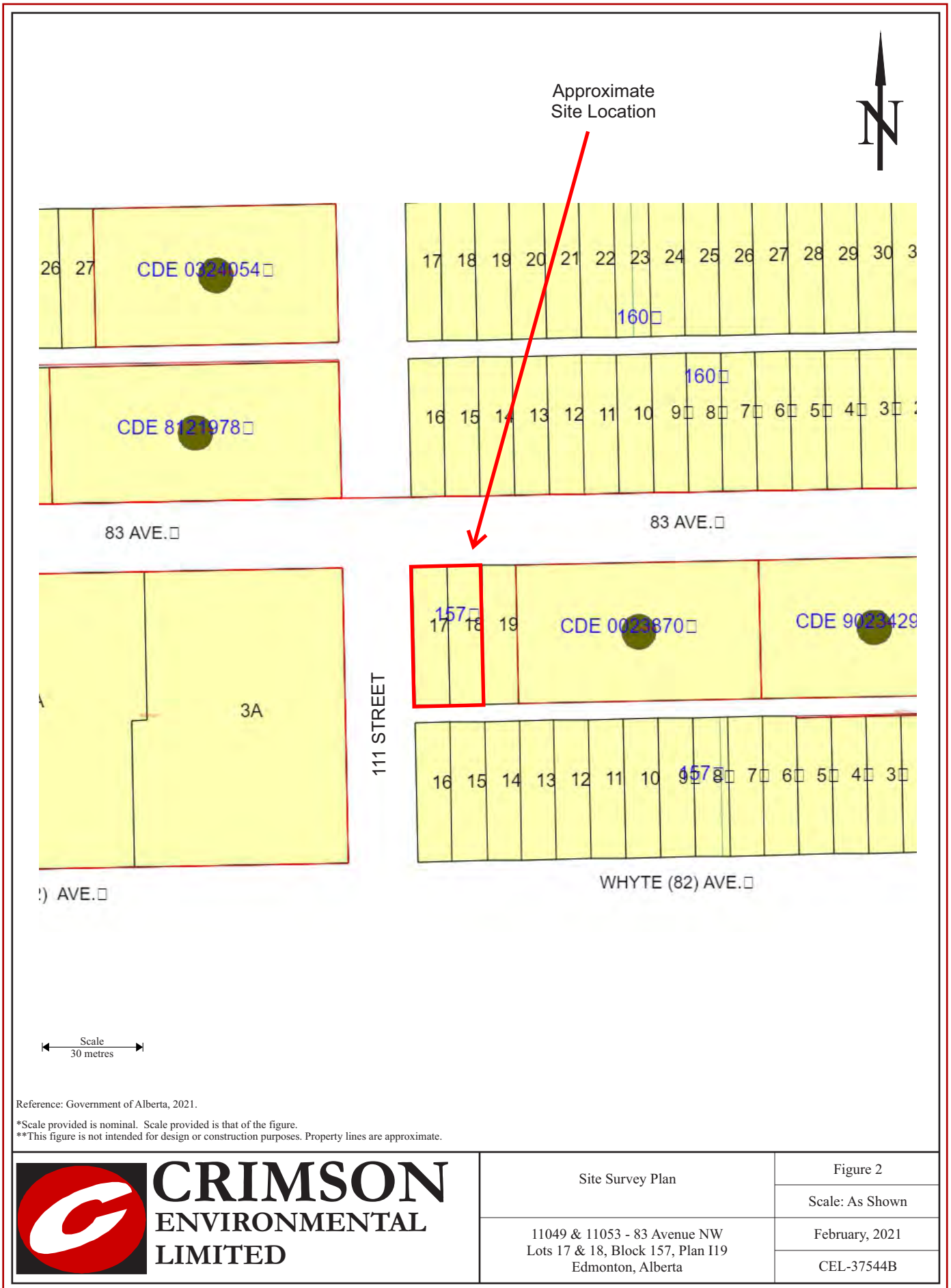
Figure 1

Scale: As Shown

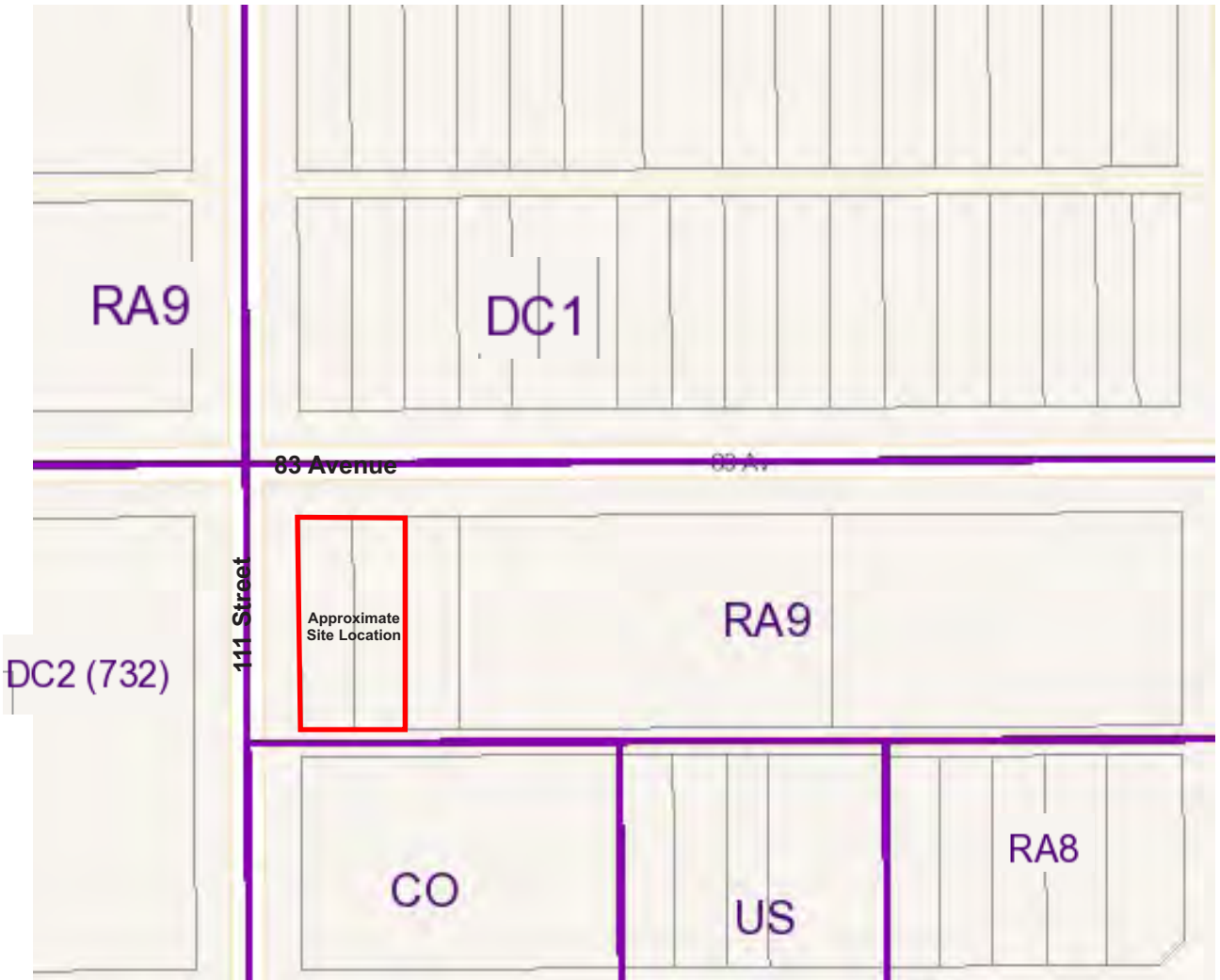
11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

February, 2021

CEL-37544B







**Legend**

CO = Commercial Office Zone  
DC1 = Direct Control Development Provision  
DC2 (732) = Site Specific Development Control Provision  
RA8 = Medium Rise Apartment Zone  
RA9 = High Rise Apartment Zone  
US = Urban Services Zone

Scale  
30 metres

Reference: The City of Edmonton, 2021.

\*Scale provided is nominal. Scale provided is that of the figure.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Zoning Plan

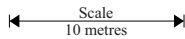
11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Figure 3

Scale: As Shown

February, 2021

CEL-37544B



Reference: The City of Edmonton, 2021.

\*Scale provided is approximate. Scale provided is that of the figure.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Plan

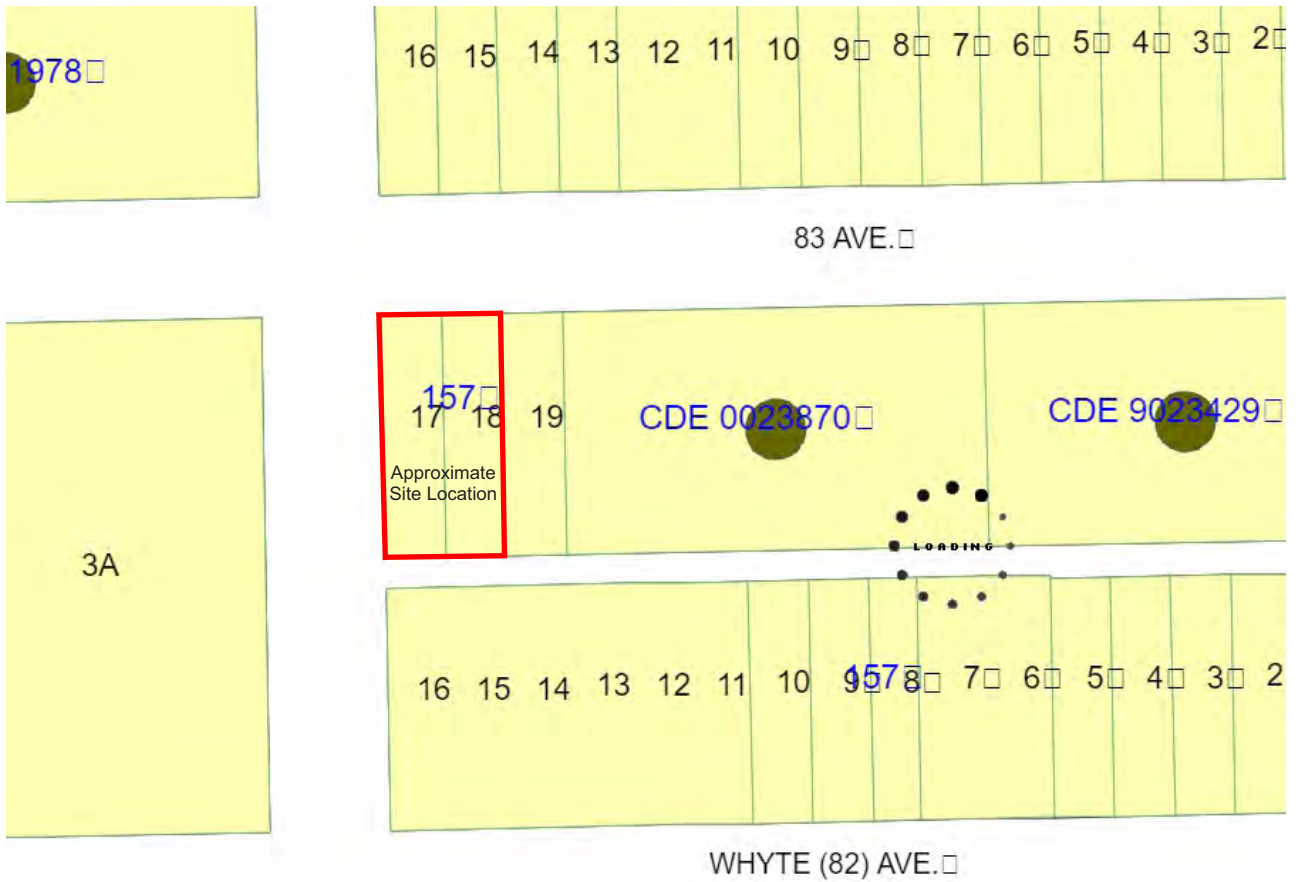
Figure 4

Scale: As Shown

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

February, 2021

CEL-37544B



Reference: Government of Alberta, 2021.

\*Scale provided is approximate. Scale provided is that of the figure.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

ESAR Plan

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Figure 5

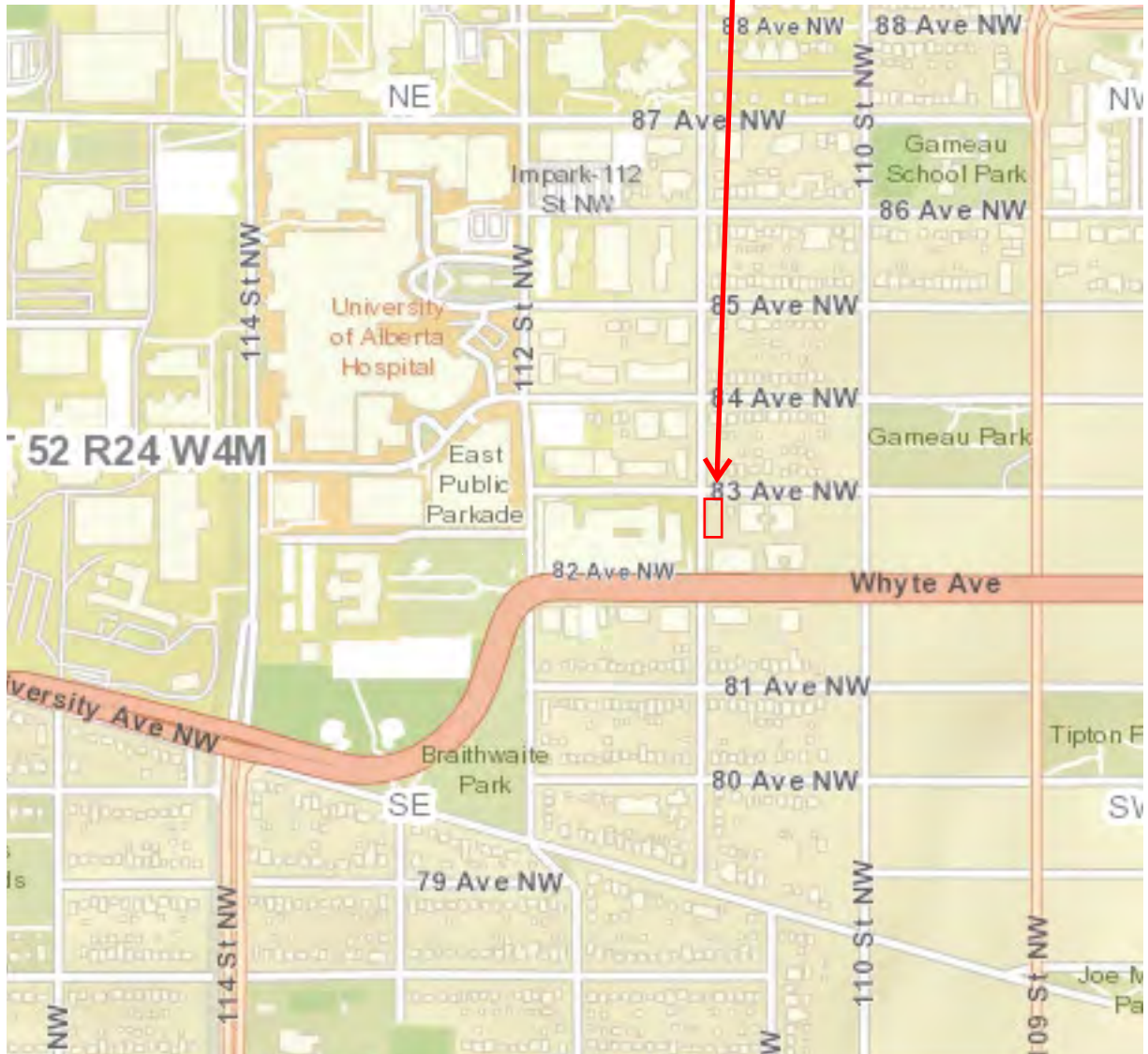
Scale: As Shown

February, 2021

CEL-37544B



Approximate  
Site Location



Scale  
300 metres

Reference: Government of Alberta, 2021.

\*Scale provided is approximate. Scale provided is that of the figure.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Groundwater Information System  
Water Well Plan

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Figure 6

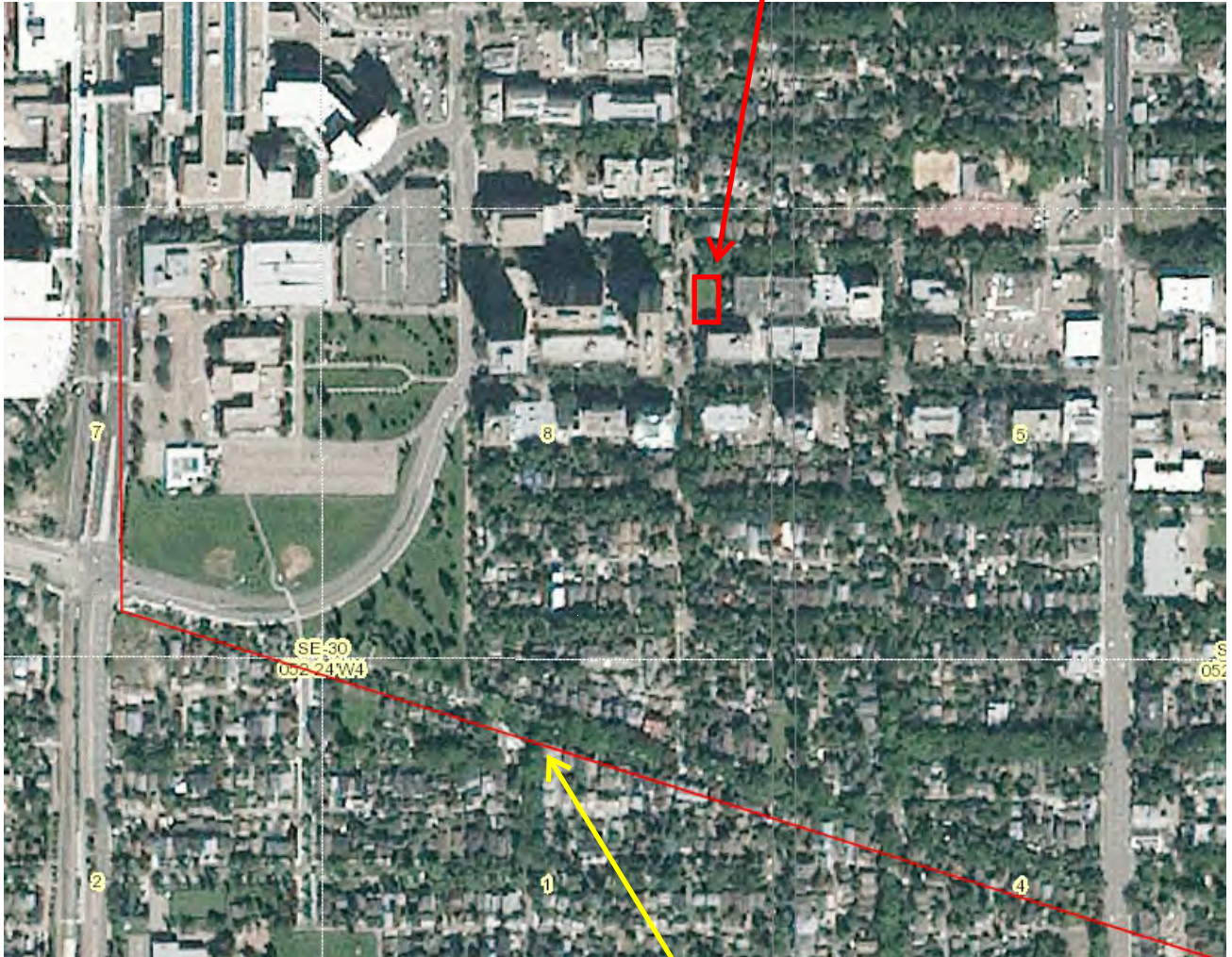
Scale: As Shown

February, 2021

CEL-37544B



Approximate  
Site Location



ATCO Gas & Pipelines Ltd.  
Licence # AB00020954-4  
Natural Gas Pipeline

Scale  
100 metres

Reference: Government of Alberta & Abacus Datagraphics Inc. 2021.

\*Scale provided is approximate. Scale provided is that of the figure.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

AER Information Plan

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Figure 7

Scale: As Shown

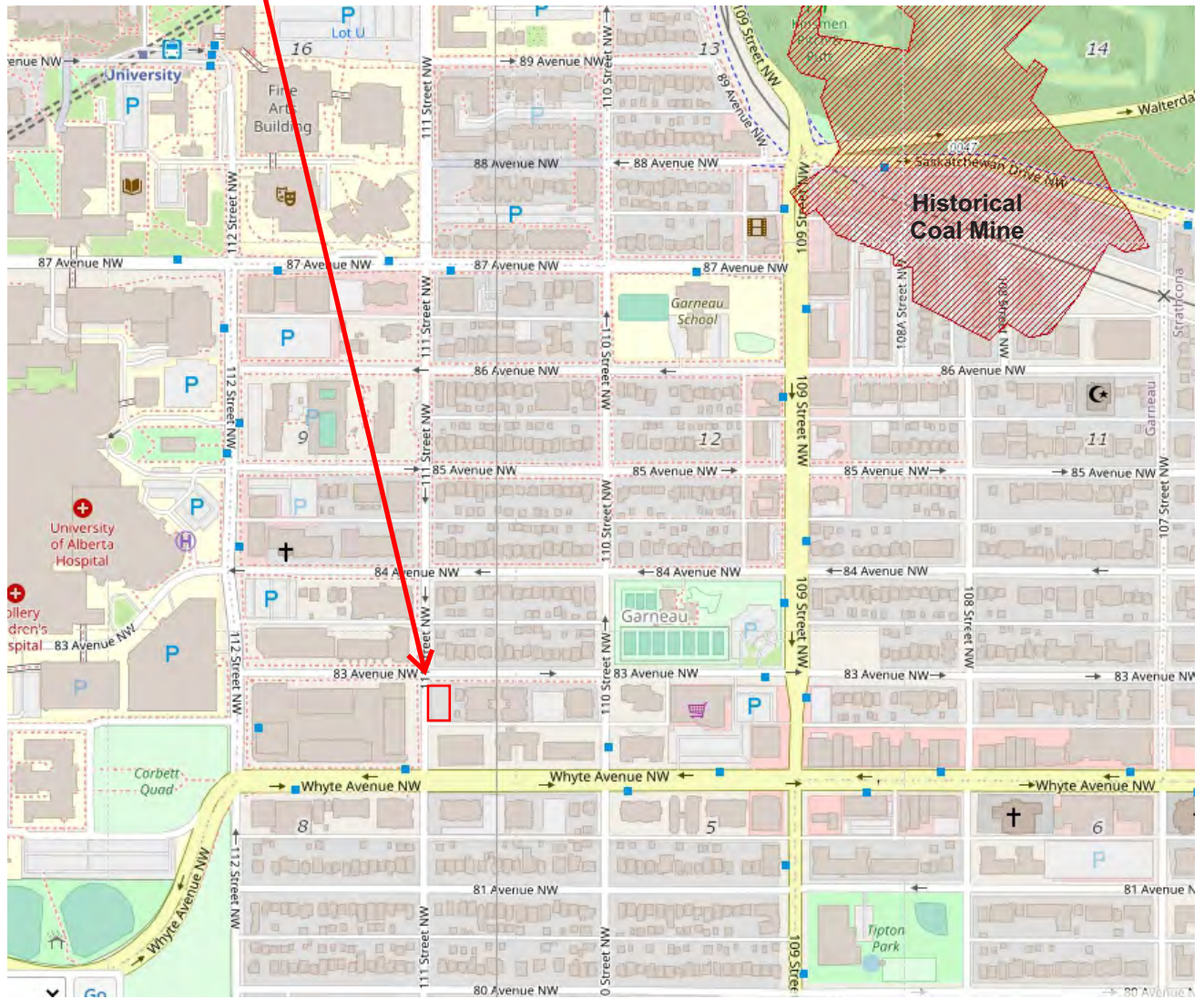
February, 2021

CEL-37544B





Approximate  
Site Location



Scale  
200 metres

Reference: Government of Alberta, 2021.

\*Scale provided is approximate. Scale provided is that of the figure.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

AER Coal Mine Information Plan

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Figure 8

Scale: As Shown

February, 2021

CEL-37544B



University of Alberta  
Heating Plant Facility

Approximate  
Site Location



Reference: Government of Canada, 2021.

\*Scale provided is approximate. Scale provided is that of the figure.

\*\*This figure is not intended for design or construction purposes. Property lines are approximate.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

NPRI Information Plan

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Figure 9

Scale: As Shown

February, 2021

CEL-37544B

# Appendix B

Correspondence



## Doug Pankewich

---

**From:** diana.frechette@gov.ab.ca  
**Sent:** Wednesday, February 10, 2021 4:03 PM  
**To:** pankewich@shaw.ca  
**Subject:** [E21-S-0165] Closure Letter No Records



Environment & Parks and Agriculture & Forestry  
FOIP Office  
10th Floor, 9Triple8 Jasper,  
9888 Jasper Avenue NW  
Edmonton, Alberta, T5J 5C6  
Telephone: 780-427-4429  
[www.alberta.ca](http://www.alberta.ca)

February 10, 2021

Mr. Douglas Pankewich  
CRIMSON Environmental Limited  
314-222 Baseline Road, PO Box 24  
Sherwood Park, Alberta T8H 1S8

**Your File #: CEL-37544B**  
**FOIP Request #: E21-S-0165**  
**Order Number: FOIPRD-2021-8229**

Dear Mr. Pankewich:

**Re: Freedom of Information and Protection of Privacy Act Request for records pertaining to the property located at 11049 - 83 AVENUE NW and 11053 - 83 AVENUE NW, Edmonton**

The following is in response to your request of February 5, 2021 for access under the Freedom of Information and Protection of Privacy Act to the following subject records:

**Location:** Plan I19 Lot 18 Block 157 , Plan I19 Lot 17 Block 157 ; 11049 - 83 AVENUE NW and 11053 - 83 AVENUE NW, Edmonton

**Name(s):** The site is currently owned by the City of Edmonton. There are two lots situated side by side that are used as a community garden.

**Time Frame:** Historical to Feb 5, 2021

**Records:** All records pertaining to the environmental condition of the property, including soil, groundwater, surface water, and air contamination.

A search of Alberta Environment & Parks record holdings has not identified any records relating to the subject of your request, based on the search parameters you provided to this office.

If you have any questions or concerns about the processing of your FOIP request, please write to the above address or call me at 780-644-8515, so that we can look at ways to address these issues. If, however, we are

unable to resolve your concerns, under section 65(1) of the Freedom of Information and Protection of Privacy Act, you may ask the Information and Privacy Commissioner to review this decision. To request a review, you must complete and deliver a Request for Review form within 60 days from the date of this notice to the Commissioner at 410, 9925 – 109 Street, Edmonton, Alberta, T5K 2J8. The form is available under the Resources tab on the Commissioner's website [www.oipc.ab.ca](http://www.oipc.ab.ca) or you can call 1-888-878-4044 to request a copy of the form.

If you request a review, please provide the Commissioner with a copy of your original request, any letters of clarification, a copy of this letter and the reason why you are requesting a review.

If you have any questions or concerns, please write or call me at **780-644-8515**.

Yours truly,

Angie Chenier  
Access and Privacy Advisor

## Doug Pankewich

---

**From:** diana.frechette@gov.ab.ca  
**Sent:** Wednesday, February 10, 2021 4:01 PM  
**To:** pankewich@shaw.ca  
**Subject:** [E21-S-0165] RD No Records



Environment & Parks and Agriculture & Forestry  
FOIP Office  
10th Floor, 9Triple8 Jasper,  
9888 Jasper Avenue NW  
Edmonton, Alberta, T5J 5C6  
Telephone: 780-427-4429  
[www.alberta.ca](http://www.alberta.ca)

February 10, 2021

Mr. Douglas Pankewich  
CRIMSON Environmental Limited  
314-222 Baseline Road, PO Box 24  
Sherwood Park, Alberta

**Your File #:** CEL-37544B  
**Order Number:** FOIPRD-2021-8229

Dear Mr. Pankewich:

**Re: Routine Disclosure Request FOIPRD-2021-8229 for Information Routinely Available Under the Environmental Protection and Enhancement (EPEA) Legislation.**

Our office received your request on February 5, 2021 for the following subject records:

**Location:** Plan I19 Lot 18 Block 157 , Plan I19 Lot 17 Block 157 ; 11049 - 83 AVENUE NW and 11053 - 83 AVENUE NW, Edmonton

**Name(s):** The site is currently owned by the City of Edmonton. There are two lots situated side by side that are used as a community garden.

**Time Frame:** Historical to Feb 5, 2021

**Records:** All records pertaining to the environmental condition of the property, including soil, groundwater, surface water, and air contamination.

Alberta Environment and Parks has conducted a search of department records based on the search parameters you provided to this office and has not identified any routinely available records relating to the subject of your request. As a result of our findings, your Routine Disclosure request has been closed.

If you have any further questions or concerns, please write or call me at **780-644-8515**.

Yours truly,

Angie Chenier  
Access and Privacy Advisor



Environmental Public Health  
HSBC Building  
Suite 700, 10055 – 106 Street,  
Edmonton, AB T5J 2Y2  
**Fax** 780.735.1802  
**Phone** 780.735.1800  
[AHS.EZ.RecordsSearch@albertahealthservices.ca](mailto:AHS.EZ.RecordsSearch@albertahealthservices.ca)

26 February, 2021

Douglas Pankewich  
Crimson Environmental Ltd.  
PO Box 24, 314-222 Baseline Road  
Sherwood Park, AB T8H 1S8

Dear Douglas,

**Re: Your request for records search – #CEL-3737544B**

On February 5, 2021, our office received your request for information regarding the following properties:

11049 & 11053 - 83 Avenue, Edmonton, Alberta

We have conducted a search for records created in accordance with public health legislation, including records relating to hazardous waste sites, abandoned landfills and contamination sources constituting a public health nuisance.

Our records indicate there are no results of any contaminated sites at the above properties. No further documentation was available, no landfills found. It should be noted that the fact that records do not exist does not necessarily mean that the properties comply with all applicable legislation.

Please be advised that records relevant to your search may be held by other agencies, such as Alberta Environment and Sustainable Resource Development, Alberta Energy and Utilities Board, local governments, and others. You should contact these agencies directly for further information.

Enclosed is the invoice for this service.

\$50.00 x 2 file search  
**TOTAL OWING: \$100.00**

Sincerely,  
**Alberta Health Services**

A handwritten signature in blue ink, appearing to read "Karah Harvey".

For Karah Harvey, HBK, BEH(AD), CPHI(C)  
Environmental Health Officer/Executive Officer



URBAN FORM AND  
CORPORATE STRATEGIC  
DEVELOPMENT

Development Services  
2nd Floor, 10111 104 Avenue NW  
Edmonton, Alberta  
T5J 0J4

Date: February 26, 2021

Our File: 386473401-001

Your File: N/A

CRIMSON ENVIRONMENTAL LIMITED  
314, 222 - BASELINE ROAD  
SHERWOOD PARK, ALBERTA T8H 0H6

**Attention: DOUG PANKEWICH:**

**Re: 11053 - 83 AVENUE NW Plan I19 Blk 157 Lot 17  
11049 - 83 AVENUE NW Plan I19 Blk 157 Lot 18**

---

We acknowledge receipt of your inquiry dated Feb 12, 2021, regarding the property located at the above address. The following is the information you requested:

Our records indicate that there are no infractions against this property that concern our office and the bylaws we are charged with enforcing.

This is an examination of the Complaints and Investigations files only. Our office has not done a site inspection and there may be bylaw infractions we are not currently aware of.

The information listed above is not warranted to be a complete history of the property as there may be other City of Edmonton departments that have files concerning this property. The above information is given on the express understanding that we incur no responsibility whatever in furnishing it.

The City of Edmonton does not conduct independent environmental checks of land within the City. If you are concerned about the suitability of this property for any purpose, you should conduct your own tests and reviews.

Should you require further information, you can contact the writer at [searchofrecords@edmonton.ca](mailto:searchofrecords@edmonton.ca).

Note: Bylaw Infraction Searches are conducted for a one (1) year time period from the date the request is received in our office. The following are the Bylaws and Acts that the Complaints and Investigation Section is charged with enforcing: 5535, 5590, 5825, 6046, 7083, 7255, 7608, 7829, 8081, 9668, 10396, 10398, 10406, 10670, 10874, 11468, 11869, 12020, 12308, 12452, 12513, 12800, 12972, 13138, 13145, 13333, 13521, 13777, Sections 545, 546 and 645 of the Municipal Government Act, Part 9 Division 2 of the Environmental Protection and Enhancement Act and the Weed Act. To view Bylaws on line visit the City Website at: [www.edmonton.ca](http://www.edmonton.ca). Information related to the status and issuance of Municipal Tickets and Violation Tickets to individuals is not included.

MARILYN LINTON, Records Advisor  
Permits and Licensing Service Centre

February 18, 2021

Our Reference No.: 386060435-001

CRIMSON Environmental Limited  
#24 – 314-222 Baseline Road  
Sherwood Park, Alberta, T8H 1S8

Attention: Douglas Pankewich

RE: **Your File No.:** CEL – 3737544B  
**Legal:** Plan I19, Block 157, Lot 17  
**Municipal:** 11053 – 83 Avenue NW, Edmonton, Alberta

A Fire Rescue Services record file search was conducted on February 10, 2021. Your payment has been received.

Fire Prevention has not received any information or reports regarding the following:

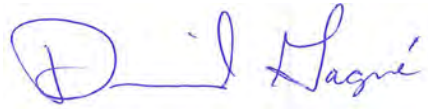
- installation/removal of underground storage tanks
- leaks
- site contamination or site remediation

**Please understand that, as of the date indicated, none of the above described information has been reported to Fire Rescue Services in connection with this property. We make no representations or warranties whatsoever as to the present condition of the property or whether the property complies with the Safety Codes Act. We recommend that you take steps to satisfy yourself as to the condition of the property and the property's compliance with the Safety Codes Act.**

Future requests for information should be accompanied by a prepayment of the charge and forwarded to Fire Prevention, 10425 – 106 Avenue, Edmonton, Alberta T5H 0P5. Please note, effective May 12, 2020, the File Search fees per address are \$136.00 + \$6.80 (G.S.T.) = \$142.80.

Should you have any questions, please contact Fire Prevention at (780) 496-3628.

Yours truly,

A handwritten signature in blue ink, appearing to read "D. L. Lagne". The signature is fluid and cursive, with a large initial "D" and a stylized "L" and "Lagne".

For  
G. Mayorchak  
Fire Marshal

GGM/dg/ms



February 18, 2021

Our Reference No.: 386060622-001

CRIMSON Environmental Limited  
#24 – 314-222 Baseline Road  
Sherwood Park, Alberta, T8H 1S8

Attention: Douglas Pankewich

RE: **Your File No.:** CEL – 3737544B  
**Legal:** Plan I19, Block 157, Lot 18  
**Municipal:** 11049 – 83 Avenue NW, Edmonton, Alberta

A Fire Rescue Services record file search was conducted on February 10, 2021. Your payment has been received.

Fire Prevention has not received any information or reports regarding the following:

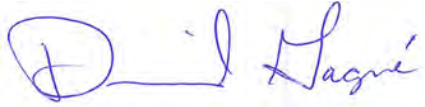
- installation/removal of underground storage tanks
- leaks
- site contamination or site remediation

**Please understand that, as of the date indicated, none of the above described information has been reported to Fire Rescue Services in connection with this property. We make no representations or warranties whatsoever as to the present condition of the property or whether the property complies with the Safety Codes Act. We recommend that you take steps to satisfy yourself as to the condition of the property and the property's compliance with the Safety Codes Act.**

Future requests for information should be accompanied by a prepayment of the charge and forwarded to Fire Prevention, 10425 – 106 Avenue, Edmonton, Alberta T5H 0P5. Please note, effective May 12, 2020, the File Search fees per address are \$136.00 + \$6.80 (G.S.T.) = \$142.80.

Should you have any questions, please contact Fire Prevention at (780) 496-3628.

Yours truly,

A handwritten signature in blue ink, appearing to read "D. L. Lagne". The signature is fluid and cursive, with a large initial "D" and a stylized "L" and "Lagne".

For  
G. Mayorchak  
Fire Marshal

GGM/dg/ms



FINANCIAL SERVICES  
AND UTILITIES

OFFICE OF THE CHIEF FINANCIAL  
OFFICER & TREASURER  
5TH FLOOR, CHANCERY HALL  
3 SIR WINSTON CHURCHILL SQUARE  
EDMONTON, ALBERTA  
T5J 3A3

February 12, 2021

File No.: 71-020-008-001  
Search ID: 5992

Doug Pankewich  
CRIMSON Environmental Limited  
24, 314-222 Baseline Road  
Shrwood Park, Alberta  
T8H 1S8

Dear Sir/Madam:

	<u>ADDRESS</u>	<u>LEGAL</u>
SUBJECT:	11053 - 83 AVENUE NW T6G0T8	Plan I19 Blk 157 Lot 17
	11049 - 83 AVENUE NW T6G0T8	Plan I19 Blk 157 Lot 18

In response to your recent inquiry, our limited records do not identify a former landfill or dump site on or within a 500 metre radius of the subject property. Please note that this information is provided without prejudice and the onus is on the developer/owner to verify by site tests the suitability of the property for their intended use of it. The search area is restricted to sites within the City of Edmonton's boundaries.

Sincerely,

Mark Demers  
Supervisor of GIS Mapping  
Waste Services

Enclosure



9504 – 49 Street NW  
Edmonton, Alberta  
T6B 2M9 Canada  
**epcor.com**

February 8, 2021

Application No: 385885877-001  
Customer File: CEL-3737544B

Douglas Pankewich, M.Sc., P.Geol., P.Eng.  
CRIMSON Environmental Limited  
#24, 314 - 222 Baseline Road  
Sherwood Park, AB T8H 1S8

**Re: Legal Address: PLAN I19, BLOCK 157, LOT 17 & 18**  
**Municipal Address: 11049 & 11053 – 83 AVENUE NW, EDMONTON, AB**

Attached are the results of a record search for the above noted premises with respect to compliance with City of Edmonton Sewers Use Bylaws, Sewers Bylaws, Drainage Bylaws, EPCOR Drainage Services Bylaw and EPCOR Water Services and Wastewater Treatment Bylaws. Inquiries with respect to this search should be directed to the undersigned at (780) 509-8067. You will be invoiced for this service at a later date.

Regards,

A handwritten signature in cursive script, appearing to read "D Johnston", is positioned above the printed name and title.

Dave Johnston  
Team Lead - Industrial Source Control  
Drainage Services

Enclosure



9504 – 49 Street NW  
Edmonton, Alberta  
T6B 2M9 Canada  
epcor.com

## DRAINAGE SERVICES RECORD SEARCH

THIS SEARCH COVERS RECORDS RELATED TO THE FOLLOWING SECTIONS OF CITY BYLAWS: CITY OF EDMONTON SEWERS BYLAW # 9425, Sections 4-38, SEWERS USE BYLAW # 9675, Sections 4-37, DRAINAGE BYLAW # 16200, Sections 4-40, 50-51, DRAINAGE BYLAW # 18093 Sections 15-20, EPCOR DRAINAGE SERVICES BYLAW # 18100, Schedule 2 and EPCOR WATER SERVICES AND WASTEWATER TREATMENT BYLAW # 17698, Schedule 1, Part IV, Wastewater Overstrength Surcharges.

CUSTOMER: CRIMSON Environmental Limited

CUSTOMER FILE #: CEL-3737544B DATE RECEIVED: February 5, 2021

APPLICATION #: 385885877-001

### PROPERTY DETAIL:

MUNICIPAL ADDRESS: 11049 & 11053 – 83 AVENUE NW, EDMONTON, AB

LEGAL ADDRESS / DESCRIPTION: PLAN 119, BLOCK 157, LOT 17 & 18

NAME OF FACILITY: \_\_\_\_\_

TYPE OF BUSINESS: \_\_\_\_\_

☒ - NOT INSPECTED / NO RECORDS FOUND

☐ - INSPECTED - DATE OF INSPECTION: \_\_\_\_\_

☐ - NO VIOLATION(S) FOUND

☐ - VIOLATION(S) FOUND: \_\_\_\_\_

☐ - NOTICE TO COMPLY ISSUED: \_\_\_\_\_

☐ - FINE(S) ISSUED: \_\_\_\_\_

☐ - OVERSTRENGTH SURCHARGES LEVIED: \_\_\_\_\_

COMMENTS: \_\_\_\_\_

This Records Search is provided in accordance with City of Edmonton Bylaw 18100, EPCOR Drainage Services Bylaw. While EPCOR strives to provide complete and accurate information, no warranties, promises or guarantees are made about the accuracy, completeness or adequacy of this Records Search.

SEARCH BY: Matt Brinkworth

DATE: February 8, 2021

REVIEWED BY: Dave Johnston

DATE: February 8, 2021

Locate

I'm looking for  Address Lookup

House Number:  
11049

Unit (optional):

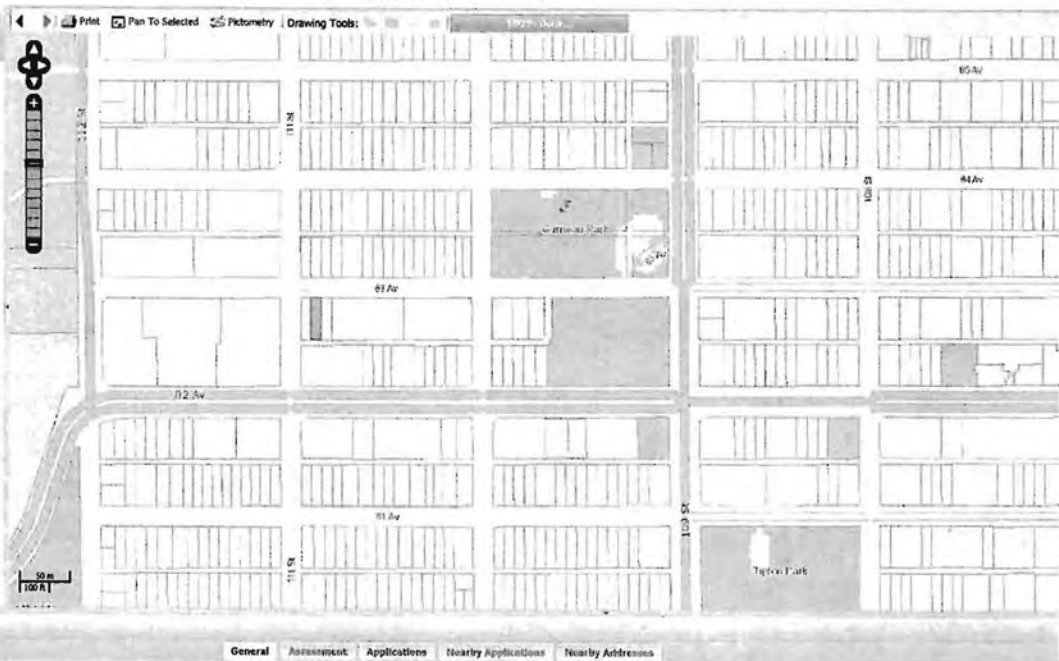
Street or Avenue Name:  
83 AVENUE NW

Find Address

Popular: To show assessment values on the map [click here](#)

New: To show address labels on the map [click here](#)

Help Data Refresh List Contact Us



## Results

Address

General Assessment Applications Nearby Applications Nearby Addresses

The address "11049 - 83 AVENUE NW" found at 1 lot

11049 - 83 AVENUE NW, T6G0T8

Address: 11049 - 83 AVENUE NW, T6G0T8

Legal Description for Title Lot: Lot 18, Block 157, Plan 119

Area: 404,588 m<sup>2</sup>

Year Built:

Neighbourhood: Garneau

Ward: Ward 6

Community League: The Garneau Community League of Edmonton

Waste Collection: Thursday [More Information](#)

Current Zone: High Rise Apartment Zone (RAS)

Current Bylaw: 12800

Proposed Applications: None

Show: Selected Only

Fit List

Results		<div> <div>Address</div> <div>General</div> <div>Assessment</div> <div>Applications</div> <div>Nearby Applications</div> <div>Nearby Addresses</div> </div>				
<p><b><u>The address '11053 - 83 AVENUE NW' found at 1 lot</u></b></p> <p>11053 - 83 AVENUE NW, T6G0T8</p> <p><b><u>The address '11049 - 83 AVENUE NW' found at 1 lot</u></b></p> <p>11049 - 83 AVENUE NW, T6G0T8</p>		<p><b>Address:</b> 11053 - 83 AVENUE NW, T6G0T8</p> <p><b>Legal Description for Title Lot:</b> Lot 17, Block 157, Plan 119</p> <p><b>Area:</b> 404,833 m<sup>2</sup></p> <p><b>Year Built:</b></p> <p><b>Neighbourhood:</b> Gambeau</p> <p><b>Ward:</b> Ward 8</p> <p><b>Community League:</b> The Gambeau Community League of Edmonton</p> <p><b>Waste Collection:</b> Thursday <a href="#">More Information</a></p> <p><b>Current Zone:</b> <a href="#">High Rise Apartment Zone (RA5)</a></p> <p><b>Current Bylaw:</b> 12800</p> <p><b>Proposed Applications:</b> None</p>				
<div> <div>Show:</div> <div>Selected Only</div> <div>83</div> <div>Pin List</div> </div>						

The screenshot shows the POSSE application interface. On the left, a search bar contains '11049 - 83 AVENUE NW'. Below it, a list of search results is displayed, including '11049 - 83 AVENUE NW' and '11049 - 83 AVENUE NW'. The main window displays the search results for '11049 - 83 AVENUE NW'. The address is '11049 - 83 AVENUE NW', Plan 119 Blk 157 Lot 18 (Title(s): 202078059001). The 'Tax Roll Owner' is 'CITY OF EDMONTON FINANCIAL & CORPORATE SERVICE-REAL ESTATE'. The 'Formatted Address' is '10FLR 10111 - 104 AVENUE NW EDMONTON A...'. The 'Tax Roll Number' is '7197809' and the 'PartyId' is '54803'. The 'OK' button is highlighted.



**POSSÉ** | To Do List | Current Projects | Waste Services

---

### Address Expansion Search

Search [ ] Clear [X]

Return: Titled lot, find ways  
House Number: Suffix: House Number:

From: 11053 To:  
Street: 83 AVE  
Subst: To:

Exact Match: [X]

Search From Map [Q] [P]

Description	
11053 - 83 AVENUE NW Plan 119 Btk 157 Lot 17	11053 - 83 AVE Plan 119 Btk 157 Lot 17
11053 - 83 AVENUE NW	11053 - 83 AVE Subst

---

### Tax Roll Owner

Formatted Name: CITY OF EDMONTON FINANCIAL & CORPORATE SERVICES-REAL ESTATE Formatted Address: 10FLR 10111 - 104 AVENUE NW EDMONTON A Phone Number:

CITY OF EDMONTON FINANCIAL & CORPORATE SERVICES-REAL ESTATE 10FLR 10111 - 104 AVENUE NW EDMONTON A

**Tax Roll Owner:: CITY OF EDMONTON F...**

First Name: Last Name/Company: CITY OF EDMONTON FIN

Formatted Address: 10FLR 10111 - 104 AVENUE NW EDMONTON AB T5J 0A4

Tax Roll Number: 7197700 PartyId: 54803

OK Cancel



A Division of the Safety Codes Council

February 10, 2021

Mr. Douglas Pankewich  
Crimson Environmental Limited  
314 222 Baseline Rd Box 24  
Sherwood Park AB T8H 1S8

EMAIL: [pankewich@shaw.ca](mailto:pankewich@shaw.ca)

Re: ASCA Storage Tank Search – Your File No. CEL-37544B

Dear Mr. Pankewich,

As per your search request dated February 5, 2021, Alberta Safety Codes Authority (ASCA) has searched the storage tank database for existing and former installations of storage tank systems, as defined by the Fire Code, including those known to be inside structures at the following addresses:

1. 11049 83 Avenue NW, Lot 18, Block 157, Plan I19, Edmonton AB
2. 11053 83 Avenue NW, Lot 17, Block 157, Plan I19, Edmonton AB

The search of the storage tank database determined no records were available for the addresses requested.

The Freedom of Information and Protection of Privacy Act governs the information provided. Please note that the database is **not** complete. The main limitation of the database is that it only includes information reported through registration and permitting or a survey of abandoned sites completed in 1992 and should not be considered a comprehensive inventory of all past or present storage tank sites. ASCA's storage tank systems database is solely maintained based on information provided by owners and or operators of storage tank systems; therefore, the database may not reflect information related to all existing or former storage tank systems in Alberta. Further information on storage tank systems or investigations involving a spill/release or contamination may be filed with the local fire service or Alberta Environment.

Regards,

Gerry

Gerry Letendre  
[ascatanks@safetycodes.ab.ca](mailto:ascatanks@safetycodes.ab.ca)

# Engineering Services Library Search Concise Report

**Cadastral:** 931-32-10-01 ; 931-32-10; 928-32-22; 931-32-01; 931-32-11 **ACCESSION NO:** 4403  
**Title:** South LRT - Geotechnical Borehole Program  
**Date:** September, 2000  
**Author:** Cherniawski, M. ; AMEC Earth & Environmental Ltd.  
**Abstract:** The purpose of this report is to present the results of the test borings drilled by AMEC.n  
**Neighbrhd:** University of Alberta  
**Location:** 114 80 to 88

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-02 ; 931-32-10 **ACCESSION NO:** 2497  
**Title:** Geotechnical Investigation, South LRT Tunnel Extension from University Station to the Proposed Health Sciences Station, Report 1 and 2  
**Date:** October 30, 2000  
**Author:** Mainprize, E.; Cherniawski, M. ; AMEC Earth & Environmental Ltd.  
**Abstract:** The purpose of this report is to present the results of the test borings drilled by AMEC and to summarize the available geotechnical data along proposed twin tunnel alignment.  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-03 ; 931-32-10 **ACCESSION NO:** 2498  
**Title:** Edmonton SLRT Soil Grouting Test Program  
**Date:** March 7, 2001  
**Author:** ECO Grouting Specialists, Ltd. ; ECO Grouting Specialists, Ltd.  
**Abstract:** A soil grouting test program was performed prior to the excavation of the test area.  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-04 ; 931-32-10 **ACCESSION NO:** 2499  
**Title:** Edmonton SLRT Soil Grouting Test Program  
**Date:** March 19, 2001  
**Author:** ECO Grouting Specialist, Ltd. ; ECO Grouting Specialists, Ltd.  
**Abstract:** Soil grouting test program was performed prior to excavation of the test area.  
**Neighbrhd:** University of Alberta  
**Location:** 114 Street 85 to 88

**Digital Copy:** Yes

\*\*\*\*\*

# Engineering Services Library Search Concise Report

**Cadastral:** 931-32-10-05 ; 931-32-10; 931-32-11 **ACCESSION NO:** 2501  
**Title:** South LRT Extension, University Station to Health Sciences Centre Station, Tunnel and Portal  
**Date:** September 28, 2001  
**Author:** Washuta, A.S. ; UMA Engineering Ltd.  
**Abstract:** South LRT extension, Tunnel and Portal  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-06 ; 931-32-10; 931-32-11 **ACCESSION NO:** 2502  
**Title:** South LRT Tunnel Extension Summary Report, Large Diameter hole (LDH) Excavations, 114 Street and 87 Avenue  
**Date:** October 3, 2001  
**Author:** Gilliss, S.; Barlow, J. ; AMEC Earth & Environmental Ltd.  
**Abstract:** South LRT Tunnel Extension summary report  
**Neighbrhd:** University of Alberta  
**Location:** 114 87

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-07 ; 931-32-10; 931-32-11 **ACCESSION NO:** 2503  
**Title:** South LRT Extension, Value (VE) Session, February 12-14, 2002  
**Date:** February 12, 2002  
**Author:** Fewings, R. ; Stantec Consulting Ltd.  
**Abstract:** The subject of this session is the Preliminary Design Report. VE is a creative, organized effort using experienced, multi-disciplined teams to analyze functional requirements of a project to provide essential functions at the lowest life cycle cost.  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-08 ; 931-32-10; 931-32-11 **ACCESSION NO:** 4404  
**Title:** South LRT Extension, University Station to Health Sciences Centre Station, Assessment of Impact of Tunnelling on Buildings and Utilities - DRAFT  
**Date:** March, 2001  
**Author:** ; UMA Engineering Ltd.  
**Abstract:** South LRT extension, Tunnel and Portal  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88

**Digital Copy:** Yes

\*\*\*\*\*

# Engineering Services Library Search Concise Report

**Cadastral:** 931-32-10-09 ; 931-32-10; 931-32-11 **ACCESSION NO:** 1493  
**Title:** South Light Rail Transit Extension - Phase II, Preliminary Geotechnical Investigation Along 114 Street, from 87 Avenue to University Avenue (including Health Sciences Station) Geotechnical Report No. 5  
**Date:** March 6, 1986  
**Author:** Chatterji, P.; Harris, M.; Tweedie, R.; Kack, G. ; Thurber Consultants Ltd.  
**Abstract:** A preliminary subsoil investigation for the proposed SLRT tunnel in the area of the University of Alberta  
**Neighbrhd:** University of Alberta  
**Location:** 110 Street - 114 Street University Avenue - 87 Avenue  
**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-10 ; 931-32-10 **ACCESSION NO:** 2764  
**Title:** Geotechnical Explorations & Testing South Light Rail Transit Extension, University Station to Health Science Center, Volume 1  
**Date:** March, 2002  
**Author:** Golder Associates ; Golder Associates Ltd.  
**Abstract:** Geotechnical explorations and testing for SLRT. See Volume 2 and addendum reports, 931-32-10-11 and 931-32-10-12.  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88  
**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-11 ; 931-32-10 **ACCESSION NO:** 2504  
**Title:** Geotechnical Explorations & Testing South Light Rail Transit Extension, University Station to Health Science Center, Volume 2  
**Date:** March, 2002  
**Author:** Golder Associates ; Golder Associates Ltd.  
**Abstract:** Geotechnical explorations and testing for SLRT. See Volume 1 and Volume 2 addendum No. 1, 931-32-10-10 and 931-32-10-12.  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88  
**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-12 ; 931-32-10 **ACCESSION NO:** 2765  
**Title:** Geotechnical Explorations & Testing South Light Rail Transit Extension, University Station to Health Science Center, Volume 2 (Addendum No. 1)  
**Date:** March, 2002  
**Author:** Golder Associates ; Golder Associates Ltd.  
**Abstract:** Geotechnical explorations and testing for SLRT. See Volume 1 and Volume 2 appendices, 931-32-10-10 and 931-32-10-11.  
**Neighbrhd:** University of Alberta  
**Location:** 114 85 to 88  
**Digital Copy:** Yes

\*\*\*\*\*

# Engineering Services Library Search Concise Report

**Cadastral:** 931-32-10-13 ; 931-32-10 **ACCESSION NO:** 3192  
**Title:** South LRT Extension, LRT-3 and LRT-1 Contract, Environmental Report  
**Date:** August, 2004  
**Author:** Smart, J. ; Stantec Consulting Ltd.  
**Abstract:** The South LRT-3 construction contract involved the reconstruction of 83 Avenue. The South LRT-1 contract involved the construction of a temporary parking lot located at Varsity Field on the University of Alberta campus, and the Northern Alberta Jubilee Auditorium pre-tunneling modifications.  
**Neighbrhd:** Windsor Park; University of Alberta  
**Location:** 114 Street 83 to 89

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-32-10-14 ; 931-32-10; 931-32-01 **ACCESSION NO:** 9888  
**Title:** Geotechnical Investigation Report - Proposed University Avenue Development, 115 Street between 80 Avenue and University Avenue NW - DIGITAL COPY ONLY  
**Date:** October 9, 2019  
**Author:** Robbins, Scott ; GeoPacific Consultants Ltd.  
**Abstract:** This report presents the results of GeoPacific Consultants Ltd. investigation at the development site and provides recommendations for the design and construction of the new structure.  
**Neighbrhd:** McKernan  
**Routine Disclosure:** No

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-36-06-01 ; 931-36-06 **ACCESSION NO:** 2965  
**Title:** Phase I Environmental Site Assessment, 10907-82 Avenue  
**Date:** May 1, 2002  
**Author:** Gill, M.; Beck, R. ; Dillon Consulting Ltd.  
**Abstract:** Non-intrusive environmental site assessment based on historical and present day information to determine possible environmental issues.  
**Neighbrhd:** Garneau  
**Location:** 109 to 110 82  
**Routine Disclosure:** No

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-36-06-02 ; 931-36-06 **ACCESSION NO:** 3014  
**Title:** Phase I Environmental Site Assessment, 10907-82 Avenue  
**Date:** April 1, 2004  
**Author:** Wiklund, C.; Bate, A.; Haryett, G. ; Stantec Consulting Ltd.  
**Abstract:** Update to May 2002 Phase I ESA. Recommendation made for further investigation on east side of subject property due to presence of gas station across 109 Street.  
**Neighbrhd:** Garneau  
**Location:** 109 82 (Whyte Avenue)  
**Routine Disclosure:** No

**Digital Copy:** Yes

\*\*\*\*\*

# Engineering Services Library Search Concise Report

**Cadastral:** 931-36-06-03 ; 931-36-06 **ACCESSION NO:** 5927  
**Title:** An Environmental Site Assessment of: Canadian Bible Society, Plan: 782AT, Block: 145, Lot: A, 8440 - 109 Street NW, Edmonton, Alberta  
**Date:** August 31, 2010  
**Author:** Schurek, Martin ; Schur-Tek Resources Ltd.  
**Abstract:** Phase II ESA, petroleum hydrocarbons in two soil samples from depths of about 10 metres  
**Neighbrhd:** Garneau  
**Location:** 8440 - 109 Street 109 85

**Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-36-06-04 ; 931-36-06 **ACCESSION NO:** 9283  
**Title:** Phase II Environmental Site Assessment Revision 01, 8307 - 109 Street, Lots 9-15, Block 177, Plan N4000R, Edmonton, Alberta - DIGITAL COPY ONLY  
**Date:** April 17, 2018  
**Author:** Delisle, Michael; Finnestad, Brent; Carriere, Henri ; Tetra Tech Canada Inc.  
**Abstract:** Phase 2 ESA at Knox United Church location for purposes of redevelopment. Former dry cleaner 70 m south and service station 130 m south.  
**Neighbrhd:** Garneau  
**Location:** 8307 - 109 STREET NW, T6G1E1 109 83  
**Routine Disclosure:** Yes **Digital Copy:** Yes

\*\*\*\*\*

**Cadastral:** 931-36-06-05 ; 931-36-06; 931-32-10 **ACCESSION NO:** 9812  
**Title:** Phase I Environmental Site Assessment 11049 and 11053 - 83 Avenue NW, Edmonton, Alberta - DIGITAL COPY ONLY  
**Date:** February 10, 2020  
**Author:** Jaques, Timothy; Payne, Deanne ; Pinchin Ltd.  
**Abstract:** Nothing was identified that is likely to result in potential subsurface impacts at the site. As such, no subsurface investigation work (Phase II ESA) is recommended at this time.  
**Neighbrhd:** Garneau  
**Location:** 11049 - 83 Avenue NW 11053 - 83 Avenue NW 111 Street 83 Avenue  
**Routine Disclosure:** No **Digital Copy:** Yes

\*\*\*\*\*



# Pipeline Information

ATCO GAS AND PIPELINES LTD. | AB00020954 - 4

Government Pipeline Data Current to January 8, 2021

Permit Date:		License Date:	August 19, 1991
From Location:	14-20-52-24 W4M PL	To Location:	7-30-52-24 W4M RS
Length:	2.2 kms   1.38 mi	Status:	O
Substance:	NG	H <sub>2</sub> S:	0 mol/kmol   0 ppm
Outside Diameter:	323.9 mm   12.75 "	Wall Thickness:	6.4 mm   0.25 "
Material:	S	Type:	5LX
Grade:	2411	Max Operating Pressure:	2070 kPa   300 psi
Joints:	W	Internal Coating:	U
Stress Level:	0 %	Environment:	
Original Permit Date:		Construction Date:	
Original License/Line No:	20954 - 4	NEB Registration:	
Last Occurrence Year:	1949	Abacus No:	N/A



# Primary Locate Report

Alberta One-Call  
Ticket #:

20210401310

**FACILITIES LOCATED IN FIELD** - facilities identified below as not located in field are clear within the referenced dig area:

☐ YES ATCO ☐ YES ATCO ☐ YES EPCOR ☐ YES EPCOR ☐ YES EPCOR ☐ YES COE Traffic/ ☐ YES TELUS  
☐ NO Gas ☐ NO Pipelines ☐ NO Drainage ☐ NO Water ☐ NO Power ☐ NO Streetlights ☐ NO

11049 83 Ave NW Edmonton, AB

## LIFE SPAN OF THIS LOCATE IS 30 DAYS

This Primary and all Auxiliary Locate Reports **MUST** remain **WITH** the Operator on the **JOB SITE**. The **LOCATION MARKED** is **APPROXIMATE** only. Any facilities involved must be exposed by **HAND DIGGING** or approved **HYDROVAC** method before excavating with **MACHINERY**.

You are **RESPONSIBLE** for **DAMAGE** caused to any facilities by your operations within 1 meter of the alignment of the locate marks independent of depth. By accepting this locate, you acknowledge and agree to **ALL** terms & conditions outlined!

**ATCO Gas Policy:** Minor coating damage to natural gas lines must be reported and will be repaired free of charge. For this service, call your local ATCO Gas office. Government regulations prohibit the building of a permanent structure over a natural gas line. **Any DAMAGE MUST be reported to ATCO Gas Emergency Dispatch: Edmonton – 780-420-5585;**

**ATCO Pipelines Policy:** When there is a High Pressure (HP) Pipeline in the vicinity of a Ground Disturbance Site the Locate Technician shall notify the Ground Disturber that no Ground Disturbance is to take place within thirty (30) meters of the HP Pipeline (Controlled Area) until ATCO Pipelines has been notified and is present at the Ground Disturbance Site. No WORK is to take place within the "Right-of- Way" without a **CROSSING AGREEMENT** and an Inspector on Site.

**City of Edmonton Policy:** Any damage must be reported to City of Edmonton Facilities, streetlight, traffic signals or fibre optic infrastructure, must be reported to 311.

**EPCOR Drainage Policy:** EPCOR Water & Drainage DO NOT LOCATE water and drainage facilities on PRIVATE PROPERTY. Only the curb cock (C.C.) will be marked which is located on the public/private property boundary. **Damages to the sewer system are to be reported to Drainage Operations at 780-412-4500.**

**EPCOR Power Policy:** Excavator must hand dig or hydro-vac when working within 1m of the locate marks showing buried infrastructure. If the dig zone is within 5m of facilities at voltage levels of 72kV or above, written consent must be obtained from EPCOR Transmission prior to construction. **All damage must reported immediately to EPCOR Power Trouble at 780-412-4500.**

**EPCOR Water Policy:** Always hand-dig or hydrovac to expose water infrastructure when crossing or when encroaching within 1.0m on either side of the locate field marks. **Any damage to water lines is to be reported immediately to EPCOR Water Trouble 780-412-4500.** Do not assume the depth of water system since depths can vary significantly from 1.0m to 7.0m.

**TELUS Policy:** Any **DAMAGE MUST be reported to Alberta One-Call @1-800-242-3447**. If working on Private property near an easement, Crossing Agreements **MUST** be in place **PRIOR** to working within 5.0 meters of FOTS (Fibre Optic Transmission System). Contact [Crossovers@telus.com](mailto:Crossovers@telus.com)

\* NOTE \* - all excavation within 2 meter of **ANY** visible utility infrastructure (i.e. pole, pedestal, riser, cc valve) **MUST** use a non-destructive method!

\* NOTE \* - Privately owned facilities may be present in the Locate Area. Any privately owned services have not been marked; check with the service / property owner.



Located by Promark-Telecon If there are any questions or concerns regarding this locate, please contact the ELC Hotline at 780-508-1010

Locator's Name :

Jordan D

Date :

2021-01-21

Arrival :

15:00:00

Departure :

15:30:00

Company :

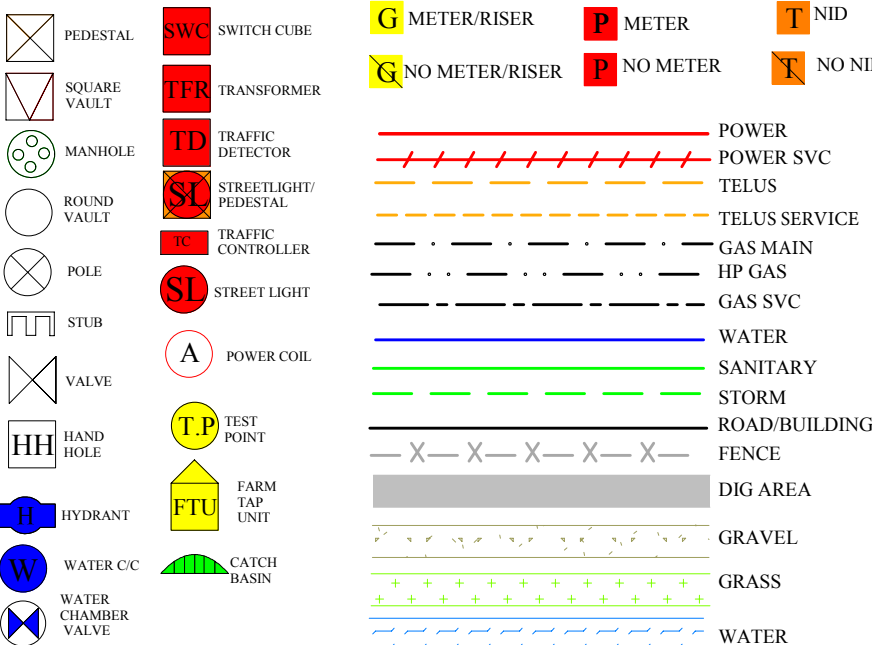
CRIMSON Environmental Limited / Douglas Pankewich

Locator's Comments :

## COMMENTS

DIG AREA AS PER TICKET

**SKETCH LEGEND :** Field sketch and Located Area shown on auxiliary locate sheet(s)



A copy of this Primary Locate Sheet and Auxiliary Locate Sheet(s) must be on site and in the hands of the machine operator during work operations. Should sketch and markings not coincide, a new locate **MUST** be obtained.

20210401310  
TICKET NUMBER

Jordan D  
LOCATOR

2021-01-21  
DATE



ADDRESS : 11049 83 Ave NW Edmonton, AB

83 AVE.



111 ST NW

17

18

19

**2 ABND GAS SERVICES  
IN AREA, COMING FROM  
GAS MAIN SOUTH  
OF PROPERTY**



# DATABASE **REPORT**

**Project Property:** *CEL-37544B  
11053/11049 - 83 Avenue Northwest  
Edmonton AB T6G 0T8*

**Project No:** *CEL-37544B*

**Report Type:** *AB Standard Report Plus*

**Order No:** *21021700453*

**Requested by:** *CRIMSON Environmental Limited*

**Date Completed:** *February 22, 2021*

# Table of Contents

Table of Contents.....	2
Executive Summary.....	3
Executive Summary: Report Summary.....	4
Executive Summary: Site Report Summary - Project Property.....	6
Executive Summary: Site Report Summary - Surrounding Properties.....	7
Executive Summary: Summary By Data Source.....	14
Map.....	23
Aerial.....	24
Topographic Map.....	25
Detail Report.....	26
Unplottable Summary.....	49
Unplottable Report.....	50
Appendix: Database Descriptions.....	51
Definitions.....	60

## **Notice: IMPORTANT LIMITATIONS and YOUR LIABILITY**

**Reliance on information in Report:** This report DOES NOT replace a full Phase I Environmental Site Assessment but is solely intended to be used as a database review of environmental records.

**License for use of information in Report:** No page of this report can be used without this cover page, this notice and the project property identifier. The information in Report(s) may not be modified or re-sold.

**Your Liability for misuse:** Using this Service and/or its reports in a manner contrary to this Notice or your agreement will be in breach of copyright and contract and ERIS may obtain damages for such mis-use, including damages caused to third parties, and gives ERIS the right to terminate your account, rescind your license to any previous reports and to bar you from future use of the Service.

**No warranty of Accuracy or Liability for ERIS:** The information contained in this report has been produced by ERIS Information Limited Partnership ("ERIS") using various sources of information, including information provided by Federal and Provincial government departments. The report applies only to the address and up to the date specified on the cover of this report, and any alterations or deviation from this description will require a new report. This report and the data contained herein does not purport to be and does not constitute a guarantee of the accuracy of the information contained herein and does not constitute a legal opinion nor medical advice. Although ERIS has endeavored to present you with information that is accurate, ERIS disclaims, any and all liability for any errors, omissions, or inaccuracies in such information and data, whether attributable to inadvertence, negligence or otherwise, and for any consequences arising therefrom. Liability on the part of ERIS is limited to the monetary value paid for this report.

**Trademark and Copyright:** You may not use the ERIS trademarks or attribute any work to ERIS other than as outlined above. This Service and Report (s) are protected by copyright owned by ERIS Information Limited Partnership. Copyright in data used in the Service or Report(s) (the "Data") is owned by ERIS or its licensors. The Service, Report(s) and Data may not be copied or reproduced in whole or in any substantial part without prior written consent of ERIS.

# Executive Summary

## **Property Information:**

**Project Property:** CEL-37544B  
11053/11049 - 83 Avenue Northwest Edmonton AB T6G 0T8

**Project No:** CEL-37544B

### **Coordinates:**

**Latitude:** 53.51886999  
**Longitude:** -113.51752734  
**UTM Northing:** 5,932,942.19  
**UTM Easting:** 333,095.96  
**UTM Zone:** 12U

**Elevation:** 2,205 FT  
672.00 M

## **Order Information:**

**Order No:** 21021700453  
**Date Requested:** February 17, 2021  
**Requested by:** CRIMSON Environmental Limited  
**Report Type:** AB Standard Report Plus

## **Historical/Products:**

**Aerial Photographs** Aerials - National Collection

## Executive Summary: Report Summary

<b>Database</b>	<b>Name</b>	<b>Searched</b>	<b>Project Property</b>	<b>Within 0.30 km</b>	<b>Total</b>
AERW	Well Licenses	Y	0	0	0
AGR	Agriculture and Fisheries - Certificates of Approval	Y	0	0	0
AOGW	Alberta Oil and Gas Wells	Y	0	0	0
AUWR	Automobile Wrecking & Supplies	Y	0	0	0
CAWD	Waste Management Facilities - Certificates of Approval	Y	0	0	0
CBL	Commercial Activity Risk - City of Calgary Business Licenses	Y	0	0	0
CDRY	Dry Cleaning Facilities	Y	0	0	0
CFO	Confined Feeding Operations	Y	0	0	0
CHEM	Chemical Processing Operations - Certificates of Approval	Y	0	0	0
CHM	Chemical Register	Y	0	0	0
CNG	Compressed Natural Gas Stations	Y	0	0	0
COMPOST	Compost Facilities	Y	0	0	0
CONV	Compliance and Convictions	Y	0	0	0
CTNK	Fuel Sales and Storage	Y	0	0	0
DRWD	Approved Oilfield Waste Management Facilities	Y	0	0	0
EAS	Enforcement Action Summary	Y	0	0	0
EBL	Commercial Activity Risk - City of Edmonton Business Licenses	Y	0	0	0
EEM	Environmental Effects Monitoring	Y	0	0	0
EHS	ERIS Historical Searches	Y	4	17	21
EIIS	Environmental Issues Inventory System	Y	0	0	0
EPST	Alberta Environment & Parks Storage Tanks	Y	0	0	0
EPWN	Environment Protection & Enhancement Act and Water Act Public Notices	Y	0	0	0
ESAR	Environmental Site Assessment Repository	Y	0	2	2
FAC	Facility List	Y	0	0	0
FCON	Federal Convictions	Y	0	0	0
FCS	Contaminated Sites on Federal Land	Y	0	0	0
FIS	AER Incidents & Spills	Y	0	0	0
FOOD	Food Processing Operations - Certificates of Approval	Y	0	0	0
FRST	Federal Identification Registry for Storage Tank Systems (FIRSTS)	Y	0	0	0
FST	Fuel Storage Tanks	Y	0	12	12
FUEL STATION	Edmonton Vehicle Fueling Stations	Y	0	0	0
GEN	Waste Generators Summary	Y	0	48	48
GHG	Greenhouse Gas Emissions from Large Facilities	Y	0	0	0
GPP	Gas Processing Plants	Y	0	0	0
HELP	Alberta Environment's H.E.L.P. (Help End Landfill Pollution) Program Database	Y	0	0	0

<b>Database</b>	<b>Name</b>	<b>Searched</b>	<b>Project Property</b>	<b>Within 0.30 km</b>	<b>Total</b>
HORW	Horizontal Wells	Y	0	0	0
IAFT	Indian & Northern Affairs Fuel Tanks	Y	0	0	0
LANDFILLS	Landfill Registrations	Y	0	0	0
LDS	Identification and Verification of Active and Inactive Land Disposal Sites	Y	0	0	0
LDSI	Land Disposal Sites on Indian Reserves	Y	0	0	0
LUM	Lumber Related Operations - Certificates of Approval	Y	0	0	0
MINE	Canadian Mine Locations	Y	0	0	0
MMB	Metals, Minerals and Building Materials Operations - Certificates of Approval	Y	0	0	0
MNR	Mineral Occurrences	Y	0	0	0
NATE	National Analysis of Trends in Emergencies System (NATES)	Y	0	0	0
NCST	PTMAA Non-Compliant Storage Tanks	Y	0	0	0
NDFT	National Defense & Canadian Forces Fuel Tanks	Y	0	0	0
NDSP	National Defense & Canadian Forces Spills	Y	0	0	0
NDWD	National Defence & Canadian Forces Waste Disposal Sites	Y	0	0	0
NEBI	National Energy Board Pipeline Incidents	Y	0	0	0
NEBP	National Energy Board Wells	Y	0	0	0
NEES	National Environmental Emergencies System (NEES)	Y	0	0	0
NPCB	National PCB Inventory	Y	0	1	1
NPRI	National Pollutant Release Inventory	Y	0	0	0
OAM	Operating and Abandoned Mines	Y	0	0	0
OGF	Oil and Gas Facilities - ST102 & ST50	Y	0	0	0
OGWW	Oil and Gas Wells	Y	0	0	0
ORP	Alberta Orphan Wells	Y	0	0	0
PAP	Canadian Pulp and Paper	Y	0	0	0
PCFT	Parks Canada Fuel Storage Tanks	Y	0	0	0
PCG	Petrochemical, Coal and Gas Operations - Certificates of Approval	Y	0	0	0
PES	Pesticide Register	Y	0	0	0
PITS	Conglomerate and Waste Management Facilities	Y	0	0	0
PSP	Alberta Private Sewage Disposal Permits	Y	0	0	0
PTAP	PTMAA Approved (Open) Permits	Y	0	0	0
REC	Hazardous Waste Receivers Summary	Y	0	1	1
RST	Retail Fuel Storage Tanks	Y	0	0	0
SCT	Scott's Manufacturing Directory	Y	0	0	0
SPEC	Special Operation Classifications - Certificates of Approval	Y	0	0	0
WDS	Inventory of Waste Disposal Sites	Y	0	0	0
WSTE	Wastewater Operations	Y	0	0	0
WWIS	Alberta Water Well Information Database	Y	0	0	0
		<b>Total:</b>	<b>4</b>	<b>81</b>	<b>85</b>



## Executive Summary: Site Report Summary - Project Property

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev diff (m)</i>	<i>Page Number</i>
<a href="#"><u>1</u></a>	EHS		11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW/0.0	-0.69	<a href="#"><u>26</u></a>
<a href="#"><u>1</u></a>	EHS		11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW/0.0	-0.69	<a href="#"><u>26</u></a>
<a href="#"><u>1</u></a>	EHS		11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW/0.0	-0.69	<a href="#"><u>26</u></a>
<a href="#"><u>1</u></a>	EHS		11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW/0.0	-0.69	<a href="#"><u>26</u></a>

## Executive Summary: Site Report Summary - Surrounding Properties

<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev Diff (m)</i>	<i>Page Number</i>
<a href="#"><u>2</u></a>	EHS		11044 82 Ave Nw Edmonton AB T6G0T2	SE/19.7	0.00	<a href="#"><u>27</u></a>
<a href="#"><u>3</u></a>	GEN	EPCOR ENERGY	11044 82 AVE EDMONTON AB	SSE/31.5	0.00	<a href="#"><u>27</u></a>
<a href="#"><u>3</u></a>	EHS		11044 - 82 Avenue Edmonton AB	SSE/31.5	0.00	<a href="#"><u>27</u></a>
<a href="#"><u>4</u></a>	GEN	WESTCORP	100 8210 111 ST EDMONTON AB	WSW/37.6	-1.00	<a href="#"><u>27</u></a>
<a href="#"><u>4</u></a>	GEN	WESTCORP	100 8210 111 ST EDMONTON AB	WSW/37.6	-1.00	<a href="#"><u>27</u></a>
<a href="#"><u>5</u></a>	EHS		11024 82 Avenue NW Edmonton AB T6G 0T2	ESE/66.6	0.00	<a href="#"><u>28</u></a>
<a href="#"><u>5</u></a>	EHS		11024 82 Avenue NW Edmonton AB T6G 0T2	ESE/66.6	0.00	<a href="#"><u>28</u></a>
<a href="#"><u>5</u></a>	EHS		11024 82 Avenue NW Edmonton AB T6G 0T2	ESE/66.6	0.00	<a href="#"><u>28</u></a>
<a href="#"><u>5</u></a>	EHS		11024 82 Avenue NW Edmonton AB T6G 0T2	ESE/66.6	0.00	<a href="#"><u>28</u></a>
<a href="#"><u>6</u></a>	EHS		11135 83 Ave Nw Edmonton AB T6G2C6	W/103.1	-1.00	<a href="#"><u>28</u></a>
<a href="#"><u>7</u></a>	EHS		11121 82 Ave NW Edmonton AB T6G0T4	SW/124.0	-1.00	<a href="#"><u>29</u></a>
<a href="#"><u>8</u></a>	FST	KNOX MET MANOR	10941-83 AVE. EDMONTON (A) AB	E/172.1	0.00	<a href="#"><u>29</u></a>

<b>Map Key</b>	<b>DB</b>	<b>Company/Site Name</b>	<b>Address</b>	<b>Dir/Dist (m)</b>	<b>Elev Diff (m)</b>	<b>Page Number</b>
<a href="#"><u>8</u></a>	ESAR	KNOX MET MANOR	Edmonton 10941 83 AVE Edmonton AB	E/172.1	0.00	<a href="#"><u>29</u></a>
<a href="#"><u>8</u></a>	FST	KNOX MET MANOR	10941-83 AVE. EDMONTON (A) AB	E/172.1	0.00	<a href="#"><u>30</u></a>
<a href="#"><u>9</u></a>	GEN	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 8210 - 112 Street, 19th Floor Edmonton AB AB	W/172.5	0.00	<a href="#"><u>30</u></a>
<a href="#"><u>9</u></a>	GEN	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 4 floor, 8215 - 112 Street Edmonton AB T6G AB T6G 2C8	W/172.5	0.00	<a href="#"><u>30</u></a>
<a href="#"><u>9</u></a>	GEN	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 10th floor, 8215 - 112 Street Edmonton AB AB T6G 2C8	W/172.5	0.00	<a href="#"><u>30</u></a>
<a href="#"><u>9</u></a>	GEN	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG c/o8215- 112StCollePI Edmonton AB T6G 5A9 AB	W/172.5	0.00	<a href="#"><u>31</u></a>
<a href="#"><u>9</u></a>	GEN	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 10th floor, 8215 - 112 Street Edmonton AB AB T6G 2C8	W/172.5	0.00	<a href="#"><u>31</u></a>
<a href="#"><u>9</u></a>	GEN	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 10th Floor, 8215 - 112 Avenue Edmonton AB AB T6G 2C8	W/172.5	0.00	<a href="#"><u>31</u></a>
<a href="#"><u>9</u></a>	GEN	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 1518 8215 112 ST Edmonton AB T6G 5A9 AB T6G 2C8	W/172.5	0.00	<a href="#"><u>31</u></a>
<a href="#"><u>9</u></a>	GEN	PUBLIC WORKS, SUPPLY AND SERVICES, PEACE RIVER	14th Fl., 8215-112 St. Edmonton AB T6G 5A9 AB	W/172.5	0.00	<a href="#"><u>31</u></a>
<a href="#"><u>9</u></a>	GEN	PUBLIC WORKS, SUPPLY AND SERVICES, RED DEER	MICHENER CENTRE 17 floor, 8215 - 112 Street Edmonton AB T6G AB T6G 2C8	W/172.5	0.00	<a href="#"><u>31</u></a>
<a href="#"><u>9</u></a>	NPCB	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICE	14th Floor, College Plaza 8215 - 112 Street Edmonton AB T6G 5A9	W/172.5	0.00	<a href="#"><u>32</u></a>

<b>Map Key</b>	<b>DB</b>	<b>Company/Site Name</b>	<b>Address</b>	<b>Dir/Dist (m)</b>	<b>Elev Diff (m)</b>	<b>Page Number</b>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8	W/172.5	0.00	<a href="#"><u>33</u></a>
<a href="#"><u>9</u></a>	GEN	WESTCORP	2100 COLLEGE PLAZA 8215 112 ST EDMONTON AB	W/172.5	0.00	<a href="#"><u>33</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100 8215 112 ST NW Edmonton AB T6G 2C8	W/172.5	0.00	<a href="#"><u>33</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>33</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>33</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>34</u></a>
<a href="#"><u>9</u></a>	FST	WESTCORP INC. (EXMEPT)	#200 8215-112 STR. EDMONTON (A) AB	W/172.5	0.00	<a href="#"><u>34</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>34</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>34</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB	W/172.5	0.00	<a href="#"><u>34</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8	W/172.5	0.00	<a href="#"><u>35</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>35</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>35</u></a>

<b>Map Key</b>	<b>DB</b>	<b>Company/Site Name</b>	<b>Address</b>	<b>Dir/Dist (m)</b>	<b>Elev Diff (m)</b>	<b>Page Number</b>
<a href="#"><u>9</u></a>	FST	WESTCORP INC. (EXMEPT)	200 8215-112 STR. EDMONTON (A) AB T6G2C8	W/172.5	0.00	<a href="#"><u>35</u></a>
<a href="#"><u>9</u></a>	GEN	Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W/172.5	0.00	<a href="#"><u>35</u></a>
<a href="#"><u>10</u></a>	EHS		11147 - 82 Avenue Edmonton AB T6G 0T3	WSW/187.3	0.00	<a href="#"><u>36</u></a>
<a href="#"><u>11</u></a>	EHS		11147 82 Ave Nw Edmonton AB T6G0T5	WSW/190.9	0.00	<a href="#"><u>36</u></a>
<a href="#"><u>12</u></a>	EHS		8510 111 Street Edmonton AB T6G 1H7	N/265.2	3.08	<a href="#"><u>36</u></a>
<a href="#"><u>12</u></a>	EHS		8510 111th STREET NW EDMONTON AB	N/265.2	3.08	<a href="#"><u>36</u></a>
<a href="#"><u>13</u></a>	EHS		8510 111 St Nw Edmonton AB	NNW/268.1	3.00	<a href="#"><u>36</u></a>
<a href="#"><u>14</u></a>	EHS		8510 111 Street Northwest Edmonton AB T6G 1H7	NNW/269.2	3.00	<a href="#"><u>37</u></a>
<a href="#"><u>14</u></a>	EHS		8510 111 Street Northwest Edmonton AB T6G 1H7	NNW/269.2	3.00	<a href="#"><u>37</u></a>
<a href="#"><u>14</u></a>	EHS		8510 111 Street Northwest Edmonton AB T6G 1H7	NNW/269.2	3.00	<a href="#"><u>37</u></a>
<a href="#"><u>15</u></a>	ESAR	EDMONTON BLOOD TRANSFUSION BUILDING	Edmonton 83 AVE 114 ST Edmonton AB	W/276.1	0.80	<a href="#"><u>37</u></a>
<a href="#"><u>16</u></a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 - 112 Street Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#"><u>38</u></a>
<a href="#"><u>16</u></a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 - 112 Street Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#"><u>38</u></a>

<b>Map Key</b>	<b>DB</b>	<b>Company/Site Name</b>	<b>Address</b>	<b>Dir/Dist (m)</b>	<b>Elev Diff (m)</b>	<b>Page Number</b>
<a href="#"><u>16</u></a>	REC	UNIVERSITY OF ALBERTA HOSPITAL	8440 - 112 Street Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#"><u>38</u></a>
<a href="#"><u>16</u></a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW/299.5	1.00	<a href="#"><u>38</u></a>
<a href="#"><u>16</u></a>	GEN	Capital Health Region	8440 112 ST Edmonton AB T6G 2B7	WNW/299.5	1.00	<a href="#"><u>39</u></a>
<a href="#"><u>16</u></a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW/299.5	1.00	<a href="#"><u>39</u></a>
<a href="#"><u>16</u></a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW/299.5	1.00	<a href="#"><u>40</u></a>
<a href="#"><u>16</u></a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW/299.5	1.00	<a href="#"><u>41</u></a>
<a href="#"><u>16</u></a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#"><u>41</u></a>
<a href="#"><u>16</u></a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#"><u>42</u></a>
<a href="#"><u>16</u></a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#"><u>42</u></a>
<a href="#"><u>16</u></a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#"><u>43</u></a>
<a href="#"><u>16</u></a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#"><u>43</u></a>
<a href="#"><u>16</u></a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#"><u>43</u></a>
<a href="#"><u>16</u></a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#"><u>44</u></a>

<b>Map Key</b>	<b>DB</b>	<b>Company/Site Name</b>	<b>Address</b>	<b>Dir/Dist (m)</b>	<b>Elev Diff (m)</b>	<b>Page Number</b>
<a href="#">16</a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW/299.5	1.00	<a href="#">44</a>
<a href="#">16</a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW/299.5	1.00	<a href="#">45</a>
<a href="#">16</a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST AB	WNW/299.5	1.00	<a href="#">45</a>
<a href="#">16</a>	GEN	UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW/299.5	1.00	<a href="#">45</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW/299.5	1.00	<a href="#">46</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">46</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">46</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">46</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">46</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">46</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB	WNW/299.5	1.00	<a href="#">47</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW/299.5	1.00	<a href="#">47</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">47</a>



<i>Map Key</i>	<i>DB</i>	<i>Company/Site Name</i>	<i>Address</i>	<i>Dir/Dist (m)</i>	<i>Elev Diff (m)</i>	<i>Page Number</i>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">47</a>
<a href="#">16</a>	EHS		8440 112 St Nw Edmonton AB T6G2B7	WNW/299.5	1.00	<a href="#">47</a>
<a href="#">16</a>	FST	UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW/299.5	1.00	<a href="#">47</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">48</a>
<a href="#">16</a>	GEN	University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW/299.5	1.00	<a href="#">48</a>

# Executive Summary: Summary By Data Source

## **EHS - ERIS Historical Searches**

A search of the EHS database, dated 1999-Oct 31, 2020 has found that there are 21 EHS site(s) within approximately 0.30 kilometers of the project property.

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
	11044 82 Ave Nw Edmonton AB T6G0T2	SE	19.66	<a href="#"><u>2</u></a>
	11044 - 82 Avenue Edmonton AB	SSE	31.51	<a href="#"><u>3</u></a>
	11024 82 Avenue NW Edmonton AB T6G 0T2	ESE	66.63	<a href="#"><u>5</u></a>
	11024 82 Avenue NW Edmonton AB T6G 0T2	ESE	66.63	<a href="#"><u>5</u></a>
	11024 82 Avenue NW Edmonton AB T6G 0T2	ESE	66.63	<a href="#"><u>5</u></a>
	11024 82 Avenue NW Edmonton AB T6G 0T2	ESE	66.63	<a href="#"><u>5</u></a>
	11147 - 82 Avenue Edmonton AB T6G 0T3	WSW	187.31	<a href="#"><u>10</u></a>
	11147 82 Ave Nw Edmonton AB T6G0T5	WSW	190.85	<a href="#"><u>11</u></a>
	8510 111th STREET NW EDMONTON AB	N	265.16	<a href="#"><u>12</u></a>
	8510 111 Street Edmonton AB T6G 1H7	N	265.16	<a href="#"><u>12</u></a>

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
	8510 111 St Nw Edmonton AB	NNW	268.15	<a href="#"><u>13</u></a>
	8510 111 Street Northwest Edmonton AB T6G 1H7	NNW	269.18	<a href="#"><u>14</u></a>
	8510 111 Street Northwest Edmonton AB T6G 1H7	NNW	269.18	<a href="#"><u>14</u></a>
	8510 111 Street Northwest Edmonton AB T6G 1H7	NNW	269.18	<a href="#"><u>14</u></a>
	8440 112 St Nw Edmonton AB T6G2B7	WNW	299.53	<a href="#"><u>16</u></a>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW	0.00	<a href="#"><u>1</u></a>
	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW	0.00	<a href="#"><u>1</u></a>
	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW	0.00	<a href="#"><u>1</u></a>
	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	SW	0.00	<a href="#"><u>1</u></a>
	11135 83 Ave Nw Edmonton AB T6G2C6	W	103.13	<a href="#"><u>6</u></a>
	11121 82 Ave NW Edmonton AB T6G0T4	SW	123.98	<a href="#"><u>7</u></a>

## **ESAR - Environmental Site Assessment Repository**

A search of the ESAR database, dated 1960-Aug 2020 has found that there are 2 ESAR site(s) within approximately 0.30 kilometers of the project property.

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
KNOX MET MANOR	Edmonton 10941 83 AVE Edmonton AB	E	172.14	<a href="#"><u>8</u></a>
EDMONTON BLOOD TRANSFUSION BUILDING	Edmonton 83 AVE 114 ST Edmonton AB	W	276.13	<a href="#"><u>15</u></a>

## **FST - Fuel Storage Tanks**

A search of the FST database, dated 1985-Sep 2020 has found that there are 12 FST site(s) within approximately 0.30 kilometers of the project property.

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
KNOX MET MANOR	10941-83 AVE. EDMONTON (A) AB	E	172.14	<a href="#"><u>8</u></a>
KNOX MET MANOR	10941-83 AVE. EDMONTON (A) AB	E	172.14	<a href="#"><u>8</u></a>
WESTCORP INC. (EXMEPT)	200 8215-112 STR. EDMONTON (A) AB T6G2C8	W	172.52	<a href="#"><u>9</u></a>
WESTCORP INC. (EXMEPT)	#200 8215-112 STR. EDMONTON (A) AB	W	172.52	<a href="#"><u>9</u></a>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITALS	8440-112 STR. EDMONTON (A) AB	WNW	299.53	<a href="#"><u>16</u></a>

### **GEN - Waste Generators Summary**

A search of the GEN database, dated 1993-Aug 2018 has found that there are 48 GEN site(s) within approximately 0.30 kilometers of the project property.

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
EPCOR ENERGY	11044 82 AVE EDMONTON AB	SSE	31.51	<a href="#"><u>3</u></a>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 8210 - 112 Street, 19th Floor Edmonton AB AB	W	172.52	<a href="#"><u>9</u></a>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 4 floor, 8215 - 112 Street Edmonton AB T6G AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 10th floor, 8215 - 112 Street Edmonton AB AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG c/o8215- 112StCollePI Edmonton AB T6G 5A9 AB	W	172.52	<a href="#"><u>9</u></a>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 10th floor, 8215 - 112 Street Edmonton AB AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 10th Floor, 8215 - 112 Avenue Edmonton AB AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES	LEGISLATURE BLDG 1518 8215 112 ST Edmonton AB T6G 5A9 AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
PUBLIC WORKS, SUPPLY AND SERVICES, PEACE RIVER	14th Fl., 8215-112 St. Edmonton AB T6G 5A9 AB	W	172.52	<a href="#"><u>9</u></a>
PUBLIC WORKS, SUPPLY AND SERVICES, RED DEER	MICHENER CENTRE 17 floor, 8215 - 112 Street Edmonton AB T6G AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
WESTCORP	2100 COLLEGE PLAZA 8215 112 ST EDMONTON AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100 8215 112 ST NW Edmonton AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>
Westcorp Inc.	2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	W	172.52	<a href="#"><u>9</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 - 112 Street Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 - 112 Street Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW	299.53	<a href="#"><u>16</u></a>
Capital Health Region	8440 112 ST Edmonton AB T6G 2B7	WNW	299.53	<a href="#"><u>16</u></a>



<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST AB	WNW	299.53	<a href="#"><u>16</u></a>
UNIVERSITY OF ALBERTA HOSPITAL	8440 112 ST EDMONTON AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>

<b><u>Equal/Higher Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>
University of Alberta Hospital	8440 112 ST Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>

<b><u>Lower Elevation</u></b>	<b><u>Address</u></b>	<b><u>Direction</u></b>	<b><u>Distance (m)</u></b>	<b><u>Map Key</u></b>
WESTCORP	100 8210 111 ST EDMONTON AB	WSW	37.62	<a href="#"><u>4</u></a>
WESTCORP	100 8210 111 ST EDMONTON AB	WSW	37.62	<a href="#"><u>4</u></a>

### **NPCB - National PCB Inventory**

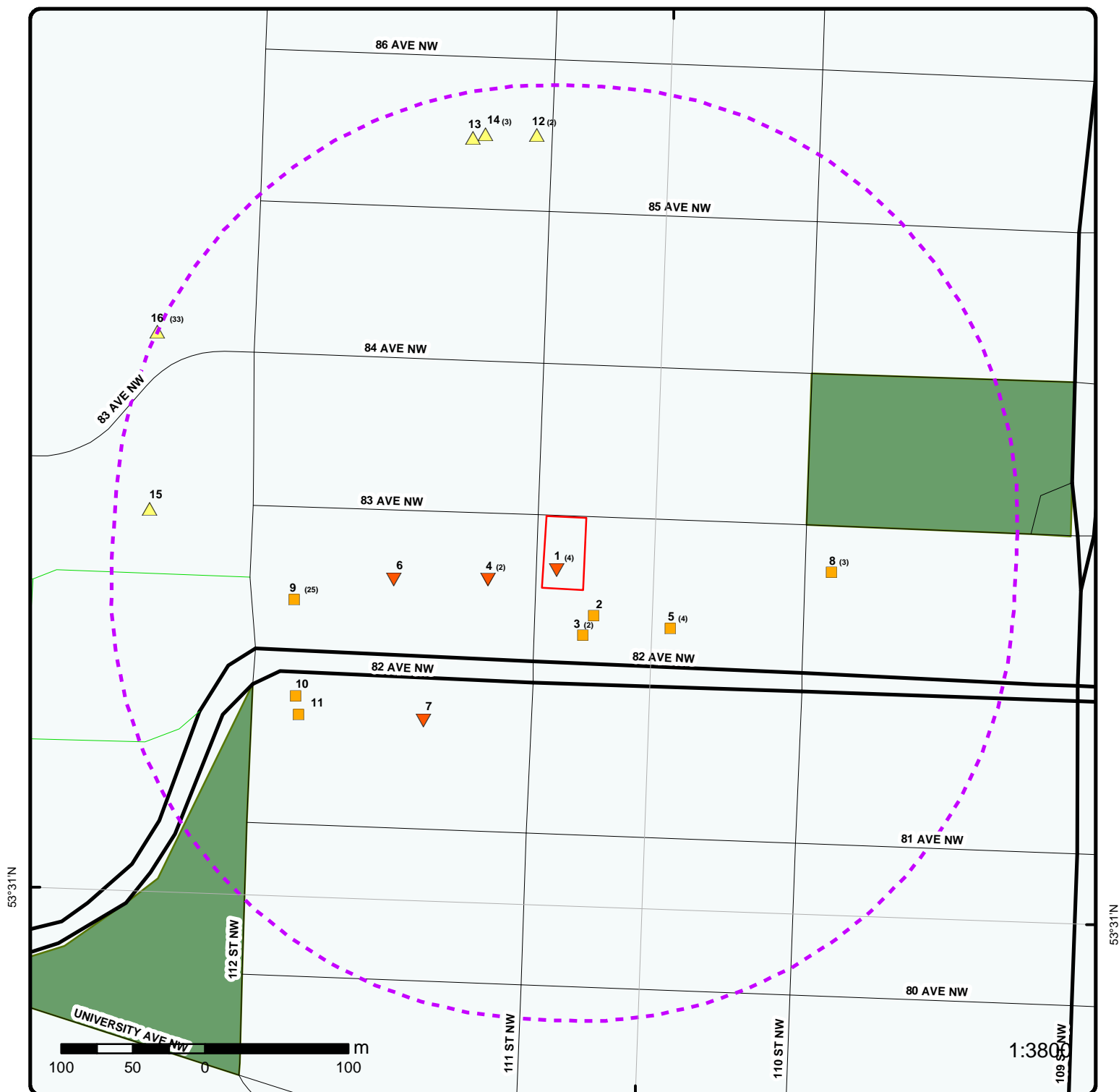
A search of the NPCB database, dated 1988-2008\* has found that there are 1 NPCB site(s) within approximately 0.30 kilometers of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
ALBERTA PUBLIC WORKS, SUPPLY AND SERVICE	14th Floor, College Plaza 8215 - 112 Street Edmonton AB T6G 5A9	W	172.52	<a href="#"><u>9</u></a>

### **REC - Hazardous Waste Receivers Summary**

A search of the REC database, dated 1993-Aug 2018 has found that there are 1 REC site(s) within approximately 0.30 kilometers of the project property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction</u>	<u>Distance (m)</u>	<u>Map Key</u>
UNIVERSITY OF ALBERTA HOSPITAL	8440 - 112 Street Edmonton AB T6G 2B7 AB	WNW	299.53	<a href="#"><u>16</u></a>



## Map: 0.3 Kilometer Radius

Order Number: 21021700453

Address: 11053/11049 - 83 Avenue Northwest, Edmonton, AB



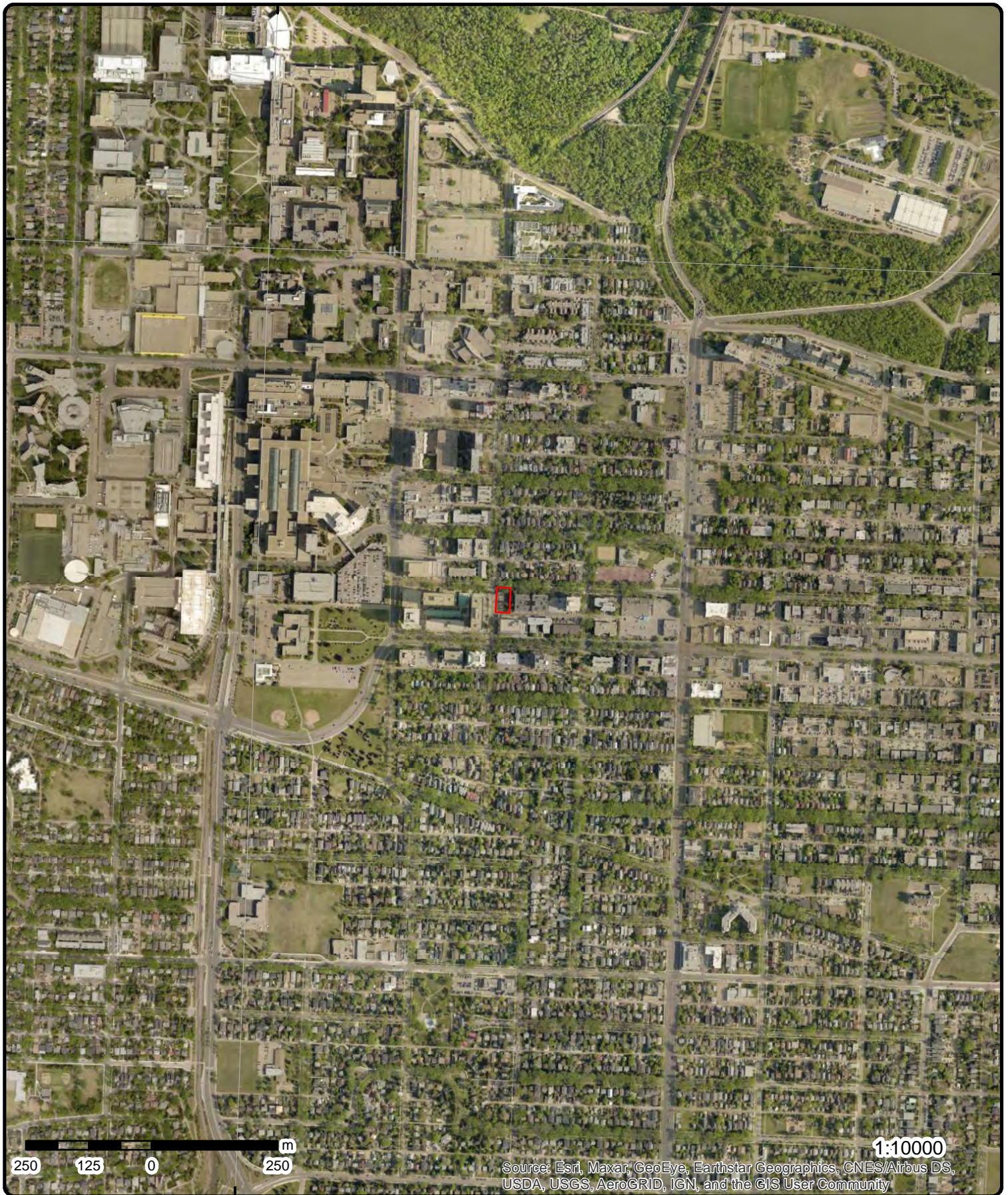
<span style="border: 1px solid red; display: inline-block; width: 15px; height: 10px;"></span> Project Property	<span style="border-bottom: 2px solid black; width: 20px; display: inline-block;"></span> Expressway	<span style="border-bottom: 2px solid black; width: 20px; display: inline-block;"></span> Industrial and Resource - Regions	<span style="background-color: #808000; width: 20px; height: 10px; display: inline-block;"></span> National Park
<span style="border: 2px dashed purple; display: inline-block; width: 15px; height: 10px;"></span> Buffer Outline	<span style="border-bottom: 2px solid red; width: 20px; display: inline-block;"></span> Principal Highway	<span style="border-bottom: 2px solid black; width: 20px; display: inline-block;"></span> Main Line	<span style="background-color: #6b8e23; width: 20px; height: 10px; display: inline-block;"></span> Provincial or Territorial Park
<span style="color: yellow;">▲</span> Eris Sites with Higher Elevation	<span style="border-bottom: 2px solid orange; width: 20px; display: inline-block;"></span> Secondary Highway	<span style="border-bottom: 2px solid black; width: 20px; display: inline-block;"></span> Sidetrack	<span style="background-color: #4caf50; width: 20px; height: 10px; display: inline-block;"></span> Other Park
<span style="color: orange;">■</span> Eris Sites with Same Elevation	<span style="border-bottom: 2px solid black; width: 20px; display: inline-block;"></span> Major Road	<span style="color: blue;">—</span> Transit Line	<span style="background-color: #2e7d32; width: 20px; height: 10px; display: inline-block;"></span> Golf Course or Driving Range
<span style="color: orange;">▼</span> Eris Sites with Lower Elevation	<span style="border-bottom: 2px solid gray; width: 20px; display: inline-block;"></span> Local road	<span style="color: gray;">—</span> Abandoned Line	<span style="background-color: #4f7942; width: 20px; height: 10px; display: inline-block;"></span> Park or Sports Field
<span style="color: white;">○</span> Eris Sites with Unknown Elevation	<span style="border-bottom: 2px solid green; width: 20px; display: inline-block;"></span> Trail		<span style="background-color: #8bc34a; width: 20px; height: 10px; display: inline-block;"></span> Other Recreation Area
	<span style="border-bottom: 2px solid gray; width: 20px; display: inline-block;"></span> Proposed Road		
	<span style="border-bottom: 2px dashed gray; width: 20px; display: inline-block;"></span> Ferry Route/Ice Road		



113°31'30"W

53°31'30"N

53°31'30"N



**Aerial** Year: 2019

**Address: 11053/11049 - 83 Avenue Northwest, Edmonton, AB**

Source: ESRI World Imagery

Order Number: 21021700453



© Eris Information Limited Partnership



113°33'W

113°31'30"W

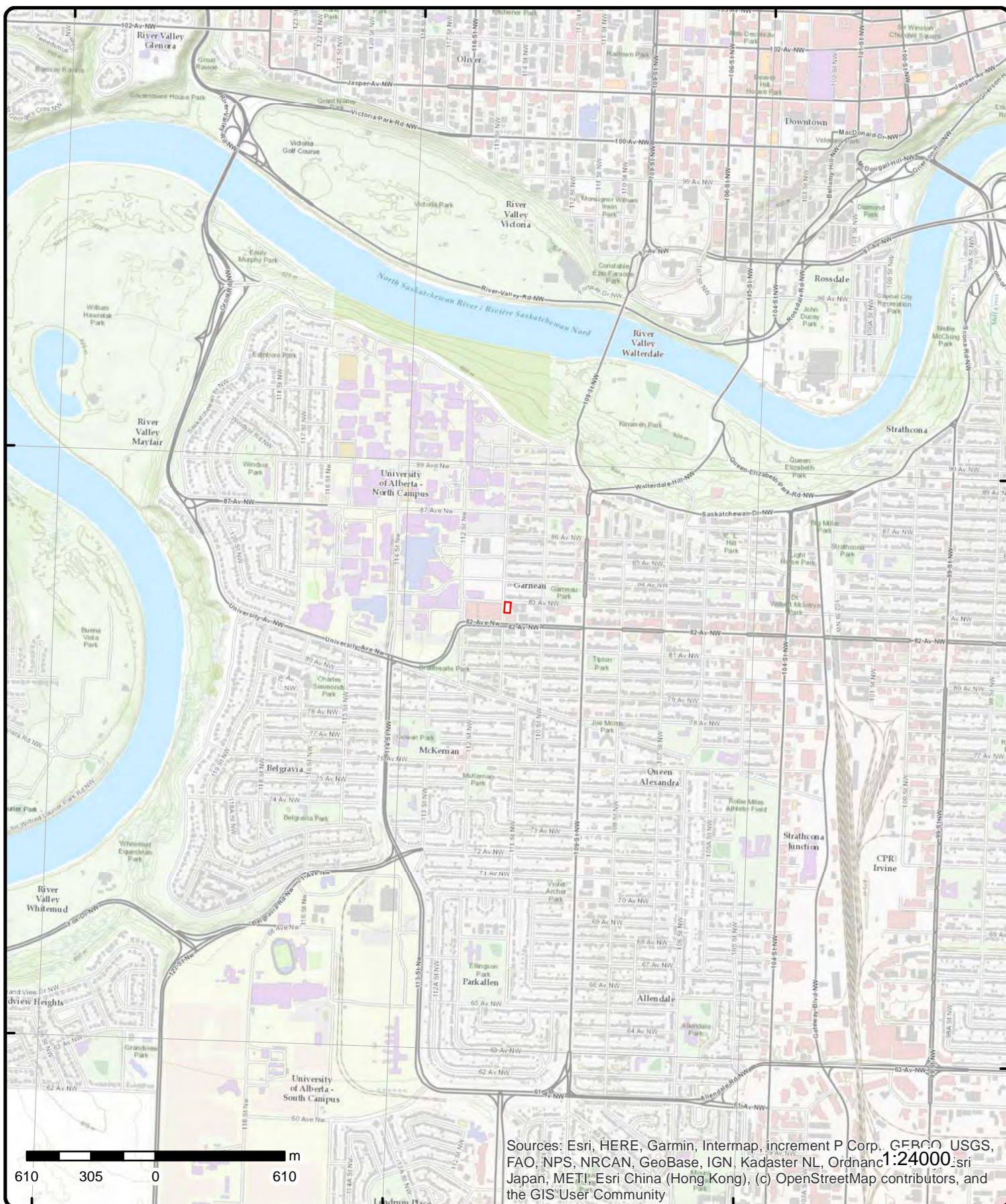
113°30'W

53°31'30"N

53°30'N

53°31'30"N

53°30'N



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

# Topographic Map

Address: 11053/11049 - 83 Avenue Northwest, AB

Source: ESRI World Topographic Map

Order Number: 21021700453



© ERIS Information Limited Partnership

# Detail Report

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<a href="#">1</a>	1 of 4	SW/0.0	671.3 / -0.69	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	EHS
<b>Order No:</b> 20200122145 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 27-JAN-20 <b>Date Received:</b> 22-JAN-20 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>		<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.517603 <b>Y:</b> 53.518762			
<a href="#">1</a>	2 of 4	SW/0.0	671.3 / -0.69	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	EHS
<b>Order No:</b> 20200122145 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 27-JAN-20 <b>Date Received:</b> 22-JAN-20 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>		<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.517603 <b>Y:</b> 53.518762			
<a href="#">1</a>	3 of 4	SW/0.0	671.3 / -0.69	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	EHS
<b>Order No:</b> 20200122145 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 27-JAN-20 <b>Date Received:</b> 22-JAN-20 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>		<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.517603 <b>Y:</b> 53.518762			
<a href="#">1</a>	4 of 4	SW/0.0	671.3 / -0.69	11049 & 11053 83 Avenue Northwest Edmonton AB T6G 0T8	EHS
<b>Order No:</b> 20200122145 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 27-JAN-20 <b>Date Received:</b> 22-JAN-20 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>		<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.517603 <b>Y:</b> 53.518762			



Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<a href="#"><u>2</u></a>	1 of 1	SE/19.7	672.0 / 0.00	11044 82 Ave Nw Edmonton AB T6G0T2	EHS
<b>Order No:</b> 20150423030 <b>Status:</b> C <b>Report Type:</b> Standard Select Report <b>Report Date:</b> 29-APR-15 <b>Date Received:</b> 23-APR-15 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>		<b>Nearest Intersection:</b> <b>Municipality:</b> Edmonton <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.517199 <b>Y:</b> 53.518482			
<a href="#"><u>3</u></a>	1 of 2	SSE/31.5	672.0 / 0.00	EPCOR ENERGY 11044 82 AVE EDMONTON AB	GEN
<b>Approval No:</b> <b>Record ID:</b> 1448 <b>Approval Year:</b> 2005		<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>			
<b>--Details--</b>					
<b>Material Code:</b> 9.10 <b>Material Description:</b> Unclassified Dangerous Substance/Product					
<a href="#"><u>3</u></a>	2 of 2	SSE/31.5	672.0 / 0.00	11044 - 82 Avenue Edmonton AB	EHS
<b>Order No:</b> 20070223026 <b>Status:</b> C <b>Report Type:</b> CAN - Custom Report <b>Report Date:</b> 3/6/2007 <b>Date Received:</b> 2/23/2007 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> Site: 0.6 acres <b>Additional Info Ordered:</b>		<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> <b>Search Radius (km):</b> 0.25 <b>X:</b> -113.517296 <b>Y:</b> 53.518447			
<a href="#"><u>4</u></a>	1 of 2	WSW/37.6	671.0 / -1.00	WESTCORP 100 8210 111 ST EDMONTON AB	GEN
<b>Approval No:</b> <b>Record ID:</b> 1772 <b>Approval Year:</b> 2001		<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>			
<b>--Details--</b>					
<b>Material Code:</b> 9.1 <b>Material Description:</b> Unclassified Dangerous Substance/Product					
<a href="#"><u>4</u></a>	2 of 2	WSW/37.6	671.0 / -1.00	WESTCORP 100 8210 111 ST EDMONTON AB	GEN
<b>Approval No:</b> <b>Record ID:</b> 1878 <b>Approval Year:</b> 2002		<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>--Details--</b>					
<b>Material Code:</b>		9.10			
<b>Material Description:</b>		Unclassified Dangerous Substance/Product			
<a href="#"><u>5</u></a>	1 of 4	ESE/66.6	672.0 / 0.00	11024 82 Avenue NW Edmonton AB T6G 0T2	EHS
<b>Order No:</b>		20200122076		<b>Nearest Intersection:</b>	
<b>Status:</b>		C		<b>Municipality:</b>	
<b>Report Type:</b>		Standard Report		<b>Client Prov/State:</b>	
<b>Report Date:</b>		27-JAN-20		<b>Search Radius (km):</b>	
<b>Date Received:</b>		22-JAN-20		<b>X:</b>	
<b>Previous Site Name:</b>				<b>Y:</b>	
<b>Lot/Building Size:</b>					
<b>Additional Info Ordered:</b>					
<a href="#"><u>5</u></a>	2 of 4	ESE/66.6	672.0 / 0.00	11024 82 Avenue NW Edmonton AB T6G 0T2	EHS
<b>Order No:</b>		20200122076		<b>Nearest Intersection:</b>	
<b>Status:</b>		C		<b>Municipality:</b>	
<b>Report Type:</b>		Standard Report		<b>Client Prov/State:</b>	
<b>Report Date:</b>		27-JAN-20		<b>Search Radius (km):</b>	
<b>Date Received:</b>		22-JAN-20		<b>X:</b>	
<b>Previous Site Name:</b>				<b>Y:</b>	
<b>Lot/Building Size:</b>					
<b>Additional Info Ordered:</b>					
<a href="#"><u>5</u></a>	3 of 4	ESE/66.6	672.0 / 0.00	11024 82 Avenue NW Edmonton AB T6G 0T2	EHS
<b>Order No:</b>		20200122076		<b>Nearest Intersection:</b>	
<b>Status:</b>		C		<b>Municipality:</b>	
<b>Report Type:</b>		Standard Report		<b>Client Prov/State:</b>	
<b>Report Date:</b>		27-JAN-20		<b>Search Radius (km):</b>	
<b>Date Received:</b>		22-JAN-20		<b>X:</b>	
<b>Previous Site Name:</b>				<b>Y:</b>	
<b>Lot/Building Size:</b>					
<b>Additional Info Ordered:</b>					
<a href="#"><u>5</u></a>	4 of 4	ESE/66.6	672.0 / 0.00	11024 82 Avenue NW Edmonton AB T6G 0T2	EHS
<b>Order No:</b>		20200122076		<b>Nearest Intersection:</b>	
<b>Status:</b>		C		<b>Municipality:</b>	
<b>Report Type:</b>		Standard Report		<b>Client Prov/State:</b>	
<b>Report Date:</b>		27-JAN-20		<b>Search Radius (km):</b>	
<b>Date Received:</b>		22-JAN-20		<b>X:</b>	
<b>Previous Site Name:</b>				<b>Y:</b>	
<b>Lot/Building Size:</b>					
<b>Additional Info Ordered:</b>					
<a href="#"><u>6</u></a>	1 of 1	W/103.1	671.0 / -1.00	11135 83 Ave Nw Edmonton AB T6G2C6	EHS
<b>Order No:</b>		20140620035		<b>Nearest Intersection:</b>	
<b>Status:</b>		C		<b>Municipality:</b>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Report Type:</b> Standard Select Report <b>Report Date:</b> 26-JUN-14 <b>Date Received:</b> 20-JUN-14 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>					
<b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.519305 <b>Y:</b> 53.518668					
<u>7</u>	1 of 1	SW/124.0	671.0 / -1.00	11121 82 Ave NW Edmonton AB T6G0T4	EHS
<b>Order No:</b> 20171102224 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 08-NOV-17 <b>Date Received:</b> 02-NOV-17 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>					
<b>Nearest Intersection:</b> <b>Municipality:</b> EDMONTON <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.518944 <b>Y:</b> 53.517792					
<u>8</u>	1 of 3	E/172.1	672.0 / 0.00	KNOX MET MANOR 10941-83 AVE. EDMONTON (A) AB	FST
<b>Site No:</b> 6234 <b>Tank No:</b> 1 <b>No of Tanks:</b> <b>Tank Type:</b> <b>Tank Status:</b> <b>Site Status:</b> <b>Date Last Used:</b> <b>UST/AST:</b> <b>Contents:</b> <b>Other Contents:</b> <b>Capacity:</b> <b>Other Capacity:</b> <b>UST Secondary:</b> <b>AST Secondary:</b> <b>Overfill Prevention:</b> <b>Class:</b> <b>LLD:</b> <b>Spill Containment:</b> <b>Tank Status by Site Name:</b> <b>Owner Address:</b>					
<b>Dt Form Rcvd:</b> 1998/08/31 <b>Date Removed:</b> 199810 <b>Removal Reason:</b> No Longer Required <b>Located 200m:</b> NO <b>Located 500m:</b> NO <b>DLS Coord:</b> <b>Lot:</b> 19 <b>Block:</b> 143 <b>Plan:</b> 6345U <b>Municipality:</b> <b>Postal:</b> <b>Facility 1:</b> <b>Facility 2:</b> <b>Facility 3:</b> <b>Facility 4:</b> Commercial / Industrial					
<u>8</u>	2 of 3	E/172.1	672.0 / 0.00	KNOX MET MANOR Edmonton 10941 83 AVE Edmonton AB	ESAR
<b>ESA ID:</b> 1337854 <b>ESRD File:</b> 00141895 <b>File Classification:</b> PST <b>Name:</b> KNOX MET MANOR <b>Map Link:</b> <a href="http://www.esar.alberta.ca/esarmap.aspx?esaid=1337854">http://www.esar.alberta.ca/esarmap.aspx?esaid=1337854</a> <b>ESAR Link:</b> <a href="http://www.esar.alberta.ca/esarmain.aspx?esaid=00141895">http://www.esar.alberta.ca/esarmain.aspx?esaid=00141895</a>					
<b>LLD:</b> 6345U;143;19,20 <b>LINC:</b> 0016238454 <b>10tm Point Coord:</b> 98436,5928639 <b>Extracted Dnld Dt:</b> 2020-Sep-03					

#### Document Detail

**Doc Desc:** SITE SENSITIVITY ASSESSMENT  
**Doc Date:** 4/1/1998

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Document Detail</b>					
<b>Doc Desc:</b>		UNDERGROUND STORAGE TANK REMOVAL			
<b>Doc Date:</b>		3/1/1999			
<a href="#"><u>8</u></a>	3 of 3	E/172.1	672.0 / 0.00	KNOX MET MANOR 10941-83 AVE. EDMONTON (A) AB	FST
<b>Site No:</b> 6234 <b>Tank No:</b> <b>No of Tanks:</b> <b>Tank Type:</b> <b>Tank Status:</b> <b>Site Status:</b> <b>Date Last Used:</b> <b>UST/AST:</b> <b>Contents:</b> <b>Other Contents:</b> <b>Capacity:</b> <b>Other Capacity:</b> <b>UST Secondary:</b> <b>AST Secondary:</b> <b>Overfill Prevention:</b> <b>Class:</b> <b>LLD:</b> <b>Spill Containment:</b> <b>Tank Status by Site Name:</b> <b>Owner Address:</b>		<b>Dt Form Rcvd:</b> <b>Date Removed:</b> <b>Removal Reason:</b> <b>Located 200m:</b> <b>Located 500m:</b> <b>DLS Coord:</b> <b>Lot:</b> 19 <b>Block:</b> 143 <b>Plan:</b> 6345U <b>Municipality:</b> EDMONTON (A) <b>Postal:</b> <b>Facility 1:</b> <b>Facility 2:</b> <b>Facility 3:</b> <b>Facility 4:</b>			
<a href="#"><u>9</u></a>	1 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES LEGISLATURE BLDG 8210 - 112 Street, 19th Floor Edmonton AB AB	GEN
<b>Approval No:</b> ABG03669 <b>Record ID:</b> <b>Approval Year:</b> 1993-1998		<b>DLS:</b> <b>Phone:</b> (403)468-4820 <b>Contact:</b> Ross Stetson			
<a href="#"><u>9</u></a>	2 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES LEGISLATURE BLDG 4 floor, 8215 - 112 Street Edmonton AB T6G AB T6G 2C8	GEN
<b>Approval No:</b> ABG03875 <b>Record ID:</b> <b>Approval Year:</b> 1993-1998		<b>DLS:</b> <b>Phone:</b> (403)427-6024 <b>Contact:</b> Dale Barrow			
<a href="#"><u>9</u></a>	3 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES LEGISLATURE BLDG 10th floor, 8215 - 112 Street Edmonton AB AB T6G 2C8	GEN
<b>Approval No:</b> ABG04231 <b>Record ID:</b> <b>Approval Year:</b> 1993-1998		<b>DLS:</b> <b>Phone:</b> (403)427-3866 <b>Contact:</b> Ken Kimuka			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<a href="#">9</a>	4 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES LEGISLATURE BLDG c/o8215-112StCollePI Edmonton AB T6G 5A9 AB	GEN
Approval No:	ABG04244			DLS:	
Record ID:				Phone:	(403)422-2526
Approval Year:	1993-1998			Contact:	Ken McNeil
<a href="#">9</a>	5 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES LEGISLATURE BLDG 10th floor, 8215 - 112 Street Edmonton AB AB T6G 2C8	GEN
Approval No:	ABG04257			DLS:	
Record ID:				Phone:	(403)427-3866
Approval Year:	1993-1998			Contact:	Fred Storry
<a href="#">9</a>	6 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES LEGISLATURE BLDG 10th Floor, 8215 - 112 Avenue Edmonton AB AB T6G 2C8	GEN
Approval No:	ABG04485			DLS:	
Record ID:				Phone:	(403)427-5211
Approval Year:	1993-1998			Contact:	T6G 5A9
<a href="#">9</a>	7 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICES LEGISLATURE BLDG 1518 8215 112 ST Edmonton AB T6G 5A9 AB T6G 2C8	GEN
Approval No:	ABG04836			DLS:	
Record ID:				Phone:	(403)423-4777
Approval Year:	1993-1998			Contact:	Hubert Bourque
<a href="#">9</a>	8 of 25	W/172.5	672.0 / 0.00	PUBLIC WORKS, SUPPLY AND SERVICES, PEACE RIVER 14th Fl., 8215-112 St. Edmonton AB T6G 5A9 AB	GEN
Approval No:	ABG04537			DLS:	
Record ID:				Phone:	(403)422-7472
Approval Year:	1993-1998			Contact:	Tim Leung
<a href="#">9</a>	9 of 25	W/172.5	672.0 / 0.00	PUBLIC WORKS, SUPPLY AND SERVICES, RED DEER MICHENER CENTRE 17 floor, 8215 - 112 Street Edmonton AB T6G AB T6G 2C8	GEN
Approval No:	ABG04493			DLS:	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Record ID:				Phone:	(403)427-3856
Approval Year:				Contact:	Orest Kuszka
<a href="#">9</a>	10 of 25	W/172.5	672.0 / 0.00	ALBERTA PUBLIC WORKS, SUPPLY AND SERVICE 14th Floor, College Plaza 8215 - 112 Street Edmonton AB T6G 5A9	NPCB
Company Code:		T0007			
Industry:		Government (not Fed)			
Site Status:					
Transaction Date:		2/14/1996			
Inspection Date:					
--Details--					
Label:					
Serial No.:					
PCB Type/Code:		askarel			
Location:					
Item/State:					
No. of Items:					
Manufacturer:					
Status:		in-use			
Contents:		100.00 L			
Label:					
Serial No.:					
PCB Type/Code:		askarel			
Location:					
Item/State:					
No. of Items:					
Manufacturer:					
Status:		in-use			
Contents:		727.40 L			
Label:					
Serial No.:					
PCB Type/Code:		askarel			
Location:					
Item/State:					
No. of Items:					
Manufacturer:					
Status:		in-use			
Contents:		768.30 L			
Label:					
Serial No.:					
PCB Type/Code:		askarel			
Location:					
Item/State:					
No. of Items:					
Manufacturer:					
Status:		in-use			
Contents:		900.10 L			
Label:					
Serial No.:					
PCB Type/Code:		askarel			
Location:					
Item/State:					
No. of Items:					
Manufacturer:					
Status:		in-use			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Contents:</b>		954.70 L			
<b>Label:</b>					
<b>Serial No.:</b>					
<b>PCB Type/Code:</b>		askarel			
<b>Location:</b>					
<b>Item/State:</b>					
<b>No. of Items:</b>					
<b>Manufacturer:</b>					
<b>Status:</b>		in-use			
<b>Contents:</b>		1100.00 L			
<a href="#"><u>9</u></a>	11 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100, 8215 112 ST NW Edmonton AB T6G 2C8	GEN
<b>Approval No:</b>		ABG10632		<b>DLS:</b>	
<b>Record ID:</b>		887		<b>Phone:</b>	
<b>Approval Year:</b>		1999		<b>Contact:</b>	
<b>--Details--</b>					
<b>Material Code:</b>		UN2315			
<b>Material Description:</b>		Polychlorinated Biphenyls/PCB			
<a href="#"><u>9</u></a>	12 of 25	W/172.5	672.0 / 0.00	WESTCORP 2100 COLLEGE PLAZA 8215 112 ST EDMONTON AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>		2089		<b>Phone:</b>	
<b>Approval Year:</b>		2003		<b>Contact:</b>	
<b>--Details--</b>					
<b>Material Code:</b>		9.10			
<b>Material Description:</b>		Unclassified Dangerous Substance/Product			
<a href="#"><u>9</u></a>	13 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100 8215 112 ST NW Edmonton AB T6G 2C8	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>				<b>Phone:</b>	(780) 431-3340
<b>Approval Year:</b>		2007/2008		<b>Contact:</b>	Gwen Russell
<a href="#"><u>9</u></a>	14 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>				<b>Phone:</b>	(780)431-3340
<b>Approval Year:</b>		2008/2009		<b>Contact:</b>	Gwen Russell
<a href="#"><u>9</u></a>	15 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	GEN

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> 2009					
<b>DLS:</b> <b>Phone:</b> (780)431-3340 <b>Contact:</b> Gwen Russell					
<a href="#">9</a>	16 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> 2010					
<b>DLS:</b> <b>Phone:</b> (780)431-3340 <b>Contact:</b> Gwen Russell					
<a href="#">9</a>	17 of 25	W/172.5	672.0 / 0.00	WESTCORP INC. (EXMEPT) #200 8215-112 STR. EDMONTON (A) AB	FST
<b>Site No:</b> 8117 <b>Tank No:</b> 1 <b>No of Tanks:</b> <b>Tank Type:</b> Aboveground <b>Tank Status:</b> Currently in service <b>Site Status:</b> <b>Date Last Used:</b> <b>UST/AST:</b> <b>Contents:</b> Diesel <b>Other Contents:</b> <b>Capacity:</b> Other - specify in liters <b>Other Capacity:</b> 2,273 litres <b>UST Secondary:</b> <b>AST Secondary:</b> Steel <b>Overfill Prevention:</b> Fixed Suction Tube On Used Oil Tanks <b>Class:</b> <b>LLD:</b> <b>Spill Containment:</b> <b>Tank Status by Site Name:</b> <b>Owner Address:</b>					
<b>Dt Form Rcvd:</b> 2009/12/24 <b>Date Removed:</b> <b>Removal Reason:</b> <b>Located 200m:</b> NO <b>Located 500m:</b> NO <b>DLS Coord:</b> <b>Lot:</b> 1A-3A <b>Block:</b> 158 <b>Plan:</b> 5384RS <b>Municipality:</b> <b>Postal:</b> <b>Facility 1:</b> <b>Facility 2:</b> <b>Facility 3:</b> <b>Facility 4:</b> Commercial / Industrial					
<a href="#">9</a>	18 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b>					
<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>					
<a href="#">9</a>	19 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100, 8215 112 ST NW Edmonton AB T6G 2C8 AB	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> May 2011-Apr 2012					
<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>					
<a href="#">9</a>	20 of 25	W/172.5	672.0 / 0.00	Westcorp Inc. 2100, 8215 112 ST NW Edmonton AB	GEN



Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> May 2012- Jan 2013				<b>DLS:</b> <b>Phone:</b> 780-431-3340 <b>Contact:</b> Gwen Russell	
<a href="#">9</a>	21 of 25	W/172.5	672.0 / 0.00	<b>Westcorp Inc.</b> <b>2100, 8215 112 ST NW</b> <b>Edmonton AB T6G 2C8</b>	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> Feb 2013 - Sep 2013				<b>DLS:</b> <b>Phone:</b> 780-431-3340 <b>Contact:</b> Gwen Russell	
<a href="#">9</a>	22 of 25	W/172.5	672.0 / 0.00	<b>Westcorp Inc.</b> <b>2100, 8215 112 ST NW Edmonton AB T6G 2C8</b> <b>AB</b>	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> Feb 2015				<b>DLS:</b> <b>Phone:</b> 780-431-3340 <b>Contact:</b> Gwen Russell	
<a href="#">9</a>	23 of 25	W/172.5	672.0 / 0.00	<b>Westcorp Inc.</b> <b>2100, 8215 112 ST NW Edmonton AB T6G 2C8</b> <b>AB</b>	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> Jan 2016				<b>DLS:</b> <b>Phone:</b> 780-431-3340 <b>Contact:</b> Gwen Russell	
<a href="#">9</a>	24 of 25	W/172.5	672.0 / 0.00	<b>WESTCORP INC. (EXMEPT)</b> <b>200 8215-112 STR.</b> <b>EDMONTON (A) AB T6G2C8</b>	FST
<b>Site No:</b> 8117 <b>Tank No:</b> <b>No of Tanks:</b> <b>Tank Type:</b> <b>Tank Status:</b> <b>Site Status:</b> <b>Date Last Used:</b> <b>UST/AST:</b> <b>Contents:</b> <b>Other Contents:</b> <b>Capacity:</b> <b>Other Capacity:</b> <b>UST Secondary:</b> <b>AST Secondary:</b> <b>Overfill Prevention:</b> <b>Class:</b> <b>LLD:</b> <b>Spill Containment:</b> <b>Tank Status by Site Name:</b> <b>Owner Address:</b>				<b>Dt Form Rcvd:</b> <b>Date Removed:</b> <b>Removal Reason:</b> <b>Located 200m:</b> <b>Located 500m:</b> <b>DLS Coord:</b> <b>Lot:</b> 1A-3A <b>Block:</b> 158 <b>Plan:</b> 5384RS <b>Municipality:</b> EDMONTON (A) <b>Postal:</b> T6G2C8 <b>Facility 1:</b> <b>Facility 2:</b> <b>Facility 3:</b> <b>Facility 4:</b>	
<a href="#">9</a>	25 of 25	W/172.5	672.0 / 0.00	<b>Westcorp Inc.</b> <b>2100, 8215 112 ST NW Edmonton AB T6G 2C8</b> <b>AB</b>	GEN
<b>Approval No:</b>				<b>DLS:</b>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
Record ID:			Phone:		
Approval Year:			Contact:		
Dec 2016; Apr 2017; Aug 2018			Gwen Russell		
<a href="#">10</a>	1 of 1	WSW/187.3	672.0 / 0.00	11147 - 82 Avenue Edmonton AB T6G 0T3	EHS
Order No:		20120201029		Nearest Intersection:	
Status:		C		Municipality:	
Report Type:		Custom Report		Edmonton	
Report Date:		2/7/2012 7:14:26 PM		Client Prov/State:	
Date Received:		2/1/2012 7:12:29 PM		AB	
Previous Site Name:				Search Radius (km):	
Lot/Building Size:				0.25	
Additional Info Ordered:				X:	
				-113.520294	
				Y:	
				53.517918	
<a href="#">11</a>	1 of 1	WSW/190.9	672.0 / 0.00	11147 82 Ave Nw Edmonton AB T6G0T5	EHS
Order No:		20160422130		Nearest Intersection:	
Status:		C		Municipality:	
Report Type:		Standard Report		Edmonton	
Report Date:		29-APR-16		Client Prov/State:	
Date Received:		22-APR-16		AB	
Previous Site Name:				Search Radius (km):	
Lot/Building Size:				.25	
Additional Info Ordered:				X:	
				-113.520254	
				Y:	
				53.517804	
<a href="#">12</a>	1 of 2	N/265.2	675.1 / 3.08	8510 111 Street Edmonton AB T6G 1H7	EHS
Order No:		20080505032		Nearest Intersection:	
Status:		C		85 Ave and 111 St	
Report Type:		Complete Report		Municipality:	
Report Date:		5/14/2008		Edmonton	
Date Received:		5/5/2008		Client Prov/State:	
Previous Site Name:				AB	
Lot/Building Size:		Apartment complex, >10 stories		Search Radius (km):	
Additional Info Ordered:				0.25	
				X:	
				-113.518061	
				Y:	
				53.521471	
<a href="#">12</a>	2 of 2	N/265.2	675.1 / 3.08	8510 111th STREET NW EDMONTON AB	EHS
Order No:		20101021043		Nearest Intersection:	
Status:		C		111TH STREET & 85 AVE. NW	
Report Type:		Standard Report		Municipality:	
Report Date:		11/1/2010		ON	
Date Received:		10/21/2010 3:35:33 PM		Client Prov/State:	
Previous Site Name:				0.25	
Lot/Building Size:				Search Radius (km):	
Additional Info Ordered:				X:	
				-113.517972	
				Y:	
				53.521474	
<a href="#">13</a>	1 of 1	NNW/268.1	675.0 / 3.00	8510 111 St Nw Edmonton AB	EHS
Order No:		20121210013		Nearest Intersection:	
Status:		C		Municipality:	
Report Type:		Standard Report		ON	
				Client Prov/State:	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Report Date:</b> 13-DEC-12 <b>Date Received:</b> 10-DEC-12 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>					
<b>Search Radius (km):</b> .25 <b>X:</b> -113.518642 <b>Y:</b> 53.521443					
<a href="#">14</a>	1 of 3	NNW/269.2	675.0 / 3.00	8510 111 Street Northwest Edmonton AB T6G 1H7	EHS
<b>Order No:</b> 20200617070 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 22-JUN-20 <b>Date Received:</b> 17-JUN-20 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>					
<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.51851 <b>Y:</b> 53.5214693					
<a href="#">14</a>	2 of 3	NNW/269.2	675.0 / 3.00	8510 111 Street Northwest Edmonton AB T6G 1H7	EHS
<b>Order No:</b> 20200617070 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 22-JUN-20 <b>Date Received:</b> 17-JUN-20 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>					
<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.51851 <b>Y:</b> 53.5214693					
<a href="#">14</a>	3 of 3	NNW/269.2	675.0 / 3.00	8510 111 Street Northwest Edmonton AB T6G 1H7	EHS
<b>Order No:</b> 20200617070 <b>Status:</b> C <b>Report Type:</b> Standard Report <b>Report Date:</b> 22-JUN-20 <b>Date Received:</b> 17-JUN-20 <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>					
<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> AB <b>Search Radius (km):</b> .25 <b>X:</b> -113.51851 <b>Y:</b> 53.5214693					
<a href="#">15</a>	1 of 1	W/276.1	672.8 / 0.80	EDMONTON BLOOD TRANSFUSION BUILDING Edmonton 83 AVE 114 ST Edmonton AB	ESAR
<b>ESA ID:</b> 1340735 <b>ESRD File:</b> 00078094 <b>File Classification:</b> PST <b>Name:</b> EDMONTON BLOOD TRANSFUSION BUILDING <b>Map Link:</b> <a href="http://www.esar.alberta.ca/esarmap.aspx?esaid=1340735">http://www.esar.alberta.ca/esarmap.aspx?esaid=1340735</a> <b>ESAR Link:</b> <a href="http://www.esar.alberta.ca/esarmain.aspx?esaid=00078094">http://www.esar.alberta.ca/esarmain.aspx?esaid=00078094</a>					
<b>LLD:</b> 1677TR;A <b>LINC:</b> 0014475439 <b>10tm Point Coord:</b> 97960,5928657 <b>Extracted Dnld Dt:</b> 2020-Sep-03					
<b>Document Detail</b>					
<b>Doc Desc:</b> CORRESPONDENCE <b>Doc Date:</b> 11/1/2005					

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<u>Document Detail</u>					
Doc Desc:		ENVIRONMENTAL ASSESSMENT			
Doc Date:		6/1/1990			
<a href="#">16</a>	1 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITAL 8440 - 112 Street Edmonton AB T6G 2B7 AB	GEN
Approval No:		ABG01017		DLS:	
Record ID:				Phone: (403)492-8805	
Approval Year:		1993-1998		Contact: Len Seredynski	
<a href="#">16</a>	2 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITAL 8440 - 112 Street Edmonton AB T6G 2B7 AB	GEN
Approval No:		ABG01017		DLS:	
Record ID:				Phone: (403)492-9751	
Approval Year:		1993-1998		Contact: Glen Baron	
<a href="#">16</a>	3 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITAL 8440 - 112 Street Edmonton AB T6G 2B7 AB	REC
Approval No:		ABR01054		Phone: (403)492-8471	
Approval Year:		1993-1998		Contact: Ki Lam	
<a href="#">16</a>	4 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7	GEN
Approval No:		ABG01017		DLS:	
Record ID:		8		Phone:	
Approval Year:		1999		Contact:	
<u>--Details--</u>					
Material Code:		UN1479			
Material Description:		Oxidizing Substances, n.o.s. (Liquid or Solid)			
Material Code:		UN1760			
Material Description:		Corrosive Liquids, n.o.s.			
Material Code:		UN1950			
Material Description:		Aerosols			
Material Code:		UN1993			
Material Description:		Flammable Liquids, n.o.s.			
Material Code:		UN2030			
Material Description:		Hydrazine hydrate or Hydrazine, aqueous			
Material Code:		UN2315			
Material Description:		Polychlorinated Biphenyls/PCB			
Material Code:		UN2810			
Material Description:		Poisonous Liquids, n.o.s.			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<hr/>					
<b>Material Code:</b>		UN2813			
<b>Material Description:</b>		Sub.which in contact with water emit fla			
<b>Material Code:</b>		UN3139			
<b>Material Description:</b>		Oxidizing liquid, n.o.s.			
<b>Material Code:</b>		UN2809			
<b>Material Description:</b>		Mercury			
<b>Material Code:</b>		NA9500			
<b>Material Description:</b>		Leachable Toxic Waste			
<b>Material Code:</b>		UN1325			
<b>Material Description:</b>		Flammable Solids, n.o.s.			
<hr/>					
<a href="#"><u>16</u></a>	5 of 33	WNW/299.5	673.0 / 1.00	Capital Health Region 8440 112 ST Edmonton AB T6G 2B7	GEN
<b>Approval No:</b>	ABG03583			<b>DLS:</b>	
<b>Record ID:</b>	115			<b>Phone:</b>	
<b>Approval Year:</b>	1999			<b>Contact:</b>	
<hr/>					
<b>--Details--</b>					
<b>Material Code:</b>		UN2803			
<b>Material Description:</b>		Gallium			
<b>Material Code:</b>		UN2810			
<b>Material Description:</b>		Poisonous Liquids, n.o.s.			
<b>Material Code:</b>		UN2813			
<b>Material Description:</b>		Sub.which in contact with water emit fla			
<b>Material Code:</b>		UN3082			
<b>Material Description:</b>		Environmentally Hazardous sub., liquid			
<b>Material Code:</b>		UN3139			
<b>Material Description:</b>		Oxidizing liquid, n.o.s.			
<b>Material Code:</b>		UN1760			
<b>Material Description:</b>		Corrosive Liquids, n.o.s.			
<b>Material Code:</b>		UN1993			
<b>Material Description:</b>		Flammable Liquids, n.o.s.			
<hr/>					
<a href="#"><u>16</u></a>	6 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7	GEN
<b>Approval No:</b>	ABG01017			<b>DLS:</b>	
<b>Record ID:</b>	830			<b>Phone:</b>	
<b>Approval Year:</b>	2000			<b>Contact:</b>	
<hr/>					
<b>--Details--</b>					
<b>Material Code:</b>		NA9500			
<b>Material Description:</b>		Leachable Toxic Waste			
<b>Material Code:</b>		PCBCAPS			
<b>Material Description:</b>		Polychlorinated Biphenyls/PCB Capacitors			

<b>Map Key</b>	<b>Number of Records</b>	<b>Direction/ Distance (m)</b>	<b>Elev/Diff (m)</b>	<b>Site</b>	<b>DB</b>
<b>Material Code:</b>		UN1325			
<b>Material Description:</b>		Flammable Solids, n.o.s.			
<b>Material Code:</b>		UN1479			
<b>Material Description:</b>		Oxidizing Substances, n.o.s. (Liquid or Solid)			
<b>Material Code:</b>		UN1760			
<b>Material Description:</b>		Corrosive Liquids, n.o.s.			
<b>Material Code:</b>		UN1950			
<b>Material Description:</b>		Aerosols			
<b>Material Code:</b>		UN1956			
<b>Material Description:</b>		Compressed or liquified Gases, nos			
<b>Material Code:</b>		UN1993			
<b>Material Description:</b>		Flammable Liquids, n.o.s.			
<b>Material Code:</b>		UN2794			
<b>Material Description:</b>		Batteries, wet, filled with acid, electri			
<b>Material Code:</b>		UN2809			
<b>Material Description:</b>		Mercury			
<b>Material Code:</b>		UN2810			
<b>Material Description:</b>		Poisonous Liquids, n.o.s.			
<b>Material Code:</b>		UN2811			
<b>Material Description:</b>		Poisonous Solids, n.o.s.			
<b>Material Code:</b>		UN3104			
<b>Material Description:</b>		Organic peroxide type C, solid			
<b>Material Code:</b>		UN3139			
<b>Material Description:</b>		Oxidizing liquid, n.o.s.			

<b>16</b>	<b>7 of 33</b>	<b>WNW/299.5</b>	<b>673.0 / 1.00</b>	<b>UNIVERSITY OF ALBERTA HOSPITAL 8440 112 ST EDMONTON AB</b>	<b>GEN</b>
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>	1688			<b>Phone:</b>	
<b>Approval Year:</b>	2001			<b>Contact:</b>	
<b>--Details--</b>					
<b>Material Code:</b>		2.4			
<b>Material Description:</b>		Corrosive Gas			
<b>Material Code:</b>		3			
<b>Material Description:</b>		Flammable Liquids			
<b>Material Code:</b>		4.1			
<b>Material Description:</b>		Readily Ignitable			
<b>Material Code:</b>		4.3			
<b>Material Description:</b>		Emits Flammable Gases with Water Contact			
<b>Material Code:</b>		5.1			
<b>Material Description:</b>		Contributes to Combustion			
<b>Material Code:</b>		6.1			
<b>Material Description:</b>		Poisonous by Inhaling/Contact/Ingestion			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<hr/>					
<b>Material Code:</b>		8			
<b>Material Description:</b>		Corrosive Substances			
<b>Material Code:</b>		9			
<b>Material Description:</b>		Miscellaneous Dangerous Goods			
<b>Material Code:</b>		9.1			
<b>Material Description:</b>		Unclassified Dangerous Substance/Product			
<b>Material Code:</b>		9.3			
<b>Material Description:</b>		Unclassified Dangerous Waste			
<hr/>					
<a href="#">16</a>	8 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITAL 8440 112 ST EDMONTON AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>	1832			<b>Phone:</b>	
<b>Approval Year:</b>	2002			<b>Contact:</b>	
<hr/>					
<b>--Details--</b>					
<b>Material Code:</b>		2.20			
<b>Material Description:</b>		Non-Flamm./Non-Toxic/Non-Corrosive Gas			
<b>Material Code:</b>		2.40			
<b>Material Description:</b>		Corrosive Gas			
<b>Material Code:</b>		3.00			
<b>Material Description:</b>		Flammable Liquids			
<b>Material Code:</b>		4.30			
<b>Material Description:</b>		Emits Flammable Gases with Water Contact			
<b>Material Code:</b>		5.10			
<b>Material Description:</b>		Contributes to Combustion			
<b>Material Code:</b>		6.10			
<b>Material Description:</b>		Poisonous by Inhaling/Contact/Ingestion			
<b>Material Code:</b>		8.00			
<b>Material Description:</b>		Corrosive Substances			
<b>Material Code:</b>		9.00			
<b>Material Description:</b>		Miscellaneous Dangerous Goods			
<b>Material Code:</b>		9.30			
<b>Material Description:</b>		Unclassified Dangerous Waste			
<hr/>					
<a href="#">16</a>	9 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITALS 8440-112 STR. EDMONTON (A) AB	FST
<b>Site No:</b>	3005			<b>Dt Form Rcvd:</b>	2002/09/03
<b>Tank No:</b>	1			<b>Date Removed:</b>	200010
<b>No of Tanks:</b>				<b>Removal Reason:</b>	No Longer Required
<b>Tank Type:</b>				<b>Located 200m:</b>	NO
<b>Tank Status:</b>				<b>Located 500m:</b>	NO
<b>Site Status:</b>				<b>DLS Coord:</b>	
<b>Date Last Used:</b>				<b>Lot:</b>	
<b>UST/AST:</b>				<b>Block:</b>	A
<b>Contents:</b>				<b>Plan:</b>	3991KS

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<div> <div> Other Contents: Capacity: Other Capacity: UST Secondary: AST Secondary: Overfill Prevention: Class: LLD: Spill Containment: Tank Status by Site Name: Owner Address: </div> <div> Municipality: Postal: Facility 1: Facility 2: Facility 3: Facility 4: </div> <div> Provincial Government </div> </div>					
<a href="#">16</a>	10 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITALS 8440-112 STR. EDMONTON (A) AB	FST
<div> <div> Site No: 3005 Tank No: 2 No of Tanks: Tank Type: Tank Status: Site Status: Date Last Used: UST/AST: Contents: Other Contents: Capacity: Other Capacity: UST Secondary: AST Secondary: Overfill Prevention: Class: LLD: Spill Containment: Tank Status by Site Name: Owner Address: </div> <div> Dt Form Rcvd: 2002/09/03 Date Removed: 200010 Removal Reason: No Longer Required Located 200m: NO Located 500m: NO DLS Coord: Lot: Block: A Plan: 3991KS Municipality: Postal: Facility 1: Facility 2: Facility 3: Facility 4: </div> <div> Provincial Government </div> </div>					
<a href="#">16</a>	11 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITALS 8440-112 STR. EDMONTON (A) AB	FST
<div> <div> Site No: 3005 Tank No: 3 No of Tanks: Tank Type: Tank Status: Site Status: Date Last Used: UST/AST: Contents: Other Contents: Capacity: Other Capacity: UST Secondary: AST Secondary: Overfill Prevention: Class: LLD: Spill Containment: Tank Status by Site Name: Owner Address: </div> <div> Dt Form Rcvd: 2002/09/03 Date Removed: 200010 Removal Reason: No Longer Required Located 200m: NO Located 500m: NO DLS Coord: Lot: Block: A Plan: 3991KS Municipality: Postal: Facility 1: Facility 2: Facility 3: Facility 4: </div> <div> Provincial Government </div> </div>					



Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<a href="#">16</a>	12 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITALS 8440-112 STR. EDMONTON (A) AB	FST
<div> <div> Site No: 3005  Tank No: 4  No of Tanks:  Tank Type: Underground  Tank Status:  Site Status:  Date Last Used:  UST/AST:  Contents: Diesel  Other Contents:  Capacity: Other - specify in liters  Other Capacity: 30,000 litres  UST Secondary: Double Walled Tank  AST Secondary:  Overfill Prevention: Liquid - Tight Fill Box  Class:  LLD:  Spill Containment: Liquid - Tight Fill Box; Liquid / Vapour Tight Couplings On Fill Pipes  Tank Status by Site Name:  Owner Address: </div> <div> Dt Form Rcvd: 2002/09/03  Date Removed: 200311  Removal Reason: No Longer Required  Located 200m: NO  Located 500m: NO  DLS Coord:  Lot:  Block: A  Plan: 3991KS  Municipality:  Postal:  Facility 1:  Facility 2:  Facility 3:  Facility 4: Provincial Government </div> </div>					
<a href="#">16</a>	13 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITALS 8440-112 STR. EDMONTON (A) AB	FST
<div> <div> Site No: 3005  Tank No: 5  No of Tanks:  Tank Type: Underground  Tank Status:  Site Status:  Date Last Used:  UST/AST:  Contents: Diesel  Other Contents:  Capacity: Other - specify in liters  Other Capacity: 30,000 litres  UST Secondary: Double Walled Tank  AST Secondary:  Overfill Prevention: Liquid - Tight Fill Box  Class:  LLD:  Spill Containment: Liquid - Tight Fill Box; Liquid / Vapour Tight Couplings On Fill Pipes  Tank Status by Site Name:  Owner Address: </div> <div> Dt Form Rcvd: 2002/09/03  Date Removed: 200311  Removal Reason: No Longer Required  Located 200m: NO  Located 500m: NO  DLS Coord:  Lot:  Block: A  Plan: 3991KS  Municipality:  Postal:  Facility 1:  Facility 2:  Facility 3:  Facility 4: Provincial Government </div> </div>					
<a href="#">16</a>	14 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITALS 8440-112 STR. EDMONTON (A) AB	FST
<div> <div> Site No: 3005  Tank No: 6  No of Tanks:  Tank Type:  Tank Status:  Site Status:  Date Last Used:  UST/AST:  Contents:  Other Contents: </div> <div> Dt Form Rcvd: 2002/09/03  Date Removed: 199706  Removal Reason: Tank Replacement  Located 200m: NO  Located 500m: NO  DLS Coord:  Lot:  Block: A  Plan: 3991KS  Municipality: </div> </div>					

44 [erisinfo.com](http://erisinfo.com) | Environmental Risk Information Services Order No: 21021700453

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<a href="#">16</a>	17 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITAL 8440 112 ST EDMONTON AB	GEN
Approval No:				DLS:	
Record ID:		2870		Phone:	
Approval Year:		2004		Contact:	
<b>--Details--</b>					
Material Code:		5.10			
Material Description:		Contributes to Combustion			
Material Code:		6.10			
Material Description:		Poisonous by Inhaling/Contact/Ingestion			
Material Code:		8.00			
Material Description:		Corrosive Substances			
<a href="#">16</a>	18 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITAL 8440 112 ST AB	GEN
Approval No:				DLS:	
Record ID:		2942		Phone:	
Approval Year:		2005		Contact:	
<b>--Details--</b>					
Material Code:		5.10			
Material Description:		Contributes to Combustion			
Material Code:		6.10			
Material Description:		Poisonous by Inhaling/Contact/Ingestion			
Material Code:		8.00			
Material Description:		Corrosive Substances			
<a href="#">16</a>	19 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITAL 8440 112 ST EDMONTON AB	GEN
Approval No:				DLS:	
Record ID:				Phone:	
Approval Year:		2006		Contact:	
<b>--Details--</b>					
Material Code:		3.00			
Material Description:		Flammable Liquids			
Material Code:		5.1			
Material Description:		Contributes to Combustion			
Material Code:		8			
Material Description:		Corrosive Substances			
Material Code:		8			
Material Description:		Corrosive Substances			
Material Code:		9			
Material Description:		Miscellaneous Dangerous Goods			

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Material Code:</b>		9			
<b>Material Description:</b>		Miscellaneous Dangerous Goods			
<b>Material Code:</b>		9.1			
<b>Material Description:</b>		Unclassified Dangerous Substance/Product			
<b>Material Code:</b>		6.1			
<b>Material Description:</b>		Poisonous by Inhaling/Contact/Ingestion			
<a href="#">16</a>	20 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>				<b>Phone:</b>	
<b>Approval Year:</b>		2007/2008		<b>Contact:</b>	
<a href="#">16</a>	21 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7 AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>				<b>Phone:</b>	
<b>Approval Year:</b>		2008/2009		<b>Contact:</b>	
<a href="#">16</a>	22 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7 AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>				<b>Phone:</b>	
<b>Approval Year:</b>		2009		<b>Contact:</b>	
<a href="#">16</a>	23 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7 AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>				<b>Phone:</b>	
<b>Approval Year:</b>		2010		<b>Contact:</b>	
<a href="#">16</a>	24 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7 AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	
<b>Record ID:</b>				<b>Phone:</b>	
<b>Approval Year:</b>				<b>Contact:</b>	
<a href="#">16</a>	25 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7 AB	GEN
<b>Approval No:</b>				<b>DLS:</b>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Record ID:</b> <b>Approval Year:</b>		May 2011-Apr 2012		<b>Phone:</b> <b>Contact:</b>	
<a href="#">16</a>	26 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b>		May 2012- Jan 2013		<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>	
<a href="#">16</a>	27 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b>		Feb 2013 - Sep 2013		<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>	
<a href="#">16</a>	28 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7 AB	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b>		Feb 2015		<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>	
<a href="#">16</a>	29 of 33	WNW/299.5	673.0 / 1.00	University of Alberta Hospital 8440 112 ST Edmonton AB T6G 2B7 AB	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b>		Jan 2016		<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>	
<a href="#">16</a>	30 of 33	WNW/299.5	673.0 / 1.00	8440 112 St Nw Edmonton AB T6G2B7	EHS
<b>Order No:</b> <b>Status:</b> <b>Report Type:</b> <b>Report Date:</b> <b>Date Received:</b> <b>Previous Site Name:</b> <b>Lot/Building Size:</b> <b>Additional Info Ordered:</b>		20160217146 C Standard Report 19-FEB-16 17-FEB-16		<b>Nearest Intersection:</b> <b>Municipality:</b> <b>Client Prov/State:</b> <b>Search Radius (km):</b> <b>X:</b> <b>Y:</b>	
				Edmonton ON .25 -113.523518 53.520882	
<a href="#">16</a>	31 of 33	WNW/299.5	673.0 / 1.00	UNIVERSITY OF ALBERTA HOSPITALS 8440-112 STR. EDMONTON (A) AB	FST
<b>Site No:</b> <b>Tank No:</b> <b>No of Tanks:</b> <b>Tank Type:</b>		3005		<b>Dt Form Rcvd:</b> <b>Date Removed:</b> <b>Removal Reason:</b> <b>Located 200m:</b>	

Map Key	Number of Records	Direction/ Distance (m)	Elev/Diff (m)	Site	DB
<b>Tank Status:</b> <b>Site Status:</b> <b>Date Last Used:</b> <b>UST/AST:</b> <b>Contents:</b> <b>Other Contents:</b> <b>Capacity:</b> <b>Other Capacity:</b> <b>UST Secondary:</b> <b>AST Secondary:</b> <b>Overfill Prevention:</b> <b>Class:</b> <b>LLD:</b> <b>Spill Containment:</b> <b>Tank Status by Site Name:</b> <b>Owner Address:</b>				<b>Located 500m:</b> <b>DLS Coord:</b> <b>Lot:</b> <b>Block:</b> A <b>Plan:</b> 3991KS <b>Municipality:</b> EDMONTON (A) <b>Postal:</b> <b>Facility 1:</b> <b>Facility 2:</b> <b>Facility 3:</b> <b>Facility 4:</b>	
<a href="#">16</a>	32 of 33	WNW/299.5	673.0 / 1.00	<b>University of Alberta Hospital</b> <b>8440 112 ST Edmonton AB T6G 2B7</b> <b>AB</b>	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> Dec 2016				<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>	
<a href="#">16</a>	33 of 33	WNW/299.5	673.0 / 1.00	<b>University of Alberta Hospital</b> <b>8440 112 ST Edmonton AB T6G 2B7</b> <b>AB</b>	GEN
<b>Approval No:</b> <b>Record ID:</b> <b>Approval Year:</b> Aug 2018				<b>DLS:</b> <b>Phone:</b> <b>Contact:</b>	

# Unplottable Summary

Total: 1 Unplottable sites

DB	Company Name/Site Name	Address	City	Postal
AUWR	GENERAL RECYCLING INDUSTRIES LTD	84 AVE NW	EDMONTON AB	T6B3H3

# Unplottable Report

---

**Site:**    **GENERAL RECYCLING INDUSTRIES LTD**  
              **84 AVE NW   EDMONTON AB T6B3H3**

***Database:***  
***AUWR***

***Headcode:***                    01169400  
***Headcode Desc:***            SCRAP METALS  
***Phone:***                     7804615555  
***List Name:***  
***Description:***



## Appendix: Database Descriptions

*Environmental Risk Information Services (ERIS) can search the following databases. The extent of historical information varies with each database and current information is determined by what is publicly available to ERIS at the time of update. **Note:** Databases denoted with " \* " indicates that the database will no longer be updated. See the individual database description for more information.*

### **Well Licenses:**

Provincial

[AERW](#)

Locations of Well Licenses made available by the Alberta Energy Regulator (AER) as ST37. Includes Active, Suspended, Abandoned, Drilled and Cased Oil, Gas, Crude Bitumen well licenses, as well as Observation, Injection, Disposal, and Undefined well licences.

**Government Publication Date:** Jan 31, 2021

### **Agriculture and Fisheries - Certificates of Approval:**

Provincial

[AGR](#)

This database contains approvals for processes pertaining to drying of alfalfa/forage/peat, feedlots, fish farms and feed/seed mills. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date:** 1993-2012

### **Alberta Oil and Gas Wells:**

Provincial

[AOGW](#)

The Alberta Energy Utilities Board - now the Alberta Energy Regulator (AER) - maintained a database of oil and gas wells drilled in the province of Alberta. The database contains information on well name, licensee name, license number, location, status, total well depth and date of final drilling. Please note that this database will not be updated, information on wells drilled after September 2003 can be found in the Oil and Gas Wells (OGW) database under the 'Private Source Database' section.

**Government Publication Date:** 1883-Sept 2003\*

### **Automobile Wrecking & Supplies:**

Private

[AUWR](#)

This database provides an inventory of known locations that are involved in the scrap metal, automobile wrecking/recycling, and automobile parts & supplies industry. Information is provided on the company name, location and business type.

**Government Publication Date:** 1999-Dec 31, 2020

### **Waste Management Facilities - Certificates of Approval:**

Provincial

[CAWD](#)

This database contains approvals for processes pertaining to waste management facilities (hazardous waste manifesting, waste disposal/incineration/open burning/processing/storage/treatment). Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date:** 1993 - Jan 2020

### **Commercial Activity Risk - City of Calgary Business Licenses:**

Provincial

[CBL](#)

List of locations with Business Licences for the follow commercial activities: apartment building with 4 or more stories, auto-body shop, fabric cleaning, manufacturing, motor vehicle dealerships and service/repair, and salvage yard/auto wrecking. Data made available by the City of Calgary.

**Government Publication Date:** Dec 31, 2020

### **Dry Cleaning Facilities:**

Federal

[CDRY](#)

List of dry cleaning facilities made available by Environment and Climate Change Canada. Environment and Climate Change Canada's Tetrachloroethylene (Use in Dry Cleaning and Reporting Requirements) Regulations (SOR/2003-79) are intended to reduce releases of tetrachloroethylene to the environment from dry cleaning facilities.

**Government Publication Date:** Jan 2004-Dec 2018

**Confined Feeding Operations:**

Provincial

CFO

In 1991, the Natural Resources Conservation Board (NRCB) was created to review applications for approval of major natural resource development projects in Alberta. In January 2002, the NRCB was given the responsibility to regulate the Confined Feeding Operation industry. The Agricultural Operation Practices Act defines a confined feeding operation to be: "an activity on land that is fenced or enclosed or within buildings where livestock are confined for the purpose of growing, sustaining, finishing or breeding by means other than grazing, but does not include seasonal feeding and bedding sites." Under the AOPA regulations, all new or expanding confined feeding operations (CFOs) or manure storage facilities are required to make an application for Approval, Registration or Authorization to the NRCB before construction or expansion commences. Geographic coordinates were provided in DLS (Dominion Land Survey) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the Quarter section only.

**Government Publication Date: 2002-Oct 2020****Chemical Processing Operations - Certificates of Approval:**

Provincial

CHEM

This database contains approvals for processes pertaining to the manufacturing and use of chemical products and pesticides. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1993-2012****Chemical Register:**

Private

CHM

This database includes a listing of locations of facilities within the Province or Territory that either manufacture and/or distributes chemicals.

**Government Publication Date: 1999-Dec 31, 2020****Compressed Natural Gas Stations:**

Private

CNG

Canada has a network of public access compressed natural gas (CNG) refuelling stations. These stations dispense natural gas in compressed form at 3,000 pounds per square inch (psi), the pressure which is allowed within the current Canadian codes and standards. The majority of natural gas refuelling is located at existing retail gasoline that have a separate refuelling island for natural gas. This list of stations is made available by the Canadian Natural Gas Vehicle Alliance.

**Government Publication Date: Dec 2012 -Dec 2020****Compost Facilities:**

Provincial

COMPOST

A list of compost facility registrations made available by Alberta Environment and Parks (AEP). Composting facilities operating under a registration are required to follow the requirements in the Code of Practice for Compost Facilities, which outlines the minimum requirements for the design, construction, operation, and reclamation of compost facilities that accept up to 20,000 tonnes of feedstock per year.

**Government Publication Date: Dec 31, 2019****Compliance and Convictions:**

Provincial

CONV

This database summarizes the penalties and convictions handed down by the Alberta courts. This database identifies companies and/or individuals that have been found guilty of environmental offenses under Alberta's Environmental Protection Legislation. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Unfortunately, from state of the data, the location that the address pertains to cannot be confirmed.

**Government Publication Date: 1993-Jun 2020****Fuel Sales and Storage:**

Provincial

CTNK

List of locations with Business Licences for fuel sales and storage. Data made available by the City of Calgary.

**Government Publication Date: Dec 31, 2020****Approved Oilfield Waste Management Facilities:**

Provincial

DRWD

A list of approved first and third party oilfield waste management facilities. First-party receivers can only accept upstream oilfield waste generated by one oil and gas company, but can come from various sites. Third-party receivers can accept upstream oilfield waste from various sites and various generators. This data is made available by the Alberta Energy Regulator (AER).

**Government Publication Date: Jul 2019****Enforcement Action Summary:**

Provincial

EAS

This database maintained by the Alberta Energy Regulator (AER) - formerly the Energy Resources Conservation Board (ERCB) - summarizes high risk enforcement action 1, high risk enforcement action 2 (persistent noncompliance), high risk enforcement action 3 (failure to comply or demonstrated disregard), low risk enforcement action - global REFER and legislative/regulatory enforcement action. Fields will include licensee/company name, non-compliance event, date of enforcement, location, etc.

**Government Publication Date: 2007-Sep 2020**

**Commercial Activity Risk - City of Edmonton Business Licenses:**

Provincial

EBL

List of locations with Business Licenses for the follow commercial activities: cannabis processing or cultivation, construction vehicle and equipment sales/rentals, livestock operation, general industrial, and vehicle repair. Data made available by the City of Edmonton.

**Government Publication Date:** Dec 31, 2020

**Environmental Effects Monitoring:**

Federal

EEM

The Environmental Effects Monitoring program assesses the effects of effluent from industrial or other sources on fish, fish habitat and human usage of fisheries resources. Since 1992, pulp and paper mills have been required to conduct EEM studies under the Pulp and Paper Effluent Regulations. This database provides information on the mill name, geographical location and sub-lethal toxicity data.

**Government Publication Date:** 1992-2007\*

**ERIS Historical Searches:**

Private

EHS

ERIS has compiled a database of all environmental risk reports completed since March 1999. Available fields for this database include: site location, date of report, type of report, and search radius. As per all other databases, the ERIS database can be referenced on both the map and "Statistical Profile" page.

**Government Publication Date:** 1999-Oct 31, 2020

**Environmental Issues Inventory System:**

Federal

EIIS

The Environmental Issues Inventory System was developed through the implementation of the Environmental Issues and Remediation Plan. This plan was established to determine the location and severity of contaminated sites on inhabited First Nation reserves, and where necessary, to remediate those that posed a risk to health and safety; and to prevent future environmental problems. The EIIS provides information on the reserve under investigation, inventory number, name of site, environmental issue, site action (Remediation, Site Assessment), and date investigation completed.

**Government Publication Date:** 1992-2001\*

**Alberta Environment & Parks Storage Tanks:**

Provincial

EPST

List of storage tanks under the purview of Alberta Environment and Parks.

**Government Publication Date:** Jul 31, 2016

**Environment Protection & Enhancement Act and Water Act Public Notices:**

Provincial

EPWN

A list of Public Notices of Applications, Decisions, and Revisions pertaining to applications made to Alberta Environment and Parks under the Water Act (WA) and Alberta Environment Protection and Enhancement Act (EPEA). Dominion Land Survey (DLS) locations provided by the source are subject to accuracy limitations inherent to the DLS system.

**Government Publication Date:** Jun 30, 2020

**Environmental Site Assessment Repository:**

Provincial

ESAR

Environmental site assessments determine the quality of soil and groundwater of a site, particularly at retail gas stations and other commercial and industrial sites. A site assessment does not necessarily mean a site is, or ever was, contaminated. Alberta's Environmental Site Assessment Repository (ESAR) is an online, searchable database that provides scientific and technical information about assessed and/or reclaimed sites throughout Alberta. Search Alberta's ESAR using meridian, range, township, and section values at <http://www.esar.alberta.ca/esarmain.aspx> to gain access to reclamation certificates and/or associated files (applications, reports).

**Government Publication Date:** 1960-Aug 2020

**Facility List:**

Provincial

FAC

This database contains a complete list of new, active and suspended facilities in Alberta including batteries, gas plants, meter stations, and other facilities. Information provided includes: facility id, facility name, operator name, sub type description, location, facility license no, and operational status; now includes EDCT (Energy Development Category Type) type and description. Made available by the Alberta Energy Regulator (AER) - formerly the Energy Resources Conservation Board (ERCB).

**Government Publication Date:** Up to Sep 30, 2020

**Federal Convictions:**

Federal

FCON

Environment Canada maintains a database referred to as the "Environmental Registry" that details prosecutions under the Canadian Environmental Protection Act (CEPA) and the Fisheries Act (FA). Information is provided on the company name, location, charge date, offence and penalty.

**Government Publication Date:** 1988-Jun 2007\*

**Contaminated Sites on Federal Land:**

Federal

FCS

The Federal Contaminated Sites Inventory includes information on known federal contaminated sites under the custodianship of departments, agencies and consolidated Crown corporations as well as those that are being or have been investigated to determine whether they have contamination arising from past use that could pose a risk to human health or the environment. The inventory also includes non-federal contaminated sites for which the Government of Canada has accepted some or all financial responsibility. It does not include sites where contamination has been caused by, and which are under the control of, enterprise Crown corporations, private individuals, firms or other levels of government. Includes fire training sites and sites at which Per- and Polyfluoroalkyl Substances (PFAS) are a concern.

**Government Publication Date:** Jun 2000-Sep 2020

**AER Incidents & Spills:**

Provincial

FIS

Received from the Alberta Energy Regulator (AER) - formerly the ERCB (Energy Resources Conservation Board) and EUB (Energy Utilities Board) - this database, which used to be called EISL (Environmental Information System Listing), contains reported environmental incidents beginning in 1975. Descriptions include noise infractions, air quality emissions, oil spills and failures for pipelines, wells, plants, and batteries. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date:** 1975-Nov 2020

**Food Processing Operations - Certificates of Approval:**

Provincial

FOOD

This database contains approvals for processes pertaining to the manufacturing of food products. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date:** 1993-2012

**Federal Identification Registry for Storage Tank Systems (FIRSTS):**

Federal

FRST

A list of federally regulated Storage tanks from the Federal Identification Registry for Storage Tank Systems (FIRSTS). FIRSTS is Environment and Climate Change Canada's database of storage tank systems subject to the Storage Tank for Petroleum Products and Allied Petroleum Products Regulations. The main objective of the Regulations is to prevent soil and groundwater contamination from storage tank systems located on federal and aboriginal lands. Storage tank systems that do not have a valid identification number displayed in a readily visible location on or near the storage tank system may be refused product delivery.

**Government Publication Date:** May 31, 2018

**Fuel Storage Tanks:**

Provincial

FST

List tank sites in unaccredited areas of the Province. Includes active tank sites, sites with tanks temporarily out of service, and sites at which tanks have been removed from the ground. Information in this database was collected according to Alberta Regulation AR 291/95 Storage Tank System Management and to AR 52/98 Fire Code which was formerly the Alberta Fire Code Regulation, 1992 (AR 204/92). The Petroleum Tank Management Association of Alberta (PTMAA) regulated Storage Tanks in unaccredited areas of Alberta from 1994 until June 2020, at which point the Safety Codes Council assumed responsibility for services related to storage tank management.

**Government Publication Date:** 1985-Sep 2020

**Edmonton Vehicle Fueling Stations:**

Provincial

FUEL STATION

A list of sites that have a City of Edmonton business license for Vehicle Fueling Stations. Listing made available by the City of Edmonton.

**Government Publication Date:** Dec 31, 2020

**Waste Generators Summary:**

Provincial

GEN

Under Alberta's Waste Control Regulation, Alta. Reg. 192/96, a generator is a person who consigns hazardous waste for storage, transport, treatment or disposal. As of 2007, Alberta Environment no longer provides detailed information on each waste generator, such as approval number, class, and class description.

**Government Publication Date:** 1993-Aug 2018

**Greenhouse Gas Emissions from Large Facilities:**

Federal

GHG

List of greenhouse gas emissions from large facilities made available by Environment Canada. Greenhouse gas emissions in kilotonnes of carbon dioxide equivalents (kt CO<sub>2</sub> eq).

**Government Publication Date:** 2013-Dec 2018

**Gas Processing Plants:**

Provincial

GPP

The Alberta Energy Regulator (AER) - formerly the ERCB (Energy Resources Conservation Board) - has an inventory of all Gas Processing Plants in Alberta, with information such as location, names of plant, facility type, operator name, facility license, design capacities, etc.

**Government Publication Date:** Oct 2016-Oct 31, 2020

**Alberta Environment's H.E.L.P. (Help End Landfill Pollution) Program Database:**

Provincial

[HELP](#)

The H.E.L.P. Data Tracking and Management Control System was created to provide tracking and management capabilities of industrial landfills in Alberta for the Department of Environment. Detailed information including company name, location, type of landfill, priority, score, status, use and much more is included in this database.

**Government Publication Date: June 1988\***

**Horizontal Wells:**

Provincial

[HORW](#)

Defined as drilling directionally at a wellbore inclination angle exceeding 85 degrees, horizontal drilling can help increase resource recovery while minimizing surface impact. Recent improvements in the technology have made it possible to combine horizontal drilling with hydraulic fracturing to help coax oil and natural gas out of tight rock. Today, more than half of western Canada's wells are being drilled horizontally. Data includes: well locations (LE,LS,SE,TWP,RG,M,E), licence numbers, well names, Business Associate (BA) codes, licensee abbreviations, spud dates, final drilling dates, total depth, true vertical depth, and last updated dates. Made available by the Alberta Energy Regulator (AER) - formerly the Energy Resources Conservation Board (ERCB).

**Government Publication Date: Mar 2015-Aug 31, 2020**

**Indian & Northern Affairs Fuel Tanks:**

Federal

[IAFT](#)

The Department of Indian & Northern Affairs Canada (INAC) maintains an inventory of aboveground & underground fuel storage tanks located on both federal and crown land. Our inventory provides information on the reserve name, location, facility type, site/facility name, tank type, material & ID number, tank contents & capacity, and date of tank installation.

**Government Publication Date: 1950-Aug 2003\***

**Landfill Registrations:**

Provincial

[LANDFILLS](#)

A list of landfill registrations made available by Alberta Environment and Parks (AEP). Landfills operating under a registration are required to follow the requirements in the Code of Practice for Landfills, which outlines the minimum requirements for the construction, operation and reclamation of landfills that accept 10,000 tonnes or less per year of non-hazardous and inert waste.

**Government Publication Date: Mar 31, 2020**

**Identification and Verification of Active and Inactive Land Disposal Sites:**

Provincial

[LDS](#)

In late 1981, Environment Canada and Alberta Environment initiated a project to identify and verify land disposal sites in the province of Alberta. A point scoring system was used to classify the sites into potential priority 1, priority 2 or priority 3 groups on the basis of the type of waste received at the sites and the site environment. Sites that, according to available information, may pose a hazard to public health and safety or the environment are classified as potential priority 1 sites.

**Government Publication Date: Oct 1982\***

**Land Disposal Sites on Indian Reserves:**

Provincial

[LDSI](#)

In late 1981, Environment Canada and Alberta Environment initiated a project to identify and verify land disposal sites in the province of Alberta. This database specifically identifies land disposal sites on Indian Reserves. Information on each site is limited to: location, band, size and general comments.

**Government Publication Date: Oct 1982\***

**Lumber Related Operations - Certificates of Approval:**

Provincial

[LUM](#)

This database contains approvals for processes pertaining to the manufacturing of wood products, pulp and paper including the associated water treatment processes. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1993-2012**

**Canadian Mine Locations:**

Private

[MINE](#)

This information is collected from the Canadian & American Mines Handbook. The Mines database is a national database that provides over 290 listings on mines (listed as public companies) dealing primarily with precious metals and hard rocks. Listed are mines that are currently in operation, closed, suspended, or are still being developed (advanced projects). Their locations are provided as geographic coordinates (x, y and/or longitude, latitude). As of 2002, data pertaining to Canadian smelters and refineries has been appended to this database.

**Government Publication Date: 1998-2009\***

**Metals, Minerals and Building Materials Operations - Certificates of Approval:**

Provincial

[MMB](#)

This database contains approvals for processes pertaining to the manufacturing of building materials, metals, and mineral products. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1993-2012**

**Mineral Occurrences:**

Provincial

MNR

The AMDO (Alberta Mineral Deposits and Occurrences) application was created by the Minerals and Coal Geoscience Section of the Alberta Geological Survey as a database for mineral deposits in Alberta in the early 1990s. This is a one time inventory and will not be updated.

**Government Publication Date: 1993-2003\***

**National Analysis of Trends in Emergencies System (NATES):**

Federal

NATE

In 1974 Environment Canada established the National Analysis of Trends in Emergencies System (NATES) database, for the voluntary reporting of significant spill incidents. The data was to be used to assist in directing the work of the emergencies program. NATES ran from 1974 to 1994. Extensive information is available within this database including company names, place where the spill occurred, date of spill, cause, reason and source of spill, damage incurred, and amount, concentration, and volume of materials released.

**Government Publication Date: 1974-1994\***

**PTMAA Non-Compliant Storage Tanks:**

Provincial

NCST

The Alberta Fire Code requires that storage tanks be registered. Tanks may not be registered because they do not meet minimum equipment standards or the owners have not made the annual registration application or paid the necessary registration fees. Some tank owners have installed tanks without a permit. This source contains information on facilities which have tanks that have ceased to be registered or have never been registered. It is maintained and updated by the Petroleum Tank Management Association of Alberta (PTMAA).

**Government Publication Date: Sep 2016-May 31, 2020**

**National Defense & Canadian Forces Fuel Tanks:**

Federal

NDFT

The Department of National Defense and the Canadian Forces maintains an inventory of all aboveground & underground fuel storage tanks located on DND lands. Our inventory provides information on the base name, location, tank type & capacity, tank contents, tank class, date of tank installation, date tank last used, and status of tank as of May 2001. This database will no longer be updated due to the new National Security protocols which have prohibited any release of this database.

**Government Publication Date: Up to May 2001\***

**National Defense & Canadian Forces Spills:**

Federal

NDSP

The Department of National Defense and the Canadian Forces maintains an inventory of spills to land and water. All spill sites have been classified under the "Transportation of Dangerous Goods Act - 1992". Our inventory provides information on the facility name, location, spill ID #, spill date, type of spill, as well as the quantity of substance spilled & recovered.

**Government Publication Date: Mar 1999-Apr 2018**

**National Defence & Canadian Forces Waste Disposal Sites:**

Federal

NDWD

The Department of National Defence and the Canadian Forces maintains an inventory of waste disposal sites located on DND lands. Where available, our inventory provides information on the base name, location, type of waste received, area of site, depth of site, year site opened/closed and status.

**Government Publication Date: 2001-Apr 2007\***

**National Energy Board Pipeline Incidents:**

Federal

NEBI

Locations of pipeline incidents from 2008 to present, made available by the Canada Energy Regulator (CER) - previously the National Energy Board (NEB). Includes incidents reported under the Onshore Pipeline Regulations and the Processing Plant Regulations related to pipelines under federal jurisdiction, does not include incident data related to pipelines under provincial or territorial jurisdiction.

**Government Publication Date: 2008-Sep 30, 2020**

**National Energy Board Wells:**

Federal

NEBP

The NEBW database contains information on onshore & offshore oil and gas wells that are outside provincial jurisdiction(s) and are thereby regulated by the National Energy Board. Data is provided regarding the operator, well name, well ID No./UWI, status, classification, well depth, spud and release date.

**Government Publication Date: 1920-Feb 2003\***

**National Environmental Emergencies System (NEES):**

Federal

NEES

In 2000, the Emergencies program implemented NEES, a reporting system for spills of hazardous substances. For the most part, this system only captured data from the Atlantic Provinces, some from Quebec and Ontario and a portion from British Columbia. Data for Alberta, Saskatchewan, Manitoba and the Territories was not captured. However, NEES is also a repository for previous Environment Canada spill datasets. NEES is composed of the historic datasets 'or Trends' which dates from approximately 1974 to present. NEES Trends is a compilation of historic databases, which were merged and includes data from NATES (National Analysis of Trends in Emergencies System), ARTS (Atlantic Regional Trends System), and NEES. In 2001, the Emergencies Program determined that variations in reporting regimes and requirements between federal and provincial agencies made national spill reporting and trend analysis difficult to achieve. As a consequence, the department has focused efforts on capturing data on spills of substances which fall under its legislative authority only (CEPA and FA). As such, the NEES database will be decommissioned in December 2004.

**Government Publication Date: 1974-2003\***



**National PCB Inventory:**

Federal

NPCB

Environment Canada's National PCB inventory includes information on in-use PCB containing equipment in Canada including federal, provincial and private facilities. Federal out-of-service PCB containing equipment and PCB waste owned by the federal government or by federally regulated industries such as airlines, railway companies, broadcasting companies, telephone and telecommunications companies, pipeline companies, etc. are also listed. Although it is not Environment Canada's mandate to collect data on non-federal PCB waste, the National PCB inventory includes some information on provincial and private PCB waste and storage sites. Some addresses provided may be Head Office addresses and are not necessarily the location of where the waste is being used or stored.

**Government Publication Date: 1988-2008\***

**National Pollutant Release Inventory:**

Federal

NPRI

Environment Canada has defined the National Pollutant Release Inventory ("NPRI") as a federal government initiative designed to collect comprehensive national data regarding releases to air, water, or land, and waste transfers for recycling for more than 300 listed substances.

**Government Publication Date: 1993-May 2017**

**Operating and Abandoned Mines:**

Provincial

OAM

This data is based on the 2001 edition (revised in 2003), published by the Alberta Energy and Utilities Board (EUB) now the Alberta Energy Regulator (AER). It was a one time inventory of Operating and Abandoned Coal Mines in Alberta. In 1905, Alberta began to catalogue coal mines by assigning a unique number to each operation. This database will provide information on location, mine #, mine name, mine company, life span, amount of coal produced, depth, thickness and other important information concerning the mine.

**Government Publication Date: 2001, 2003\***

**Oil and Gas Facilities - ST102 & ST50:**

Provincial

OGF

List of batteries, gas plants, meter stations, and other facilities in the province of Alberta, made available as ST102 (Parts A and B) and ST50 (B) by the Alberta Energy Regulator (AER).

**Government Publication Date: Dec 31, 2020**

**Oil and Gas Wells:**

Private

OGWW

The Nickle's Energy Group (publisher of the Daily Oil Bulletin) collects information on drilling activity including operator and well statistics. The well information database includes name, location, class, status and depth. The main Nickle's database is updated on a daily basis, however, this database is updated on a monthly basis. More information is available at [www.nickles.com](http://www.nickles.com).

**Government Publication Date: 1988-Nov 30, 2020**

**Alberta Orphan Wells:**

Provincial

ORP

The Orphan Well Association (OWA) maintains lists of properties designated as orphan by the Alberta Energy Regulator (AER). Includes the location, well ID, licensee name and license number of orphan wells, sites, and facilities that have been identified for the purpose of abandonment, suspension, decommission, and reclamation. Legacy wells under long term care and custody are excluded. Please note that the OWA Orphan List also includes properties with production information from the AER. The OWA makes no representation, warranties, or guarantees, expressed or implied, for the fitness of the data with respect to its use.

**Government Publication Date: Jan 2007-Aug 31, 2020**

**Canadian Pulp and Paper:**

Private

PAP

This information is part of the Pulp and Paper Canada Directory. The Directory provides a comprehensive listing of the locations of pulp and paper mills and the products that they produce.

**Government Publication Date: 1999, 2002, 2004, 2005, 2009-2014**

**Parks Canada Fuel Storage Tanks:**

Federal

PCFT

Canadian Heritage maintains an inventory of known fuel storage tanks operated by Parks Canada, in both National Parks and at National Historic Sites. The database details information on site name, location, tank install/removal date, capacity, fuel type, facility type, tank design and owner/operator.

**Government Publication Date: 1920-Jan 2005\***

**Petrochemical, Coal and Gas Operations - Certificates of Approval:**

Provincial

PCG

This database contains approvals for processes pertaining to petroleum, coal, and oil and gas processing. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1993-2012**



**Pesticide Register:**

Provincial

PES

This is a list of Registered Pesticide Vendors in Alberta (retail and wholesale). The pesticide vendor list is comprised of vendors who have both audited AWSA pesticide storage facilities as part of their operation, and those vendors that do not have an audited AWSA pesticide storage facilities. Non-audited retail and wholesale vendors may be selling products that are not covered by the AWSA program, or may be utilizing external AWSA pesticide warehouses. Registration numbers and expiry dates are identified for each operation. If a registration number is not present, the operation's vendor registration is in the process of renewal.

**Government Publication Date: 1998-Aug 2015**

**Conglomerate and Waste Management Facilities:**

Provincial

PITS

This database contains approvals for processes pertaining to the use of gravel pits, sand pits, and clay pits. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1993-2012**

**Alberta Private Sewage Disposal Permits:**

Provincial

PSP

These permits are private sewage disposal permits that have been issued to owners and contractors. They would include various types of installations including holding tanks, septic tanks, packaged treatment plants, sand filters, fields, mounds, lagoons and open discharges. In 2003 Alberta Municipal Affairs started collecting information and issuing permits using an electronic permitting system. These records include all private sewage disposal permits within the jurisdiction of Alberta Municipal Affairs.

**Government Publication Date: 2003-2013**

**PTMAA Approved (Open) Permits:**

Provincial

PTAP

The Petroleum Tank Management Association of Alberta maintains a list of open permits it has issued within its jurisdiction. Prior to installing, removing, or altering tanks, storage tanks owners must receive approval in the form of a permit from the Authority Having Jurisdiction (in this case, PTMAA).

**Government Publication Date: Apr 2016-Apr 30, 2020**

**Hazardous Waste Receivers Summary:**

Provincial

REC

A waste receiving location is any site or facility to which waste is transferred through a waste carrier. A receiver of regulated waste is required to register the waste receiving facility. This database represents receivers of regulated wastes under Alberta's Waste Control Regulation, Alta. Reg. 192/96. As of 2007, Alberta Environment no longer provides detailed information on each waste receiver, such as approval number, class, and class description.

**Government Publication Date: 1993-Aug 2018**

**Retail Fuel Storage Tanks:**

Private

RST

This database includes an inventory of retail fuel outlet locations (including marinas) that have on their property gasoline, oil, waste oil, natural gas and / or propane storage tanks.

**Government Publication Date: 1999-Dec 31, 2020**

**Scott's Manufacturing Directory:**

Private

SCT

Scott's Directories is a data bank containing information on over 200,000 manufacturers across Canada. Even though Scott's listings are voluntary, it is the most comprehensive database of Canadian manufacturers available. Information concerning a company's address, plant size, and main products are included in this database.

**Government Publication Date: 1992-Mar 2011\***

**Special Operation Classifications - Certificates of Approval:**

Provincial

SPEC

This database contains approvals for processes pertaining to classifications listed as special operations (i.e. locations owned/operated by municipalities, operations that involve the presence of pesticides). Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1993-2012**

**Inventory of Waste Disposal Sites:**

Private

WDS

This one time inventory is a compilation of information collected from each region and pertains to active, regulated waste disposal sites within the province of Alberta. In the past, waste disposal sites were registered with both regional and health offices. That process was dissolved and regional landfills were developed. There is no central source of this information. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1998\***

**Wastewater Operations:**

Provincial

[WSTE](#)

This database contains approvals for processes pertaining to wastewater treatment systems. Please note that, as per the source of this database, some of the geographic information may pertain to a head office or mailing address and not necessarily the site of operations to which the certificate applies. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location. Therefore, locations will be accurate to the quarter section only.

**Government Publication Date: 1993-2012****Alberta Water Well Information Database:**

Provincial

[WWIS](#)

List of wells in the Alberta Water Well Information Database made available by Alberta Environment and Parks, containing approximately 500,000 records with nearly 5,000 drilling reports added annually. Some geographic coordinates have been provided in ATS (Alberta Township Survey system) format but do not contain offsets that are necessary to pinpoint a specific location; some locations will be accurate to the quarter section only. The Province of Alberta advises that the data may not be fully checked, and disclaims all responsibility for its accuracy. This data was previously collected from the Groundwater Information Center of the Natural Resource Service.

**Government Publication Date: 1880-Dec 31, 2020**

# Definitions

**Database Descriptions:** This section provides a detailed explanation for each database including: source, information available, time coverage, and acronyms used. They are listed in alphabetic order.

**Detail Report:** This is the section of the report which provides the most detail for each individual record. Records are summarized by location, starting with the project property followed by records in closest proximity.

**Distance:** The distance value is the distance between plotted points, not necessarily the distance between the sites' boundaries. All values are an approximation.

**Direction:** The direction value is the compass direction of the site in respect to the project property and/or center point of the report.

**Elevation:** The elevation value is taken from the location at which the records for the site address have been plotted. All values are an approximation. Source: Google Elevation API.

**Executive Summary:** This portion of the report is divided into 3 sections:

'Report Summary'- Displays a chart indicating how many records fall on the project property and, within the report search radii.

'Site Report Summary'-Project Property'- This section lists all the records which fall on the project property. For more details, see the 'Detail Report' section.

'Site Report Summary-Surrounding Properties'- This section summarizes all records on adjacent properties, listing them in order of proximity from the project property. For more details, see the 'Detail Report' section.

**Map Key:** The map key number is assigned according to closest proximity from the project property. Map Key numbers always start at #1. The project property will always have a map key of '1' if records are available. If there is a number in brackets beside the main number, this will indicate the number of records on that specific property. If there is no number in brackets, there is only one record for that property.

The symbol and colour used indicates 'elevation': the red inverted triangle will dictate 'ERIS Sites with Lower Elevation', the yellow triangle will dictate 'ERIS Sites with Higher Elevation' and the orange square will dictate 'ERIS Sites with Same Elevation.'

**Unplottables:** These are records that could not be mapped due to various reasons, including limited geographic information. These records may or may not be in your study area, and are included as reference.

# Appendix C

Historical Land Titles

Lot 17, Block 157, Plan I19



LAND TITLE CERTIFICATE

B

LINC	SHORT LEGAL	TITLE NUMBER
0015 558 407	I19;157;17	202 078 059

LEGAL DESCRIPTION

PLAN I19  
BLOCK 157  
LOT 17

ESTATE: FEE SIMPLE

ATS REFERENCE: 4;24;52;7;RL

MUNICIPALITY: CITY OF EDMONTON

REFERENCE NUMBER: 802 158 169

-----				
REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
-----				
202 078 059	09/04/2020	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

THE CITY OF EDMONTON.  
OF #1 SIR WINSTON CHURCHILL SQUARE, EDMONTON  
ALBERTA T5J 2R7

-----		
ENCUMBRANCES, LIENS & INTERESTS		

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
-----		

NO REGISTRATIONS

TOTAL INSTRUMENTS: 000

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN  
ACCURATE REPRODUCTION OF THE CERTIFICATE OF  
TITLE REPRESENTED HEREIN THIS 5 DAY OF  
FEBRUARY, 2021 AT 04:19 P.M.

ORDER NUMBER: 40983805

CUSTOMER FILE NUMBER:



\*END OF CERTIFICATE\*

---

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED  
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,  
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,  
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS  
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING  
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).





HISTORICAL LAND TITLE CERTIFICATE  
TITLE CANCELLED ON APRIL 09, 2020

B  
LINC SHORT LEGAL TITLE NUMBER  
0015 558 407 I19;157;17 802 158 169

LEGAL DESCRIPTION  
PLAN I19  
BLOCK 157  
LOT 17

ESTATE: FEE SIMPLE  
ATS REFERENCE: 4;24;52;7;RL

MUNICIPALITY: CITY OF EDMONTON

-----  
REGISTERED OWNER(S)  
REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION  
-----

802 158 169 14/07/1980 \$120,000

OWNERS

ST. JOHN'S INSTITUTE.  
OF 11024 - 82 AVENUE, EDMONTON  
ALBERTA

-----  
ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION  
NUMBER DATE (D/M/Y) PARTICULARS  
-----

112 161 715 01/06/2011 MORTGAGE  
MORTGAGEE - KEB HOLDINGS INC.  
301,52319 RR231  
SHERWOOD PARK  
ALBERTA T8B1A8  
ORIGINAL PRINCIPAL AMOUNT: \$500,000

122 128 058 27/04/2012 MORTGAGE  
MORTGAGEE - KEB HOLDINGS INC.  
301,52319 RR231  
SHERWOOD PARK  
ALBERTA T8B1A8  
ORIGINAL PRINCIPAL AMOUNT: \$750,000

( CONTINUED )

-----  
ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 802 158 169

REGISTRATION

NUMBER      DATE (D/M/Y)      PARTICULARS

-----

132 208 088      10/07/2013 DISCHARGE OF MORTGAGE 122128058

202 077 912      08/04/2020 CAVEAT  
RE : VENDOR'S LIEN  
CAVEATOR - ST. JOHN'S INSTITUTE.  
C/O DENTONS CANADA LLP  
2500 STANTEC TOWER  
10220 103              AVENUE  
EDMONTON  
ALBERTA T5J0K4  
AGENT - SIERRA HEISLER

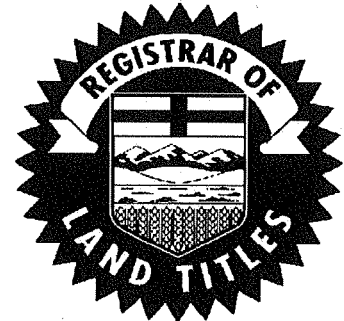
202 078 059      09/04/2020 TRANSFER OF LAND  
OWNERS - THE CITY OF EDMONTON.  
#1 SIR WINSTON CHURCHILL SQUARE, EDMONTON  
ALBERTA T5J2R7  
NEW TITLE ISSUED

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN  
ACCURATE REPRODUCTION OF THE CERTIFICATE OF  
TITLE REPRESENTED HEREIN THIS 9 DAY OF  
FEBRUARY, 2021 AT 09:37 A.M.

ORDER NUMBER: 40996671

CUSTOMER FILE NUMBER: 7545294



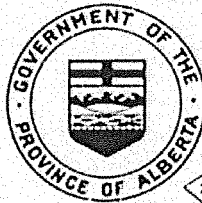
\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED  
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,  
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,  
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS  
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING  
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S) .

# Certificate of Title

Canada



NO.	8	0	2	1	5	8	1	6	9
REF.	1	0	7	-	J	-	1	8	5
VALUES	1	2	0	0	0	0	0	0	0

M	RG.	TWP.	SEC.	D.	PT.
1					

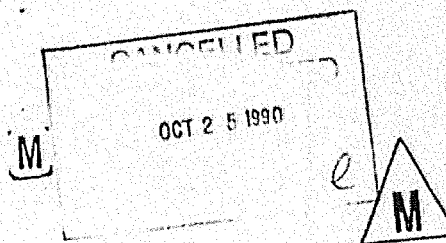
PLAN	BLK.	LOT	PT.
1-19	157	17	

## North Alberta Land Registration District

THIS IS TO CERTIFY that ST. JOHN'S INSTITUTE

IS now the owner of an estate in fee simple  
of and in

PLAN I-19  
BLOCK ONE HUNDRED AND FIFTY SEVEN (157)  
LOT SEVENTEEN (17)  
EDMONTON



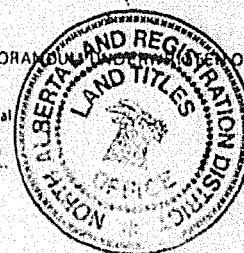
SUBJECT TO THE ENCUMBRANCES, LIENS, ESTATES OR INTERESTS NOTIFIED BY MEMORANDUM OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

IN WITNESS WHEREOF I have hereunto subscribed my name and affixed my official seal

this 14 day of JULY, A.D. 1980

Post Office Address 11024 - 82 AVENUE

EDMONTON, ALBERTA



*Cal Rodriguez* AD. Registrar  
North Alberta Land Registration District

**Show Other Abbreviations Here**

NAME ST. JOHN'S INSTITUTE  
LAND PLAN 1-19, BLK 157, LOT 17

**CHARGES, LIENS AND INTERESTS.**

[illegible]

M.	CANCELLED	OCT 2 5 1990	53
----	-----------	--------------	----

**CANCELLED**  
Certificate of Title

Canada

RENEWAL  
874 M.F.

M



NO.	1	0	7	-	J	-	1	8	5
REF.	1	1	8	-	0	-	5	2	
VALUE \$			1	4	0	0	0	0	0

M	R.G.	TWP.	SEC.	O.	PT.
1					

PLAN	BLK.	LOT	PT.
2	I - 19	157	17

## North Alberta Land Registration District

THIS IS TO CERTIFY that ALICE COWAN OF EDMONTON,  
IN THE PROVINCE OF ALBERTA

IS now the owner of an estate in fee simple

of and in

PLAN I-19

BLOCK ONE HUNDRED AND FIFTY SEVEN (157)

LOT SEVENTEEN (17)

EDMONTON

TITLE CANCELLED	No. 802158169
<i>on full</i>	
on this 14 day of July 1980	
<i>A. D. Registrar</i>	

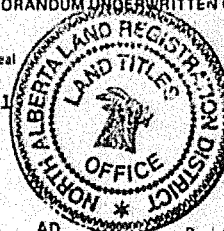
SUBJECT TO THE ENCUMBRANCES, LIENS, ESTATES OR INTERESTS NOTIFIED BY MEMORANDUM UNDERWRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

IN WITNESS WHEREOF I have hereunto subscribed my name and affixed my official seal

this SEVENTEENTH day of MARCH, A.D. 1981

Post Office Address EDMONTON, ALTA.

JPR



AD

Registrar



E - Easement  
C - Caveat  
T - Transmission  
TT - Transfer  
M - Mortgage  
URW - Utility Right of Way  
BL - Builders Lien  
TN - Tax Notification  
WE - Writ of Execution  
CC - Covenants and Conditions  
ENCUM - Encumbrance

NAME ALICE COWAN  
LAND PLAN I-19 BLK 157 LOT 17

**CANCELLED**

## CHARGES, LIENS AND INTERESTS.

TITLE	1	0	7	-	J	-	1	8	5
-------	---	---	---	---	---	---	---	---	---

[illegible]

LAND TITLES ACT, Sec. 84.—The land mentioned in any certificate of title granted under this Act shall be impeded and voidable any special condition therein be subject to:

- Any subsequent reservation or exception including royalties contained in the original grant of the land from the Crown;
- All unpaid taxes, including irrigation and drainage district rates;
- Any public highway or right-of-way or other public easement, however created, upon, over or in respect of the land;
- Any subsisting lease or agreement for a lease for a period not exceeding three years, where there is actual occupation of the land under the lease;
- Any decree, order or execution against or affecting the interest of the owner of the land which have been registered and maintained in force against the owner;
- Any right of representation which may be stated to exist in any person, body corporate, or firm;
- Any right-of-way or other easement granted or reserved under the provisions of any Act or law in force in the Province.



**CANCELLED**

Issued on instrument registered at 10.06 o'clock  
A. M. on the 17 day of MAR.  
A. D. 19 61  
Number 874 Book M. F. Page 28  
J. M. THOM  
Registrar N. A. L. R. D.

# Certificate of Title

Assoc. Fund Value \$14,000.00

Refer Cert. No. 118-0-52

North Alberta Land Registration District.  
This is to Certify that ALICE COWAN

OF EDMONTON IN THE PROVINCE OF ALBERTA, CANADA, (HOUSEWIFE)

is now the owner of an estate in fee simple  
of and in

LOT SEVENTEEN (17) IN BLOCK ONE HUNDRED AND FIFTY SEVEN

(157) IN THE CITY OF EDMONTON, AFORESAID, AS SHOWN ON SUBDIVISION

PLAN 1-19.

TITLE CANCELLED  
on full and complete payment  
on this 15 day of June 1961  
A. D. Registrar J. M. THOM

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this

SEVENTEENTH day of MARCH A. D. 19 61

DN

*J. M. THOM* Registrar

P.O. Address EDMONTON, ALTA.

North Alberta Land Registration District

OVER



118052



# Certificate of Title.


**CANCELLED**

Issued on instrument registered at 356 1/2 dock  
 1 m. on the 2 day of June  
 A.D. 19 21  
 Number 2218 Book 24 Page 237  
 W. L. Boone  
 Register A.L.R.D.

Assn. Fund Value \$ 12.00 ac.  
Unearned Inc. Value 12.00 oo

7th Alberta Land Registration District.

Refers Cont. No. 218019

This is to Certify that Harold Wales Cowan.  
of Edmonton, in the Province of Alberta Dominion  
of Canada "Veterinary Inspector" 



is now the owner of an estate in fee simple.

of and in Lot Seventeen (17) Block One hundred and fifty-seven (157) as shown on a Plan of Part of the said City of Camonton, of record in the Land Title Office for this Land Registration District as Plan E. 19.

**CANCELLED**

Satisfactory proof having been given of the loss of the Duplicate of the Certificate of Title a Fresh Duplicate has been issued this 17 day of Mar 1964  
as Day Book No. 673 M.F.

A. D. Register

THIS CERTIFICATE OF TITLE IS CANCELLED

*In full*

IN ACCORDANCE WITH TRANSFERRED SUBJECT TO A VEHICLE AND A MOTOR VEHICLE RESERVATION TO A NEWLY ISSUED CERTIFICATE OF TITLE NO. 107-J-185

ISSUED THIS 17 DAY OF March 1961

TO Allice Cwano

DB 874 M.F. / 807 200

AD REGISTRAR

subject to the encumbrances, liens and interests notified by memorandums underwritten or endorsed hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this Second

day of June A.D. 1921

W. H. Boone Registrar,

JUN 7 1962

P.O. Address Edmonton Alta 7th Alberta Land Registration District.



218  
I certify that the within instrument was  
duly entered and kept on file in the Land  
Titles Office for the Province of Alberta Land  
Registration District at Edmonton in the  
Province of Alberta at \_\_\_\_\_ o'clock  
P.M. on the 29 day of May  
A.D. 1914 Number 1934 Book 149  
Fol 136  
W. L. Brown Registrar.  
M. A. L. R. D.

**NORTH ALBERTA** *Land Registration District.*

This is to Certify that Elmer H. C. McLaughlin  
of the City of Edmonton in the Province of Alberta Dominion  
of Canada. Gentleman.

is now the owner of an estate in fee simple.

of and in lot numbered Section (17) in Block One Hundred  
and Fifty-seven (17) as shown on a Plan of a part of  
the said City of Edmonton of record in the Land Titles office  
for the Land Registration District as Plan I<sup>12</sup>

*This Contracting*

in full. 118K52  
 2. June  
 Hardt W. Brown  
 7732 C.K.  
 Pine head

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this twenty fourth day of March A.D. 1912

P.O. Address Edmonton Alberta

*W. Keone* as Registrar,  
NORTH ALBERTA  
Land Registration District.

137 65

137 ✓

CANADA

Refer Cert No. 5564

# Duplicate Certificate of Title.

I certify that the within Instrument is duly entered and registered in the Land Title Office for the North Alberta Land Registration District at Edmonton on the 14th day of October 1906 at 2.30 p.m. A.D. 1906 Register 2746  
J. L. McLaughlin  
R.A.L.S.D.

NORTH ALBERTA Land Registration District



This is to Certify that James Y. Mitchell of the Town of Brathena, in the Province of Alberta, Canada, Plaintiff is now the owner of an estate in fee simple of and in lot numbered Seventeen (17) and Eighteen (18) in Block One Hundred and Fifty-six (156) as shown on a plan of part of the Townsite of Brathena, aforesaid of Record in the Land Titles Office in this Land Registration District as Plan I 19

CANCELLED

This Certificate of Title is cancelled Lot 18 & the full 118 7 12 and a new Certificate of Title No. 21901 issued this 29th day of March A.D. 1914 to E.C. McLaughlin 6134 B.1 as executor

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this Eleventh day of October. A.D. 1906.

P. O. Address Brathena, Alta.

J. L. McLaughlin Registrar, NORTH ALBERTA Land Registration District.

This Certificate of Title is cancelled Lot 17 Blk 157 and a new Certificate of Title No. 21901 issued this 29th day of March A.D. 1914 to E.C. McLaughlin as executor

CANADA  
TERRITORIES

# Certificate of Title

Office of the Registrar  
North West Territories  
on the 18th day of Oct.  
A.D. 1904  
Vol 49  
Page 102  
Registrar  
A. L. R. O.

North Alberta Land Registration District



This is to Certify that Saurel Garneau, of Strathcona, in the District of Alberta, in the North West Territories of Canada, Gentleman

is now the owner of an estate in fee simple of and in Sots numbered Three (3) Four (4) Eight (8) and Nine (9) in Block lettered "A"; Sots One (1) to Thirty four (34), both inclusive, in Block One hundred and fifty four (154); Sots Two (2) to Fifteen (15) both inclusive in Block One hundred and fifty five (155); Sots One (1) to Thirty two (32) both inclusive in Block One hundred and fifty seven (157); and Sots One (1) to Thirty four (34), both inclusive, in Block One hundred and fifty eight (158), all in the townsite of Strathcona, aforesaid, as shown on a plan of an addition to the said Townsite, being a subdivision of a part of River Lot Seven (7) of the Edmonton Settlement, of record in the Land Titles Office for this Land Registration District as Plan "I 12";

This Certificate of Title is cancelled  
as to Sots 154, 155, 157, 158  
and a new Certificate of Title (No. 5803)  
issued this 18th day of October  
A.D. 1904 to M. E. Hearrick

This Certificate of Title is cancelled  
as to Sots 154, 155, 157, 158  
and a new Certificate of Title (No. 5803)  
issued this 18th day of October  
A.D. 1904 to M. E. Hearrick

This Title was  
cancelled in full  
to rely on the 1st  
June 1907 and the  
1st of June 1907  
issued to M. E. Hearrick  
18th day of October 1904  
Registrar

subject to the encumbrances, liens and interests notified by memorandums underwritten or endorsed  
hereon, or which may hereafter be made in the register.

In witness whereof I have hereunto subscribed my name and affixed my official  
seal this first day of October A.D. 1904

P. O. Address, Strathcona, Alta.

Registrar  
North Alberta Land Registration District

This Certificate of Title is cancelled  
as to Sots 314, 315, 316, 317  
and a new Certificate of Title (No. 5803)  
issued this 18th day of October  
A.D. 1904 to M. E. Hearrick

This Certificate of Title is cancelled  
as to Sots 314, 315, 316, 317  
and a new Certificate of Title (No. 5803)  
issued this 18th day of October  
A.D. 1904 to M. E. Hearrick

This Certificate of Title is cancelled  
as to Sots 314, 315, 316, 317  
and a new Certificate of Title (No. 5803)  
issued this 18th day of October  
A.D. 1904 to M. E. Hearrick

*(Signature)*

Till is cancelled  
At 10 7  
Till (No. 1002)  
Day of May  
Thompson  
Gentry

This is cancelled  
 release in dept  
 of A  
 Title (No 13003)  
 day of June  
 1964  
 1964

of Tilla is cancelled  
24th Nov 1887  
of Tilla (2021-2-3)  
day of July  
1887  
G. S. S. S.

3M 154 - 6V 1/2  
Super  
Camera  
Garry

Scorrey  
Signature  
The results expected  
by K.M. W.S.  
of this (X) X  
copy of X  
Scorrey

*[Handwritten:]* Registered  
No. 107  
101 G.  
*[Signature]*  
Allegados  
H. H. Roy

9/10/67  
Title is cancelled  
No. 1574  
g.b.NK  
J. J. Jones  
6/10/67

*[Handwritten signature]*

*[Handwritten signature]*

*7-4109*  
Requies  
*Mm. 1524*  
*320*  
*and Mary*  
*Inman*  
*Requies*

of Title is cancelled  
 of Title (No. 200 P)  
 3 day of... only  
 Registrar

of Title is cancelled  
2nd Feb 1874  
of Title (No. 1874)  
day of July  
and 1874  
G. H. H. H.

Register  
This is cancelled  
18th 1874  
of Title (No. 1874)  
day of April  
1874  
1874

10/10/19  
 Registrar  
 Title is cancelled  
 Blk 157  
 Title No. 28D-  
 City of Chicago  
 County of Cook

157  
153 6/4  
High.

*Lorray*  
is cancelled  
*7157*  
*137*  
*Oct*  
*Gutcher*

Title is cancelled  
 1918  
 (No. 2174)  
 7 July  
 William

21<sup>st</sup> day of Dec  
St. Rindan

*July 1894*  
Certificate of Title is  
7 & 8 Calcutta 1894  
Certificate of Title (X)  
27th day of July  
1894

10. *John A. Jones*  
*John A. Jones*  
 11. *John A. Jones*  
 12. *John A. Jones*  
 13. *John A. Jones*  
 14. *John A. Jones*  
 15. *John A. Jones*  
 16. *John A. Jones*  
 17. *John A. Jones*  
 18. *John A. Jones*  
 19. *John A. Jones*  
 20. *John A. Jones*

State of Title is copy  
 of 1/4 18th  
 Years of Title (No) 68  
 1. pay for copy  
of estate  
207 904

1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12  
 13  
 14  
 15  
 16  
 17  
 18  
 19  
 20  
 21  
 22  
 23  
 24  
 25  
 26  
 27  
 28  
 29  
 30  
 31  
 32  
 33  
 34  
 35  
 36  
 37  
 38  
 39  
 40  
 41  
 42  
 43  
 44  
 45  
 46  
 47  
 48  
 49  
 50  
 51  
 52  
 53  
 54  
 55  
 56  
 57  
 58  
 59  
 60  
 61  
 62  
 63  
 64  
 65  
 66  
 67  
 68  
 69  
 70  
 71  
 72  
 73  
 74  
 75  
 76  
 77  
 78  
 79  
 80  
 81  
 82  
 83  
 84  
 85  
 86  
 87  
 88  
 89  
 90  
 91  
 92  
 93  
 94  
 95  
 96  
 97  
 98  
 99  
 100  
 101  
 102  
 103  
 104  
 105  
 106  
 107  
 108  
 109  
 110  
 111  
 112  
 113  
 114  
 115  
 116  
 117  
 118  
 119  
 120  
 121  
 122  
 123  
 124  
 125  
 126  
 127  
 128  
 129  
 130  
 131  
 132  
 133  
 134  
 135  
 136  
 137  
 138  
 139  
 140  
 141  
 142  
 143  
 144  
 145  
 146  
 147  
 148  
 149  
 150  
 151  
 152  
 153  
 154  
 155  
 156  
 157  
 158  
 159  
 160  
 161  
 162  
 163  
 164  
 165  
 166  
 167  
 168  
 169  
 170  
 171  
 172  
 173  
 174  
 175  
 176  
 177  
 178  
 179  
 180  
 181  
 182  
 183  
 184  
 185  
 186  
 187  
 188  
 189  
 190  
 191  
 192  
 193  
 194  
 195  
 196  
 197  
 198  
 199  
 200  
 201  
 202  
 203  
 204  
 205  
 206  
 207  
 208  
 209  
 210  
 211  
 212  
 213  
 214  
 215  
 216  
 217  
 218  
 219  
 220  
 221  
 222  
 223  
 224  
 225  
 226  
 227  
 228  
 229  
 230  
 231  
 232  
 233  
 234  
 235  
 236  
 237  
 238  
 239  
 240  
 241  
 242  
 243  
 244  
 245  
 246  
 247  
 248  
 249  
 250  
 251  
 252  
 253  
 254  
 255  
 256  
 257  
 258  
 259  
 260  
 261  
 262  
 263  
 264  
 265  
 266  
 267  
 268  
 269  
 270  
 271  
 272  
 273  
 274  
 275  
 276  
 277  
 278  
 279  
 280  
 281  
 282  
 283  
 284  
 285  
 286  
 287  
 288  
 289  
 290  
 291  
 292  
 293  
 294  
 295  
 296  
 297  
 298  
 299  
 300  
 301  
 302  
 303  
 304  
 305  
 306  
 307  
 308  
 309  
 310  
 311  
 312  
 313  
 314  
 315  
 316  
 317  
 318  
 319  
 320  
 321  
 322  
 323  
 324  
 325  
 326  
 327  
 328  
 329  
 330  
 331  
 332  
 333  
 334  
 335  
 336  
 337  
 338  
 339  
 340  
 341  
 342  
 343  
 344  
 345  
 346  
 347  
 348  
 349  
 350  
 351  
 352  
 353  
 354  
 355  
 356  
 357  
 358  
 359  
 360  
 361  
 362  
 363  
 364  
 365  
 366  
 367  
 368  
 369  
 370  
 371  
 372  
 373  
 374  
 375  
 376  
 377  
 378  
 379  
 380  
 381  
 382  
 383  
 384  
 385  
 386  
 387  
 388  
 389  
 390  
 391  
 392  
 393  
 394  
 395  
 396  
 397  
 398  
 399  
 400  
 401  
 402  
 403  
 404  
 405  
 406  
 407  
 408  
 409  
 410  
 411  
 412  
 413  
 414  
 415  
 416  
 417  
 418  
 419  
 420  
 421  
 422  
 423  
 424  
 425  
 426  
 427  
 428  
 429  
 430  
 431  
 432  
 433  
 434  
 435  
 436  
 437  
 438  
 439  
 440  
 441  
 442  
 443  
 444  
 445  
 446  
 447  
 448  
 449  
 450  
 451  
 452  
 453  
 454  
 455  
 456  
 457  
 458  
 459  
 460  
 461  
 462  
 463  
 464  
 465  
 466  
 467  
 468  
 469  
 470  
 471  
 472  
 473  
 474  
 475  
 476  
 477  
 478  
 479  
 480  
 481  
 482  
 483  
 484  
 485  
 486  
 487  
 488  
 489  
 490  
 491  
 492  
 493  
 494  
 495  
 496  
 497  
 498  
 499  
 500  
 501  
 502  
 503  
 504  
 505  
 506  
 507  
 508  
 509  
 510  
 511  
 512  
 513  
 514  
 515  
 516  
 517  
 518  
 519  
 520  
 521  
 522  
 523  
 524  
 525

11. 12th 155  
 7th day of Feb  
 T. J. McLaughlin

Date of Title is correct  
 Book 158  
 Page of Title (No. 56)  
 ...day of April  
 Stewart Child

day of August  
Edward G. Hill  
Barren  
County of Tillamook is cancelled  
33 1858  
Copies of Tills No. 8  
14 copies of need

a Fairwell  
 1/21/21  
 Reg  
 of Title is  
 Pat 21m Black 154  
 of Title (No 2)  
 5th day of Feb  
 1921

Lot 18, Block 157, Plan I19



HISTORICAL LAND TITLE CERTIFICATE  
CURRENT TITLE WITH HISTORICAL DATA

S.  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0015 558 399            I19;157;18                      202 078 059 +1

LEGAL DESCRIPTION  
PLAN I19  
BLOCK 157  
LOT 18  
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE  
ATS REFERENCE: 4;24;52;7;RL

MUNICIPALITY: CITY OF EDMONTON

REFERENCE NUMBER: 822 075 640

---

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
202 078 059	09/04/2020	TRANSFER OF LAND		SEE INSTRUMENT

---

OWNERS

THE CITY OF EDMONTON.  
OF #1 SIR WINSTON CHURCHILL SQUARE, EDMONTON  
ALBERTA T5J 2R7

---

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
112 161 715	01/06/2011	MORTGAGE MORTGAGEE - KEB HOLDINGS INC. 301,52319 RR231 SHERWOOD PARK ALBERTA T8B1A8 ORIGINAL PRINCIPAL AMOUNT: \$500,000
202 077 912	08/04/2020	CAVEAT RE : VENDOR'S LIEN CAVEATOR - ST. JOHN'S INSTITUTE.

( CONTINUED )



-----  
ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 202 078 059 +1

REGISTRATION  
NUMBER      DATE (D/M/Y)      PARTICULARS  
-----

C/O DENTONS CANADA LLP  
2500 STANTEC TOWER  
10220 103              AVENUE  
EDMONTON  
ALBERTA T5J0K4  
AGENT - SIERRA HEISLER

202 087 251      22/04/2020 DISCHARGE OF MORTGAGE 112161715

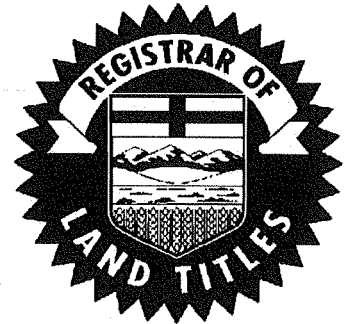
202 090 721      27/04/2020 DISCHARGE OF CAVEAT 202077912

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN  
ACCURATE REPRODUCTION OF THE CERTIFICATE OF  
TITLE REPRESENTED HEREIN THIS 9 DAY OF  
FEBRUARY, 2021 AT 09:26 A.M.

ORDER NUMBER: 40996479

CUSTOMER FILE NUMBER: 7545294



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED  
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,  
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,  
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS  
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING  
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



HISTORICAL LAND TITLE CERTIFICATE  
CURRENT TITLE WITH HISTORICAL DATA

S  
LINC                      SHORT LEGAL                      TITLE NUMBER  
0015 558 399            I19;157;18                      202 078 059 +1

LEGAL DESCRIPTION  
PLAN I19  
BLOCK 157  
LOT 18  
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE  
ATS REFERENCE: 4;24;52;7;RL

MUNICIPALITY: CITY OF EDMONTON

REFERENCE NUMBER: 822 075 640

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
202 078 059	09/04/2020	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

THE CITY OF EDMONTON.  
OF #1 SIR WINSTON CHURCHILL SQUARE, EDMONTON  
ALBERTA T5J 2R7

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
112 161 715	01/06/2011	MORTGAGE MORTGAGEE - KEB HOLDINGS INC. 301,52319 RR231 SHERWOOD PARK ALBERTA T8B1A8 ORIGINAL PRINCIPAL AMOUNT: \$500,000
202 077 912	08/04/2020	CAVEAT RE : VENDOR'S LIEN CAVEATOR - ST. JOHN'S INSTITUTE.

( CONTINUED )

-----  
ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 202 078 059 +1

REGISTRATION  
NUMBER DATE (D/M/Y) PARTICULARS  
-----

C/O DENTONS CANADA LLP  
2500 STANTEC TOWER  
10220 103 AVENUE  
EDMONTON  
ALBERTA T5J0K4  
AGENT - SIERRA HEISLER

202 087 251 22/04/2020 DISCHARGE OF MORTGAGE 112161715

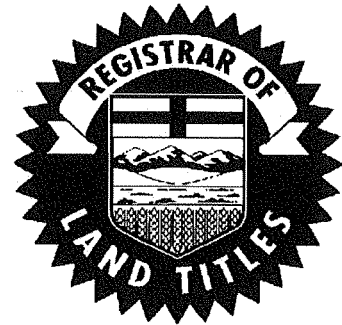
202 090 721 27/04/2020 DISCHARGE OF CAVEAT 202077912

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN  
ACCURATE REPRODUCTION OF THE CERTIFICATE OF  
TITLE REPRESENTED HEREIN THIS 9 DAY OF  
FEBRUARY, 2021 AT 09:26 A.M.

ORDER NUMBER: 40996479

CUSTOMER FILE NUMBER: 7545294



\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED  
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,  
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,  
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS  
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING  
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



HISTORICAL LAND TITLE CERTIFICATE  
TITLE CANCELLED ON APRIL 09, 2020

S  
LINC SHORT LEGAL TITLE NUMBER  
0015 558 399 I19;157;18 822 075 640

LEGAL DESCRIPTION  
PLAN I19  
BLOCK 157  
LOT 18  
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE  
ATS REFERENCE: 4;24;52;7;RL

MUNICIPALITY: CITY OF EDMONTON

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
822 075 640	06/04/1982		\$108,500	

OWNERS

ST. JOHN'S INSTITUTE.  
OF 11024 - 82 AVENUE, EDMONTON  
ALBERTA

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
112 161 715	01/06/2011	MORTGAGE MORTGAGEE - KEB HOLDINGS INC. 301,52319 RR231 SHERWOOD PARK ALBERTA T8B1A8 ORIGINAL PRINCIPAL AMOUNT: \$500,000
122 128 058	27/04/2012	MORTGAGE MORTGAGEE - KEB HOLDINGS INC. 301,52319 RR231 SHERWOOD PARK ALBERTA T8B1A8

( CONTINUED )

-----  
ENCUMBRANCES, LIENS & INTERESTS

PAGE 2  
# 822 075 640

REGISTRATION  
NUMBER      DATE (D/M/Y)      PARTICULARS  
-----

ORIGINAL PRINCIPAL AMOUNT: \$750,000

132 208 088      10/07/2013 DISCHARGE OF MORTGAGE 122128058

202 077 912      08/04/2020 CAVEAT

RE : VENDOR'S LIEN  
CAVEATOR - ST. JOHN'S INSTITUTE.  
C/O DENTONS CANADA LLP  
2500 STANTEC TOWER  
10220 103      AVENUE  
EDMONTON  
ALBERTA T5J0K4  
AGENT - SIERRA HEISLER

202 078 059      09/04/2020 TRANSFER OF LAND

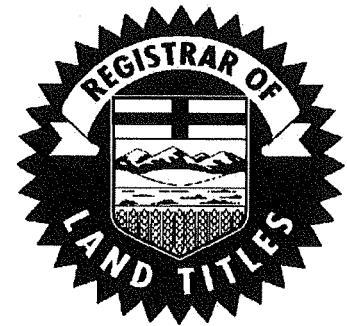
OWNERS - THE CITY OF EDMONTON.  
#1 SIR WINSTON CHURCHILL SQUARE, EDMONTON  
ALBERTA T5J2R7  
NEW TITLE ISSUED

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN  
ACCURATE REPRODUCTION OF THE CERTIFICATE OF  
TITLE REPRESENTED HEREIN THIS 9 DAY OF  
FEBRUARY, 2021 AT 09:26 A.M.

ORDER NUMBER:      40996479

CUSTOMER FILE NUMBER:      7545294



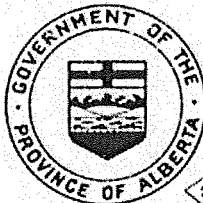
\*END OF CERTIFICATE\*

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED  
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,  
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM  
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,  
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS  
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING  
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S) .

# Certificate of Title

Canada



NO.	8	2	2	0	7	5	6	4	0
REF.	7	7	2	1	2	4	7	5	1
VALUE \$	1	0	8	5	0	0	0	0	0

M	R.G.	TWP.	SEC.	O.	PT.
1					

PLAN	BLK.	LOT	PT.
2	1-19	157	18

## North Alberta Land Registration District

THIS IS TO CERTIFY that ST. JOHN'S INSTITUTE OF EDMONTON, IN THE PROVINCE OF ALBERTA.

IS now the owner of an estate in fee simple  
of and in

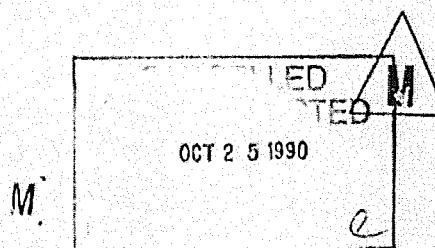
PLAN 1-19

BLOCK ONE HUNDRED AND FIFTY SEVEN (157)

LOT EIGHTEEN (18)

(EDMONTON - R.L. 7)

EXCEPTING THEREOUT ALL MINES AND MINERALS.



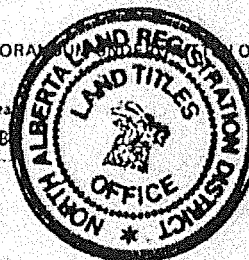
SUBJECT TO THE ENCUMBRANCES, LIENS, ESTATES OR INTERESTS NOTIFIED BY MEMORANDUM OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

IN WITNESS WHEREOF I have hereunto subscribed my name and affixed my official seal

this 6 day of APRIL, A.D. 19

Post Office Address 11024-82 AVE.

EDMONTON, ALTA.



*[Signature]* A.D. Registrar

North Alberta Land Registration District

A.G. 699  
Rev. 7/77

JH

## ABBREVIATIONS

E - Easement  
C - Caveat  
Tr - Transmission  
Tr - Transfer  
Mtrg - Mortgage  
URW - Utility Right of Way  
BL - Builders Lien  
TN - Tax Notification  
WE - Writ of Execution  
CC - Covenants and Conditions  
ENCUM - Encumbrance

**Show Other Abbreviations Here**

ST. JOHN'S INSTITUTE

PLAN I-19 BLK 157 LOT 18

## CHARGES, LIENS AND INTERESTS.

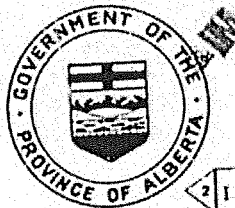
[illegible]



Canada

**CANCELLED**

# Certificate of Title



NO.	7	7	2	1	2	4	7	5	1
REF.	7	7	2	1	0	7	1	0	7
VALUES			6	9	9	1	5	0	0

M	RG.	TWP.	SEC.	O.	PT.
1					

PLAN	BLK.	LOT	PT.
21-19	157	18	

## North Alberta Land Registration District

THIS IS TO CERTIFY that RICHARD MICHAEL KANE AND JO-ANN KANE (HIS WIFE),  
BOTH OF EDMONTON, IN THE PROVINCE OF ALBERTA  
ARE now the owner S of an estate in fee simple AS JOINT TENANTS  
of and in

PLAN 1-19

BLOCK ONE HUNDRED AND FIFTY SEVEN (157)

LOT EIGHTEEN (18)

(EDMONTON - R.L. 7)

EXCEPTING THEREOUT ALL MINES AND MINERALS

**TITLE CANCELLED** No. 10207561  
on this 6 day of APRIL 1982  
A.D. Registrar

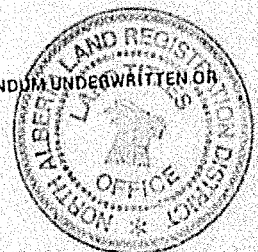
SUBJECT TO THE ENCUMBRANCES, LIENS, ESTATES OR INTERESTS NOTIFIED BY MEMORANDUM UNDERWRITTEN OR  
ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

IN WITNESS WHEREOF I have hereunto subscribed my name and affixed my official seal

this 4TH day of JULY, A.D. 1977

Post Office Address 11049 - 83 AVE.,

EDMONTON, ALTA.



P. J. Anderson AD Registrar  
North Alberta Land Registration District



Show Other Abbreviations Here

NAME RICHARD MICHAEL KANE ET. AL.  
LAND I-19 BLK 157 LOT 18

## CHARGES, LIENS AND INTERESTS:

## ABBREVIATIONS

E - Easement  
C - Caveat  
Tr - Transmission  
Trf - Transfer  
Mtg - Mortgage  
URW - Utility Right of Way  
BL - Builders Lien  
TN - Tax Notification  
WE - Writ of Execution  
C.C. - Covenants and Conditions  
ENCUM - Encumbrance

TITLE							
NO.	7	7	2	1	2	4	7 5 1

[illegible]

**CANCELLED**  
Certificate of Title

Canada



NO.	7	7	2	1	0	7	1	0	7
REF.	7	5	2	0	2	0	3	1	1
VALUE \$			6	3	4	5	0	0	0

M.	R.G.	TWP.	SEC.	O.	PT.
1					

PLAN	BLK.	LOT	PT.
1-19	157	18	

**North Alberta Land Registration District**

THIS IS TO CERTIFY that **DARLENE E. LEICKNER**  
OF EDMONTON, IN THE PROVINCE OF ALBERTA

IS now the owner of an estate in fee simple  
of and in

PLAN 1-19  
BLOCK ONE HUNDRED AND FIFTY SEVEN (157)  
LOT EIGHTEEN (18)

(EDMONTON - R.L. 7)

EXCEPTING THEREOUT ALL MINES AND MINERALS.

TITLE CANCELLED	772124751
on this	4 day of July 1977
A. D. Registrar	



SUBJECT TO THE ENCUMBRANCES, LIENS, ESTATES OR INTERESTS NOTIFIED BY MEMORANDUM OR OTHERWISE AND ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

IN WITNESS WHEREOF I have hereunto subscribed my name and affixed my official seal

this 10 day of JUNE, A.D. 1977

Post Office Address SUITE 11, 7604-95 STREET

EDMONTON, ALBERTA

title CANCELLED

**DARLENE E. LEITCH** **CANCELLED**

LAND I-19, BLK 157, LOT 18

## CHARGES, LIENS AND INTERESTS.

E - Easement	URW - Utility Right of Way
C - Caveat	BL - Builders Lien
Tr - Transmission	TN - Tax Notification
Tfr - Transfer	WE - Writ of Execution
Mtge - Mortgage	CC - Covenants and Conditions
	ENCUM - Encumbrance

TITLE	7	7	2	1	0	7	1	0	7
NO.									

[illegible]



CANCELLED

Certificate of Title

Canada



M NO.	7	5	2	0	2	0	3	1	1
REF.	7	3		1	2	4	9		
VALUES		3	7	0	0	0	0	0	0

M	RG.	TWP.	SEC.	O.	PT.
1					

PLAN	BLK.	LOT	PT.
1	1	9	1
5	7	1	8

North Alberta Land Registration District

THIS IS TO CERTIFY that EDWARD BEVERLY BRANCH (THE YOUNGER) AND MARY ETTE BRANCH  
(HIS WIFE) BOTH OF EDMONTON, IN THE PROVINCE OF ALBERTA

now the owner of an estate in fee simple AS JOINT TENANTS

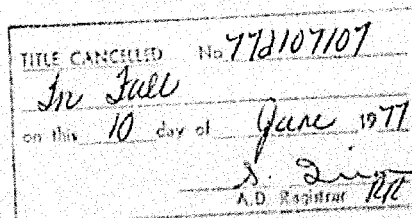
of and in LOT EIGHTEEN (18)

IN BLOCK ONE HUNDRED AND FIFTY SEVEN (157)

ON PLAN I-19.

(EDMONTON - R.L. 7)

EXCEPTING THEREOUT ALL MINES AND MINERALS.



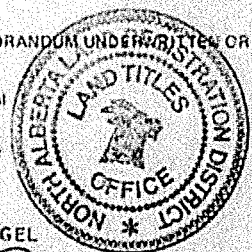
SUBJECT TO THE ENCUMBRANCES, LIENS, ESTATES OR INTERESTS NOTIFIED BY MEMORANDUM UNDERWRITTEN OR  
ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

IN WITNESS WHEREOF I have hereunto subscribed my name and affixed my official seal

this 3 day of MARCH A.D. 1975

Post Office Address 11049 - 83 AVENUE,

EDMONTON, ALTA.



GEL

*K. Pearce* A.D. Registrar

Show Other Abbreviations Here

**CANCELLED**  
EDWARD BEVERLY BRANCH (JR.) ET AL

1-10 BLK-157:0118

**CHARGES, LIENS AND INTERESTS.**

[illegible]

LAND TITLES ACT, Sec. 84 — The land mentioned in any certificate of title granted under this Act shall be subject to the following conditions:

- Any subsisting reservations or exceptions including royalties contained in the original grant of the land from the Crown;
- All world taxes, including utilities and drainage district rates;
- Any public highway or right-of-way or other public easement, however created upon, over or in respect of the land;
- Any subsisting lease or agreement for a lease for a period not exceeding three years, where there is actual occupation of the land under the lease;
- Any decrees, orders or executions against or affecting the interest of the owner of the land which have been registered and maintained in force against the owner;
- Any right of expropriation which may by statute be vested in any person, body corporate, or Her Majesty;
- Any right-of-way or other easement created or acquired under the provisions of any Act or law in force in the Province.



issued on instrument registered at 10,33 Block 73

A. m. on the 15 day of JUNE

A.D. 19 71

Number 886 Book S.P. Folio 28

E.F. GAMACHE  
Registrar, H.A.L.R.D.

# Certificate of Title

JUN 10 1971

Asse. Fund Value \$28,000.00

Refer Cert. No. 249-U-208

North Alberta Land Registration District

This is to Certify that

CHARLES H. BENET (SYSTEMS ANALYST)

AND SANDRA L. BENET (HIS WIFE) BOTH OF EDMONTON IN THE PROVINCE OF ALBERTA, CANADA

IMPORTANT NOTICE  
It will be to the interest of every Owner and Mortgagee to furnish the Land Titles Office, Edmonton, with the full address (Post Office and Street number) or any change in address where Notices of dealings with this Title may be sent.

is now the owner of an estate in fee simple AS JOINT TENANTS AND NOT AS TENANTS IN COMMON.

of and in LOT EIGHTEEN (18) IN BLOCK ONE HUNDRED AND FIFTY SEVEN (157)

IN THE CITY OF EDMONTON, AFORESAID, AS SHOWN ON SUBDIVISION PLAN 1-19.

(R.L. 7)

RESERVING THEREOUT ALL MINES AND MINERALS.

THIS CERTIFICATE IS CANCELLED

IN FULL

IN ACCORDANCE WITH THE ACT AND SUBJECT TO THE PROVISIONS OF THE REGISTRATION ACT AND A NEW CERTIFICATE OF TITLE

ISSUED THIS 3 DAY OF MAR 1971

TO EDWARD BEVERLY BRADSHAW ET AL

DN 75 209,037 J. K. K. A.D. REGISTRAR

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the register

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this FIFTEENTH day of JUNE A.D. 19 71

DN

*Alfred Stephens* A.D. Registrar

P.O. Address 11049-83 AVE.,  
EDMONTON, ALTA.

North Alberta Land Registration District

887 S.P. MTGE. DATED 27-MAY-71 REG. 10,33 AM 15-JUN-71 ABOVE LAND BY CHARLES H. BENET ET AL TO THE ROYAL TRUST COMPANY 10039-JASPER AVE. EDM. ALTA. FOR \$14,000.00 AT 98.

OVER

CANCELLED

LAND TITLES ACT, Sec. 84.—The land mentioned in any certificate of title granted under this Act shall by implication and without any special mention therein, be subject to—

- (1) Any subsisting encumbrances or exceptions including royalties contained in the original grant of the land from the Crown;
- (2) All unpaid taxes, including trifling and drainage district rates;
- (3) Any public high-way or right-of-way or other public easement, however created upon, over or in respect of the land;
- (4) Any subsisting lease or agreement for a lease for a period not exceeding three years, where there is actual occupation of the land under the lease;
- (5) Any leases, rights or easements against or affecting the interest of the owner of the land which have been registered and subsisted in force against the owner;
- (6) Any right of appropriation which may by statute be vested in any person, body corporate, or Her Majesty;
- (7) Any right-of-way or other easement granted or acquired under the provisions of any Act or law in force in the Province.



Issued on instrument registered at 11.29 o'clock 249  
A. m. on the 20 day of OCT.  
A.D. 19 64  
Number 7284 Book H. 5. Folia 222  
L. A. DUHAM'EL  
Registrar, N.A.L.R.D.

# Certificate of Title

Assoc. Fund Value \$14,400.00

Refer. Cert. No. 247-U-208

North Alberta Land Registration District.

This is to Certify that

ALBERT PETER LEHA (GENTLEMAN)

AND ANNE ELIZABETH LEHA (HIS WIFE) BOTH OF EDMONTON, IN THE PROVINCE OF ALBERTA, CANADA.

is now the owner of an estate in fee simple AS JOINT TENANTS AND NOT AS TENANTS IN COMMON.

of and in LOT EIGHTEEN (18) IN BLOCK ONE HUNDRED AND FIFTY SEVEN (157)

IN THE CITY OF EDMONTON, AFORESAID, AS SHOWN ON SUBDIVISION PLAN 1-19

(R.L.S. -7)

RESERVING THEREOUT ALL MINES AND MINERALS.

THIS CERTIFICATE OF TITLE IS CANCELLED

IN ACCORDANCE WITH THE TRANSFER SUBJECT TO THE TERMS AND OR RESERVATIONS THEREIN AND A NEW CERTIFICATE OF TITLE NO. 73-I-249

ISSUED THIS 15 June 1971

TO Charles H. Leha, J.L.

DB 216-S.P.

A.D. REGISTRAR

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this TWENTIETH day of OCTOBER A.D. 19 64

ANS

P.O. Address 11049-83 AVE.,  
EDMONTON, ALTA.

North Alberta Land Registration District

OVER

LAND TITLES ACT, Sec. 64.—The land mentioned in any certificate of title granted under this Act shall by implication and without any special mention therein be subject to—  
 (a) Any subsisting encumbrances or exceptions including easements contained in the original grant of the land from the Crown;  
 (b) All unpaid taxes, including taxation and drainage district rates;  
 (c) Any public highway or right-of-way or other public easement, however created upon, over or in respect of the land;  
 (d) Any subsisting lease or agreement for a lease for a period not exceeding three years, where there is actual occupation of the land under the lease;  
 (e) Any decrees, orders or executions against or affecting the interest in the owner of the land which have been registered and maintained in force against the owner;  
 (f) Any right of reversion which may by statute be vested in any person, body corporate, or Her Majesty;  
 (g) Any right-of-way or other easement granted or required under the provisions of any Act or law in force in the Province.

247-U-208



Issued on instrument registered at 11.26 o'clock  
 A. M. on the 20 day of OCT.  
 A.D. 19 64  
 Number 7283 Book N.S. folio 222  
 L. A. DUMMIEL  
 Registrar, N.A.L.R.D.

247

# Certificate of Title

Asses. Fund Value \$5,650.00

TRANSMISSION

Refer Cert. No. 131-B-115

*North Alberta Land Registration District.*

**This is to Certify that** ANNE ELIZABETH LEVA (NEE LYNDON) (HOUSEWIFE)

AND JOHN LAWRENCE LYNDON (SOLICITOR) BOTH OF EDMONTON, IN THE PROVINCE OF ALBERTA, CANADA,

EXECUTORS OF THE ESTATE OF CHLGE LYNDON (DECEASED)

*is now the owner of an estate in fee simple*



*of and in*

LOT EIGHTEEN (18) IN BLOCK ONE HUNDRED AND FIFTY SEVEN (157)

IN THE CITY OF EDMONTON, AFORESAID, AS SHOWN ON SUBDIVISION PLAN 1-10

(P.L.S. -7)

RESERVING THEREOUT ALL MINES AND MINERALS.

CANCELLED

THIS CERTIFICATE OF TITLE IS CANCELLED  
 IN FULL  
 IN ACCORDANCE WITH THE TRANSFER SUBJECT TO ANY EXCEPTIONS ALLEGED IN RESERVATIONS THEREIN AND A NEW CERTIFICATE OF TITLE NO. 249-U-208  
 ISSUED THIS 20 DAY OF OCT. 1964  
 TO ALBERT PETER LEVA ET AL  
 DB 7284 N.S. A.H. WILSON  
 AD REGISTRAR

*subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the registers*

**In Witness Whereof I have hereunto subscribed my name and affixed my official seal this** TWENTIETH day of OCTOBER A.D. 19 64

AMS

*Stephens* Registrar

PQ Address EDMONTON, ALTA.

*North Alberta Land Registration District*

OVER



*Per [Signature] Registrar*  
*North Alberta Land Registration District.*

LAND TITLES ACT, Sec. 37.—The land mentioned in any certificate of title granted under this Act shall by implication and without any special recital therein, unless the contrary is specially declared, be subject to—  
 (a) Any subsisting reservation or exception contained in the original grant of the land from the Crown;  
 (b) All unpaid taxes, including irrigation or drainage district rates;  
 (c) Any public highway or right-of-way or other public easement, however created, upon, over or in respect of the land;  
 (d) Any subsisting lease or agreement for a lease for a period not exceeding three years, where there is actual occupation of the land under the lease;  
 (e) Any decree, order or execution or other affecting the interest of the owner of the land which have been registered and maintained in force against the owner;  
 (f) Any right of expropriation which may by statute or ordinance be vested in any person, body corporate, or the Municipality;  
 (g) Any right-of-way or other easement granted or acquired under the provisions of any Act or law in force in the Province.



**CANCELLED**

Issued on instrument registered at 10,58 of 66  
 on the 4 day of MAY  
 A.D. 1922  
 No. 6097  
 D. B. No. 199  
 Registered at 222 R.D.

# Certificate of Title.

North Alberta Land Registration District.

Asses. Fund Value \$ 5950

Unearned Inc. Value \$ 500

Refer Cert. No. 25-8-57

**This is to Certify that** MARGARET KERBER

OF EDMONTON IN THE PROVINCE OF ALBERTA DOMINION OF CANADA.

is now the owner of an estate in fee simple.

of and in LOT EIGHTEEN (18) BLOCK ONE HUNDRED AND FIFTY-SEVEN (157); IN RIVER LOT SEVEN (7)

SUBDIVISION OF THE CITY OF EDMONTON AFORESAID OF RECORD IN THE LAND TITLES OFFICE  
 FOR THIS LAND REGISTRATION DISTRICT AS PLAN 1.19.

EXCEPTING THEREOUT ALL MINES AND MINERALS.

**CANCELLED**

This Certificate of Title is cancelled  
 In full  
 and a NEW CERTIFICATE OF TITLE No. 131 B 119  
 Issued this 20 day of August 1947  
 to Charles E. Gordon  
 D.B. No. 185 G.S.  
 Registrar

subject to the encumbrances, liens and interests notified by memorandum endorsed on or endorsed hereon, or which may hereafter be made in the registers

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this FOURTH day of MAY A.D. 1922

P.O. Address EDMONTON ALTA,

North Alberta Land Registration District

5406 DD MTGE DATED 8-OCT-24 REG. 10:08 AM 14-OCT-24 JESSIE FOX TO MUTUAL LIFE ASSCE COY OF CANADA ABOVE LAND FOR \$ 2500 AT 6

5467 DI MTGE DATED 3-MCH-26 REG. 12:20 PM 3-APR-26 JESSIE FOX TO MORRIS GOODMAN ET AL OF TORONTO ONT, ABOVE LAND FOR \$ 1500 AT 7

<p>The above mentioned <u>Mtge</u> No. <u>5406</u>          is discharged by instrument dated the <u>25</u> day          of <u>Oct</u> 1922, Registered at <u>1022</u>          the <u>2</u> day of <u>Nov</u> 1922, at D. B.          No. <u>2302 D.B.</u>  <u>R.M. Leach</u>          Registrar</p>	<p>The above mentioned <u>Mtge</u> No. <u>5467</u>          is discharged by instrument dated the <u>2</u> day          of <u>Oct</u> 1922, Registered at <u>1022</u>          the <u>17</u> day of <u>Oct</u> 1922, at D. B.          No. <u>2302 D.B.</u>  <u>R.M. Leach</u>          Registrar</p>
---	---

**OVER**

The title of Within land  
is subject to a MORTGAGE made by Margaret  
Kerber to Can. Term Trust Ltd.  
of Edmonton for 3000.00 and  
interest thereon at 7 1/2 per cent. Dated the  
16 day of Oct. 1929  
Registered at 104 day of  
Oct. 1929 as 3215 EB  
R McLeod  
Registrar.

This of 14/18 Alh 157  
is subject to a CAVEAT filed by the Assessor of the  
City of Edmonton under Tax Recovery Act, (1922)  
dated 9 Nov. 1931 Reg'd 10 Nov. 1931 as D. B.  
No. 99ES  
Cell 96  
W L Koon  
Registrar.

The above mentioned Caveat No. 99ES  
is discharged by instrument dated the 3 day  
of Feb. 1932 Registered at 133 M.,  
the 4 day of Feb. 1932 as D. B.  
No. 639ES  
W L Koon  
Registrar.

The above mentioned Mortg No. 3215 EB  
is discharged by instrument dated the 26 day  
of March 1938 registered at 1148 M.,  
the 6 day of Aug. 1947 as D. B.  
No. 58926I  
Frederick Barclay  
Registrar.



Issued on instrument registered at... 11<sup>54</sup> o'clock  
 on the 25<sup>th</sup> day of May  
 A.D. 1922.  
 Number 697492 W. X. Fols. 186.  
W. X. Fols. 186.  
 Registrar N. S. D. R. D.

Refers Cont. No. 83-L-53

North Alberta Land Registration District

This is to Certify that Jessie How, of  
Edmonton, in the Province of Alberta, Dominion of Canada  
"Married Woman."

is now the owner of an estate in fee simple  
of and in Lot Eighteen (18), in Block One hundred and  
fifty-seven (157), in River Lot Seven (7), Subdivision of the  
City of Edmonton aforesaid, of record in the Land  
Titles Office for this Land Registration District as Plan I 19

TITLE CANCELLED No. \_\_\_\_\_  
 Per Full under Renewal  
 on this 1st day of June 1976  
 E. D. Register  
 E. D. Register

The Title of Albany Land  
subject to a GAVEAT filed by the Assessor of the  
City of Edmonton under Tax Recovery Act. (1922)  
Dated 13 Nov. 1922, Reg'd 13 Nov. 1922, as D. B.  
No. 494 D. J.  
Folio 217  
*W. H. Lee*  
- Registrar -

This is a *full*  
 Co. No. *874*  
 and a NEW CERTIFICATE OF TITLE No. *46-3*  
 issued this *4* day of *May* 192*6*  
 to *Margaret Reber*  
*6694 DI.*  
 D. B. No. *Ember*  
*157, England*

*subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the register.*

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this Twenty-fifth day of May A.D. 1923.

Jm P.O. Address Edmonton, Alta.

North Alberta Land Registration District.

The title of above lands  
is subject to a "MORTGAGE" Issue 17  
in The Multiple Life  
Annuity of Barade 2574  
interest thereon to  
& of dec 4  
registered at 1005A 14  
dec 1924 of 5 1069  
Amended

The above mentioned *Colonel* *1944*  
is discharged by instrument dated the *15* day  
of *Oct* 192*4* & declared at *201* M.,  
the *29* day of *Oct* 192*4*, as D. B.  
No. *6231* *192*  
*Amherst*  
e Registrar

The title of Within Land  
is subject to a Western Supply Ltd #341  
of 28 Mar 1926  
Registered at 11.44.6 as D. B. No. 154  
W. See  
Registrar

The title of Within Land  
is subject to a MORTGAGE made by Jessie  
Stose Morris Goodman et al  
of Securities Out for \$1,500 and  
Interest 7 % per annum. Dated the  
31 Mar 1926  
Registered at 12 20 M., the 3 day of  
April 1926 as D. B. No. 1464  
R. McLeod  
Registrar

The above mentioned McKien No. 65540  
is discharged by instrument dated the 19 day  
of Feb 1926 Registered at 2 05 P. M.,  
the 28 day of Feb 1926 as D. B.  
No. 7532-20  
R. McLeod  
Registrar

The above mentioned McKien No. 51672  
is discharged by instrument dated the 25 day  
of Oct 1926 Registered at 1 40 P. M.,  
the 2 day of Nov 1926 as D. B.  
No. 2202  
R. McLeod  
Registrar



13-L-53  
Certificate of Title.

Issued on instrument registered at 18 o'clock  
P. M. or the 29 day of Sept  
 A. D. 19 21.  
 Number 2969 Book C. G. Folio 89  
*W. L. Moore*  
 Register A. L. R. D.

Assoc. Fund Value \$1000.<sup>00</sup>

Unearned Inc. Value \$10.00

NORTH ALBERTA

NORTH ALBERTA *Land Registration District.*

Refer Cont. No. 120-S-57.

This is to Certify that Waldron W. Browne

of Edmonton, in the Province of Alberta. Permission of

Canada "Gentleman"

is now the owner of an estate in fee simple

of and in Lot Eighteen (18), Block One hundred and Fifty Seven (157), Part of  
River Lot Seven (7) in the City of Edmonton aforesaid, of record in the  
Land Titles Office, for this Land Registration District, as Plan I<sup>12</sup>

**CANCELLED**

This Certificate of Title is cancelled.

and a NEW CERTIFICATE OF TITLE No. 25587  
issued this 25 day of May 1923  
to Jennie May  
D. B. No. 5742  
25587  
DEPARTMENT OF REVENUE, DISTRICT OF COLUMBIA, OFFICE OF THE REGISTRAR

subject is not encumbrance, lien and interest notified by memorandum underwritten or endorsed hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal this Twenty Ninth day of September A.D. 1921

W. Levene as Registrar.

P.P.O. Address Edmonton Alta. NORTH ALBERTA Land Registration District 56

130-51



# Certificate of Title.

Issued on instrument registered at 12.11 o'clock  
on the 12 day of March  
A. D. 1921.  
Number 2226 Reg. CK File 109  
*W. L. Brown*  
Registrar A.L.R.D.

Asses. Fund Value \$1000

Unassessed Inc. Value \$1000

NORTH ALBERTA

Land Registration District.

Refer. Cont. No. 1687 42

**CANCELLED**

This is to Certify that James M. Naughton of  
"Carmangay" in the Province of Alberta Dominion of Canada.

"Murchant," Executor of the Estate of Peter A. McNaughton, (deceased),

is now the owner of an estate in fee simple

of and in Lot Eighteen (18) in Block One Hundred and fifty-seven (157)

part of River Lot seven (7) in the City of Edmonton in the said Province,

of record in the Land Titles Office for this Land Registration District:

as Plan J. 12



**CANCELLED**

This Certificate of Title is cancelled

in full  
and a new Certificate of Title No. 2226

issued this 29 day of Sept

A. D. 1921 to W. L. Brown

D. B. No. 2226

*W. L. Brown*  
Registrar

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed  
hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my

official seal this Twelfth  
day of March A. D. 1921

W. L. Brown  
P.O. Address Carmangay Alta

NORTH ALBERTA

Land Registration District.





# 168 T42 Certificate of Title.

Issued on instrument registered at 234 o'clock  
P. m. on the 8 day of March  
A. D. 1918  
Number 0137 Book 98 Folio 17  
W. L. Boone  
S. J. Registrar A.L.R.D.

Assoc. Fund Value \$1000

Unearned Inc. Value \$1000

NORTH ALBERTA Land Registration District.

Refer Book No. 137C

This is to Certify that Peter A. McNaughton  
of Mountain Park - in the Province of Alberta  
Dominion of Canada "Merchant"



is now the owner of an estate on fee simple  
of and in Lot numbered Eighteen (18) in Block numbered  
One hundred and fifty-seven (157) in a part of the  
city of Edmonton - in the said Province  
of record in the Land Titles Office for  
this Land Registration District - as Plan 18  
in River Lot seven (7),

CANCELLED

This Certificate of Title is cancelled  
in full under number  
and a new Certificate of Title No. 11945123 S 51  
issued this 12 day of March  
A. D. 1921 to James McNaughton  
D. B. No. 5266 S. K.  
Booneless  
Registrar.

subject to the encumbrances, liens and interests notified by memorandum underwritten or endorsed  
hereon, or which may hereafter be made in the register.

In Witness Whereof I have hereunto subscribed my name and affixed my  
official seal this Eighth  
day of March A. D. 1918

P.O. Address Mountain Park  
Alta.

W. L. Boone Registrar,  
NORTH ALBERTA Land Registration District.  
E. J.

MAR 12 1918

Implications and statements are made in this certificate of title, and in any certificate of title granted under this Act, shall be subject to the provisions of the Act in that behalf made, and in any certificate of title granted under this Act, shall be subject to the provisions of the Act in that behalf made, and in any certificate of title granted under this Act, shall be subject to the provisions of the Act in that behalf made.

# Appendix D

Photographs



Reference: City of Edmonton, 2021.



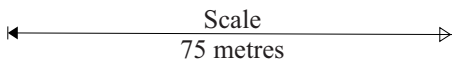
**CRIMSON**  
ENVIRONMENTAL  
LIMITED

2020 Aerial Photograph

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate A
Scale: As Shown
February, 2021
CEL-37544B





Reference: Google, 2021.

\*Scale provided is approximate and as provided by the source.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

2017 Aerial Photograph

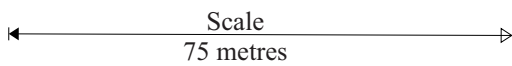
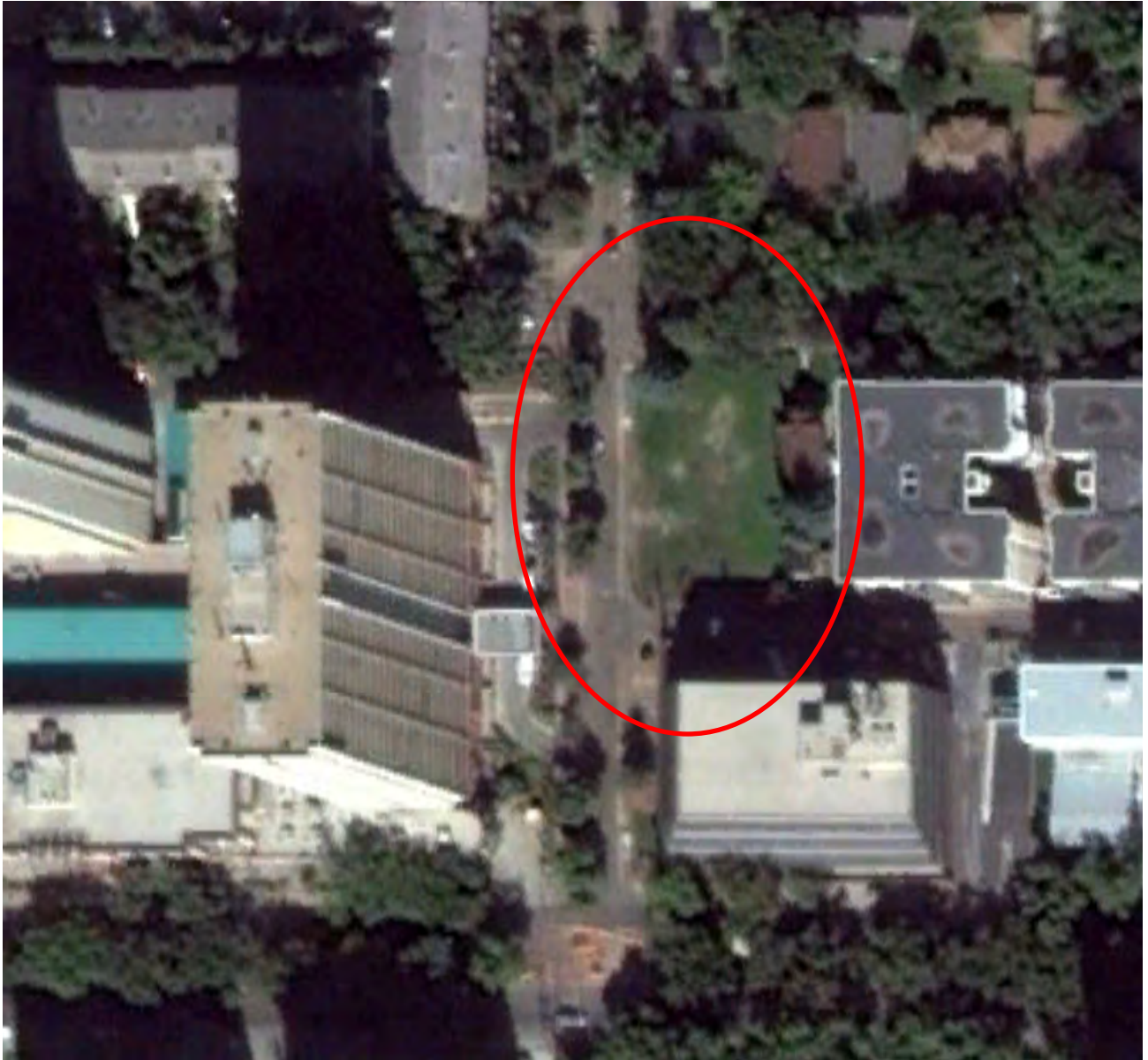
11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate B

Scale: Unknown

February, 2021

CEL-37544B



Reference: Google, 2021.

\*Scale provided is approximate and as provided by the source.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

2012 Aerial Photograph

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

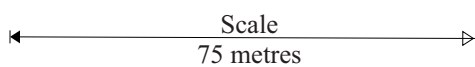
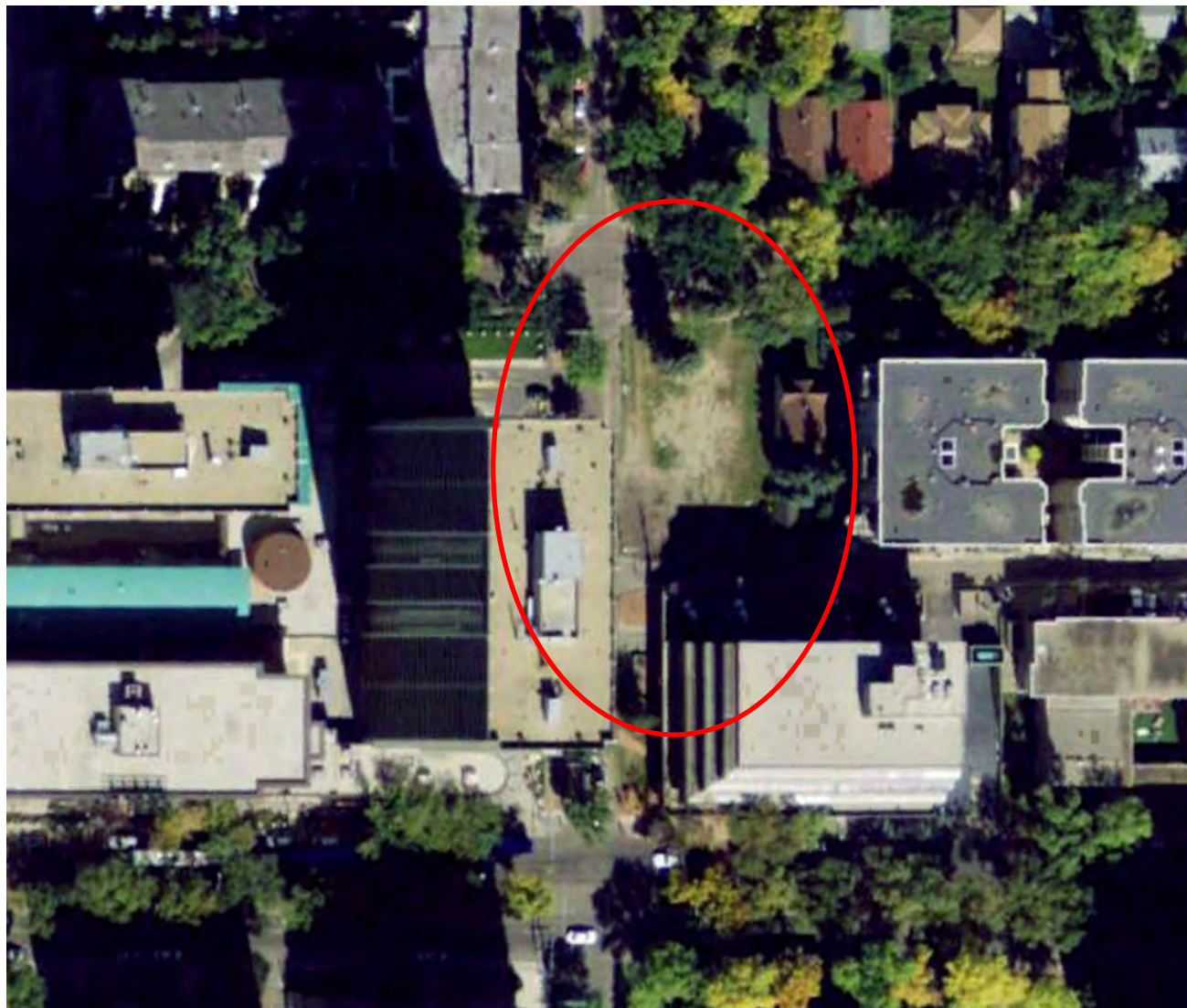
Plate C

Scale: Unknown

February, 2021

CEL-37544B





Reference: Google, 2021.

\*Scale provided is approximate and as provided by the source.



**CRIMSON**  
**ENVIRONMENTAL**  
**LIMITED**

2008 Aerial Photograph

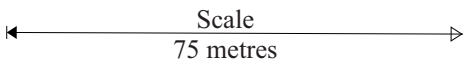
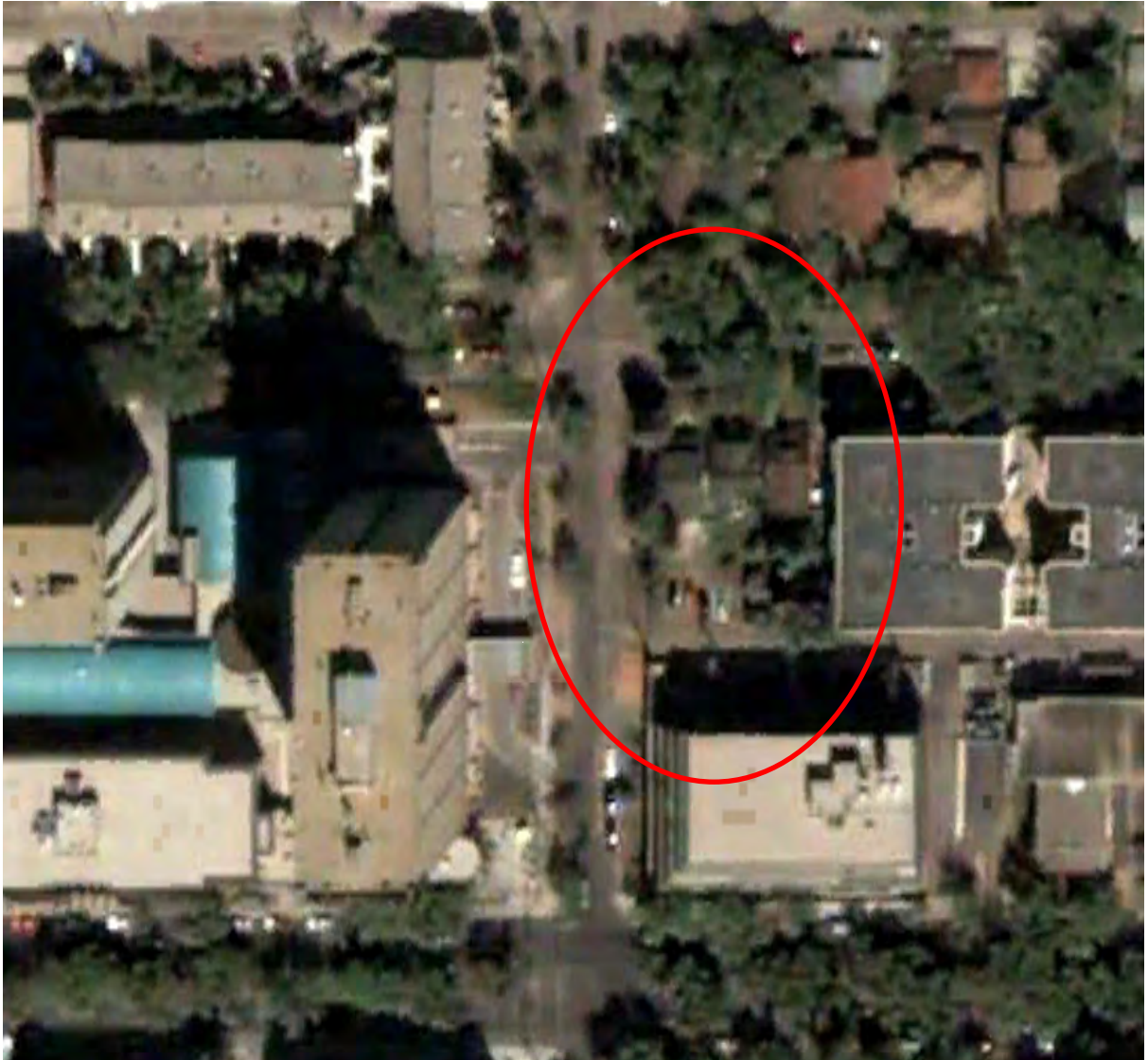
11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate D

Scale: Unknown

February, 2021

CEL-37544B



Reference: Google, 2021.

\*Scale provided is approximate and as provided by the source.



**CRIMSON**  
**ENVIRONMENTAL**  
**LIMITED**

2004 Aerial Photograph

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate E

Scale: Unknown

February, 2021

CEL-37544B





Reference: Ecolog Eris, 2021.

\*Scale of the original photograph was 1:10,000. Provided scale unknown.

 <b>CRIMSON ENVIRONMENTAL LIMITED</b>	1991 Aerial Photograph	Plate F
		Original Scale: 1:10,000
	11049 & 11053 - 83 Avenue NW Lots 17 & 18, Block 157, Plan I19 Edmonton, Alberta	February, 2021
		CEL-37544B



Reference: City of Edmonton Archives, 2021.  
\*Scale of the original photograph was 1:15,000. Provided scale unknown.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

1988 Aerial Photograph	Plate G
	Original Scale: 1:15,000
11049 & 11053 - 83 Avenue NW Lots 17 & 18, Block 157, Plan I19 Edmonton, Alberta	February, 2021
	CEL-37544B



Reference: City of Edmonton Archives, 2021.  
\*Scale of the original photograph was 1:5,000. Provided scale unknown.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

1978 Aerial Photograph	Plate H
	Original Scale: 1:5,000
11049 & 11053 - 83 Avenue NW Lots 17 & 18, Block 157, Plan I19 Edmonton, Alberta	February, 2021
	CEL-37544B



Reference: City of Edmonton Archives, 2021.  
\*Scale of the original photograph was 1:6,000. Provided scale unknown.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

1965 Aerial Photograph	Plate I
	Original Scale: 1:6,000
11049 & 11053 - 83 Avenue NW Lots 17 & 18, Block 157, Plan I19 Edmonton, Alberta	February, 2021
	CEL-37544B





Reference: City of Edmonton Archives, 2021.

\*Scale of the original photograph was 1:8,500. Provided scale unknown.



**CRIMSON**  
**ENVIRONMENTAL**  
**LIMITED**

1957 Aerial Photograph

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate J

Original Scale: 1:8,500

February, 2021

CEL-37544B



Reference: City of Edmonton Archives, 2021.  
\*Scale of the original photograph was 1:20,000. Provided scale unknown.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

1952 Aerial Photograph	Plate K
	Original Scale: 1:20,000
11049 & 11053 - 83 Avenue NW Lots 17 & 18, Block 157, Plan I19 Edmonton, Alberta	February, 2021
	CEL-37544B



Reference: City of Edmonton Archives, 2021.  
\*Scale of the original photograph was 1:20,000. Provided scale unknown.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

1948 Aerial Photograph	Plate L
	Original Scale: 1:20,000
11049 & 11053 - 83 Avenue NW Lots 17 & 18, Block 157, Plan I19 Edmonton, Alberta	February, 2021
	CEL-37544B





Reference: City of Edmonton Archives, 2021.  
\*Scale of the original photograph was 1:12,000. Provided scale unknown.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

1930 Aerial Photograph	Plate M
	Original Scale: 1:12,000
11049 & 11053 - 83 Avenue NW Lots 17 & 18, Block 157, Plan I19 Edmonton, Alberta	February, 2021
	CEL-37544B



Reference: City of Edmonton Archives, 2021.

\*Scale of the original photograph was 1:20,000. Provided scale unknown.



**CRIMSON**  
**ENVIRONMENTAL**  
**LIMITED**

1924 Aerial Photograph

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate N

Original Scale: 1:20,000

February, 2021

CEL-37544B





Photograph 1. Subject site facing south.



Photograph 2. Subject site facing southwest.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Photographs 1

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate O

Scale: Unknown

February, 2021

CEL-37544B



Photograph 3. Northern portion of subject site facing east.



Photograph 4. Subject site facing south.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Photographs 2

Plate P

Scale: Unknown

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

February, 2021

CEL-37544B





Photograph 5. Adjacent properties across 111 Street and 83 Avenue.  
Photograph taken facing northwest.



Photograph 6. Adjacent properties to the north across 83 Avenue.  
Photograph taken facing north.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Photographs 3

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

Plate Q

Scale: Unknown

February, 2021

CEL-37544B



Photograph 7. Adjacent properties to the east and south.  
Photograph taken facing south.



Photograph 8. Adjacent properties to the west across 111 Street.  
Photograph taken facing southwest. Subject site in foreground.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Photographs 4

Plate R

Scale: Unknown

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

February, 2021

CEL-37544B





Photo 9. Google maps image of site without snow cover.  
Photograph taken facing east.



Photo 10. Google maps image of site without snow cover.  
Photograph taken facing south.

Reference: Google, 2021. Date of photograph unknown.



**CRIMSON**  
ENVIRONMENTAL  
LIMITED

Site Photographs 5

Plate S

Scale: Unknown

11049 & 11053 - 83 Avenue NW  
Lots 17 & 18, Block 157, Plan I19  
Edmonton, Alberta

February, 2021

CEL-37544B