

What We Heard Report: Westmount Architectural Heritage Area Rezoning Drop-in Workshop 2

January 2019

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Edmonton

What We Heard Report: Westmount Architectural Heritage Area Rezoning Drop-in Workshop 2

Executive Summary

This report summarizes input that was received in relation to Phase 2 of the Westmount Architectural Heritage Area (WAHA) Rezoning. The public was invited to attend a drop-in workshop held on **September 25, 2018** to provide their feedback on concept amendments to the West-Ingle Area Redevelopment Plan (ARP) and to the Westmount Architectural Heritage Area Direct Development Control (DC1) Provision. Feedback from this drop-in workshop will be considered by the project team, and balanced with best practices, broader City policies and objectives, and input from other stakeholders to guide the development of final ARP and DC1 Amendments.

SEPT 25
2018

Tuesday, 6 – 9 pm
Westmount Community League Hall
10970 127 Street NW Edmonton

Information boards outlining concept amendments to the West-Ingle ARP and WAHA DC1 were provided at the drop-in workshop. Participants were asked to rank their level of agreement or disagreement with the concept amendments and had the opportunity to provide additional comments. A total of nine City of Edmonton staff from Heritage Management, Planning Coordination, the Infill Liaison Team and Communications and Engagement, as well as a representative from Green Space Alliance, the project consultant, were in attendance and available for one-on-one discussion.



59

Drop-in workshop participants



29

Online number of respondents



Project Goals

The goal of the Westmount Architectural Heritage Area (WAHA) Rezoning Project is to build consensus in relation to the appropriate amendments to the West-Ingle ARP and WAHA DC1 Provision.

Project Objectives:

- + Encourage the retention of, and appropriate alterations to, historically and architecturally significant properties in the plan area
- + Implement architectural controls to guide new development
- + Ensure that, where feasible, the DC1 Provision is consistent with current zoning standards and broader City policies and objectives
- + Clarify development requirements in order to provide certainty to the community and developers and mitigate the potential for conflict

Level of Public

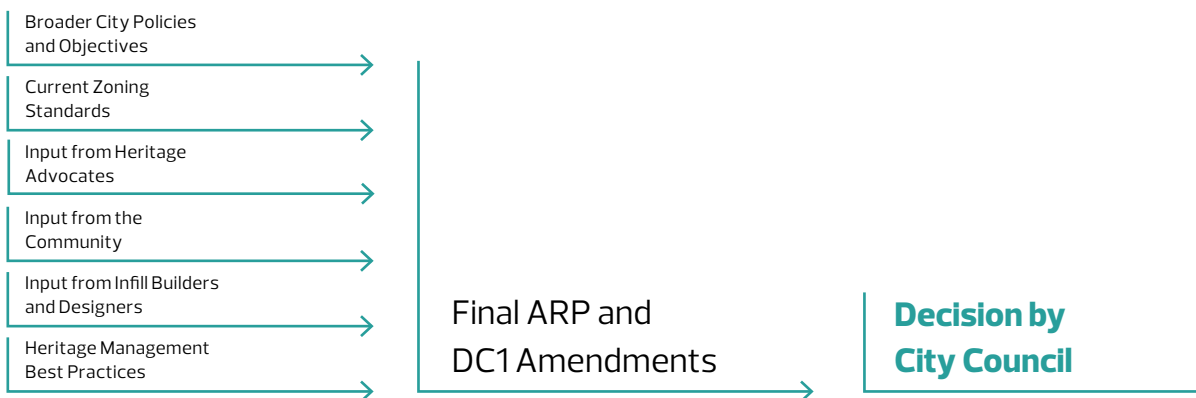
Engagement: Refine

This public engagement event was held to refine concept amendments to the West-Ingle Area Redevelopment Plan (ARP) and Westmount Architectural Heritage Area Direct Development Control (DC1) Provision.

Our Approach

The project team will take a number of considerations into account when developing the final ARP and DC1 amendments. City Council will then consider approval of the final ARP and DC1 amendments at a Public Hearing.

DECISION INPUT



Where We've Been:

Upon initiating the Rezoning exercise in fall 2017, the project team began by undertaking a detailed character analysis of the WAHA to identify key character defining elements and conducted a thorough review of national and international heritage management best practices. In March 2018 the findings of the character analysis were shared with the public at the first drop-in workshop where we asked high level questions addressing what the community values about the Area, what challenges the Area may be facing, and the opportunities that the project team should consider as we develop amendments to the West-Ingle ARP and WAHA DC1.

Following this drop-in workshop, the project team developed concept ARP and DC1 amendments informed by the character analysis and the values, opportunities, and challenges identified by the community as well as broader City policies and objectives and current zoning standards. These concept amendments were

then shared with the community at the second drop-in workshop held on September 25, 2018. At this workshop, we asked the community to provide their feedback and identify any potential concerns regarding the amendments.

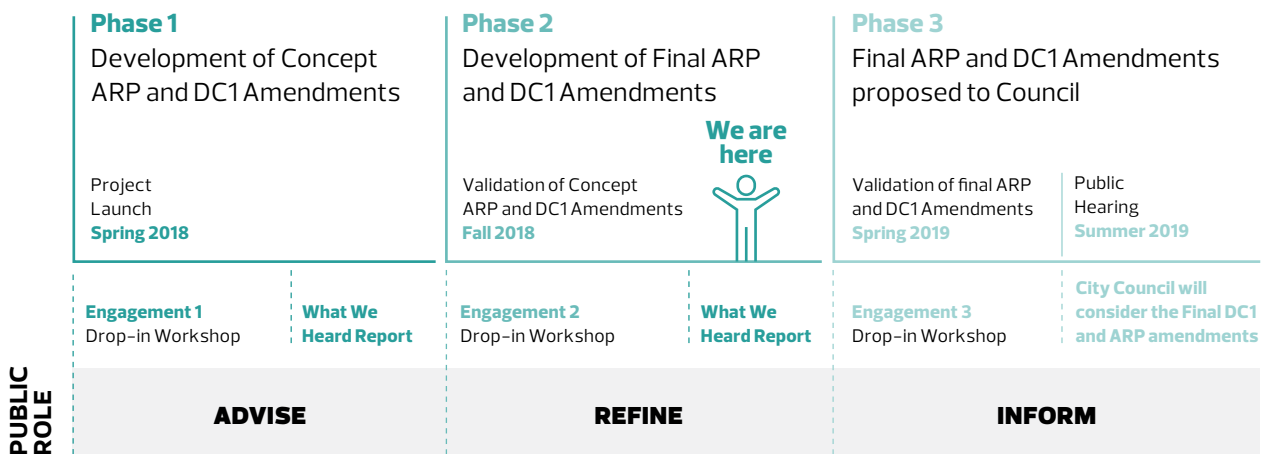
Where We're Going:

The project team will take a number of considerations into account while developing the final ARP and DC1 amendments. This includes balancing community feedback received at the second drop-in workshop with input from heritage advocates including the Westmount Community League Heritage Committee and infill builders and developers. The project team will also consider heritage management best practices and broader City policies and objectives when developing the final amendments. Following the third and final drop-in workshop in spring 2019, the final ARP and DC1 amendments will be proposed for consideration by City Council.

Workshop Objectives

The objective of this drop-in workshop was to present concept amendments to the West-Ingle ARP and WAHA DC1 Provision which were intended to respond to the values, challenges, and opportunities that were identified by participants at the first drop-in workshop on March 13, 2018. Input from the September 25, 2018 drop-in workshop will inform the final ARP and DC1 amendments.

PROJECT PHASES



Your Feedback

Participants were asked to provide their feedback by indicating their level of agreement or disagreement with a number of statements which correlated with the concept amendments outlined on each board.

Participants who attended the drop-in workshop were given stickers so that they could vote directly on the boards using a Likert scale. Participants were also able to provide additional comments or questions on post-it notes directly on the boards.

These techniques were adapted for online users to submit their feedback via a Likert scale and comment boxes in an online questionnaire which was available from September 26, 2018 – October 9, 2018.

All participant feedback was consolidated and recorded electronically.

Proposed Concept Amendments to the West-Ingle ARP

What Was Proposed

Proposed concept amendments include:

- + An updated statement of intent for the WAHA DC1
- + A detailed statement of significance which describes the historical and architectural value of the WAHA and details those physical elements which contribute to the WAHA's character
- + Sub-policies which will guide the development and implementation of the WAHA DC1
- + An updated list and map of all residences within the WAHA which have been listed on the Inventory of Historic Resources in Edmonton, as well as those properties designated as Municipal Historic Resources and Provincial Historic Resources
- + An overview of the 2012 Westmount-Inglewood Neighbourhood Inventory process

POLICY OBJECTIVES

PROPOSED SUB-POLICIES

Encourage the retention and protection of homes with historical and architectural significance in the WAHA.

- 1.1** Encourage the retention of, and appropriate alterations to, residences listed on the Inventory of Historic Resources in Edmonton
- 1.2** Continue to maintain an inventory of Historic Resources in the WAHA that may be amended to include additional properties with architectural and historical significance
- 1.3** Residences listed on the Inventory of Historic Resources in Edmonton will be encouraged to pursue Municipal Historic Resource Designation

Encourage context-sensitive infill which is compatible with, and/or contributes to, the historic character of the WAHA.

- 1.4** Establish development and design regulations and guidelines to ensure that new development complements the existing historic character of the WAHA

Encourage retention of urban design characteristics that contribute to the historic streetscape of the WAHA.

- 1.5** Establish development regulations that accommodate a diversity of lot widths, narrow lots and side yards, consistent front setbacks, and site access via rear lanes
- 1.6** Ensure that wherever possible future infrastructure development and improvements respect the unique heritage character of the WAHA

PROPOSED CONCEPT AMENDMENTS TO THE WEST-INGLE ARP (CONT)

POLICY OBJECTIVES

PROPOSED SUB-POLICIES

Encourage the preservation of the traditional residential character of the WAHA.

1.8 Encourage a variety of residential uses which are consistent with the historic single-family character of the WAHA, within the objectives of broader City-wide policies

Encourage the retention and protection of mature boulevard trees and promote continued tree health.

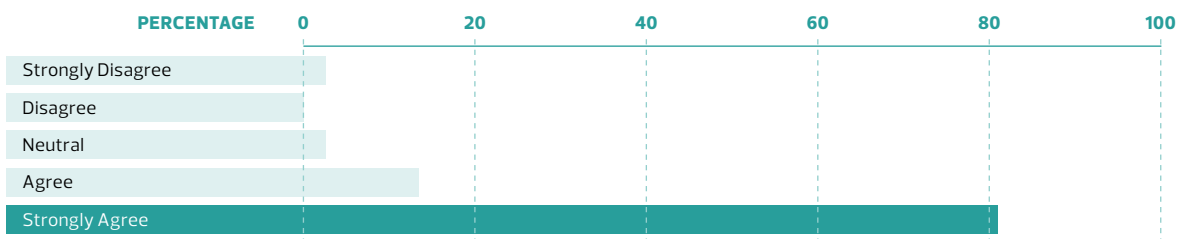
1.9 Establish regulations which require the protection of mature boulevard trees located on City property during construction or redevelopment

1.10 Establish landscaping requirements which ensure that private landscaping is compatible with existing mature boulevard trees

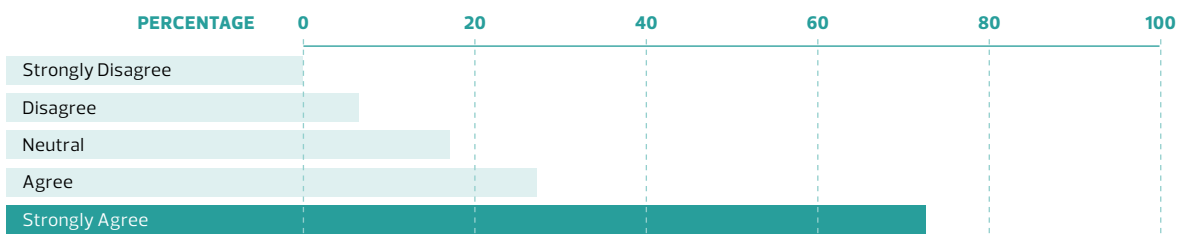
What We Heard

The majority of participants indicated that the concept ARP sub-policies reflected what they valued about the WAHA and agreed that they will contribute to the preservation of the historic character of the WAHA.

Q.1 The concept ARP sub-policies reflect what I value about the WAHA.



Q.2 The concept ARP sub-policies will contribute to the preservation of the historic character of the WAHA.



Use

What Was Proposed

Objectives: Allow for opportunities for new housing options while maintaining the traditional single-detached character of the WAHA. Align with the current Single-detached Residential (RF1) Zone where uses are compatible with the traditional pattern of development within the WAHA.

PROPOSED USE	ASSOCIATED REGULATIONS
Single Detached Housing	<ul style="list-style-type: none"> + All single detached homes within the WAHA will be subject to development and design criteria outlined in the WAHA DC1
Secondary Suites and Garden Suites	<ul style="list-style-type: none"> + Secondary Suites and Garden Suites shall be permitted on lots of 360m² or greater + Entrances for Secondary Suites shall be from the side and rear façades + Garden Suites will be subordinate to the principal dwelling + Garden Suites will be subject to development and design criteria outlined in the WAHA DC1
Minor Home-Based Business and Major Home-Based Business	<ul style="list-style-type: none"> + Home-Based Businesses will not alter the residential appearance or character of the dwelling + Home-Based Business will not generate excess pedestrian or vehicular traffic + Associated signage will be limited and compatible with the residential nature of the dwelling
Child Care Services, Limited Group Homes, and Lodging Houses	<ul style="list-style-type: none"> + Child Care Services, Limited Group Homes, and Lodging Houses shall be of a size, scale, and outward appearance that is typical of surrounding residential development + Child Care Services, Limited Group Homes and Lodging Houses shall be permitted on lots of a minimum size of 450m² to a maximum size of 700m² + Child Care Services shall be permitted only on corner lots + Limited Group Homes and Lodging Houses shall have no more than 6 residents + Child Care Services cap sizes are determined at a Provincial level and are not regulated through municipal zoning

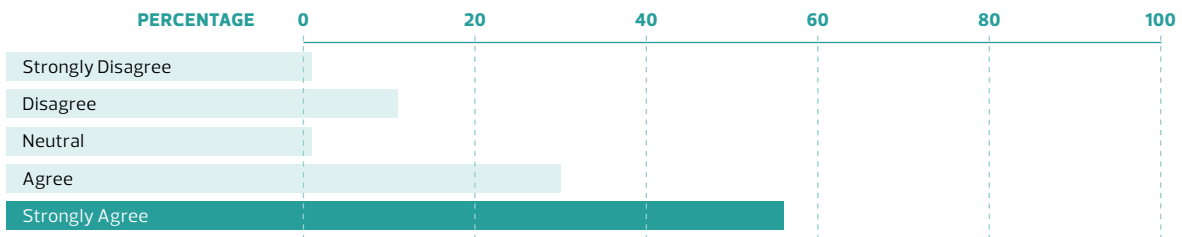
USE (CONT)

PROPOSED USE	ASSOCIATED REGULATIONS
Urban Gardens	+ Urban Gardens will not generate excess pedestrian or vehicular traffic, odour, waste or visual impact
Fascia On-premises Signs and Freestanding On-premises Signs	+ Signs will be appropriately scaled to complement the residential nature of the WAHA + Signage will be at the discretion of the Heritage Officer

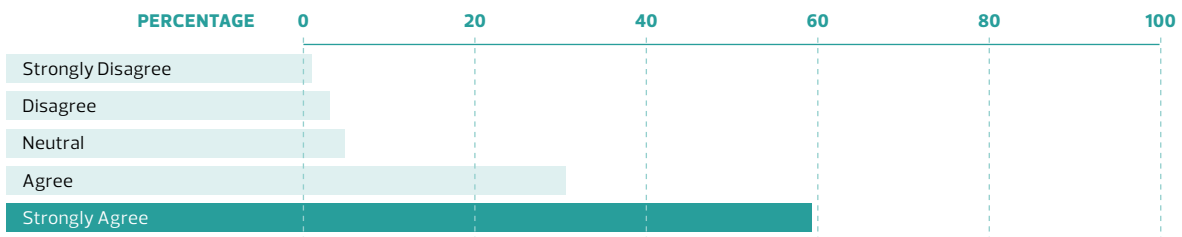
What We Heard

Participants generally agreed that the proposed uses will contribute to maintaining the existing residential character of the neighbourhood while providing for more housing options. Some participants expressed concerns regarding the introduction of garden suites, while others felt that garden suites are an appropriate way to moderately increase density in the WAHA without impacting the heritage character of the area.

Q.3 The proposed uses will contribute to maintaining the existing residential character of the neighbourhood.



Q.4 The proposed uses will provide for more housing options while maintaining the existing single-detached character of the neighbourhood.

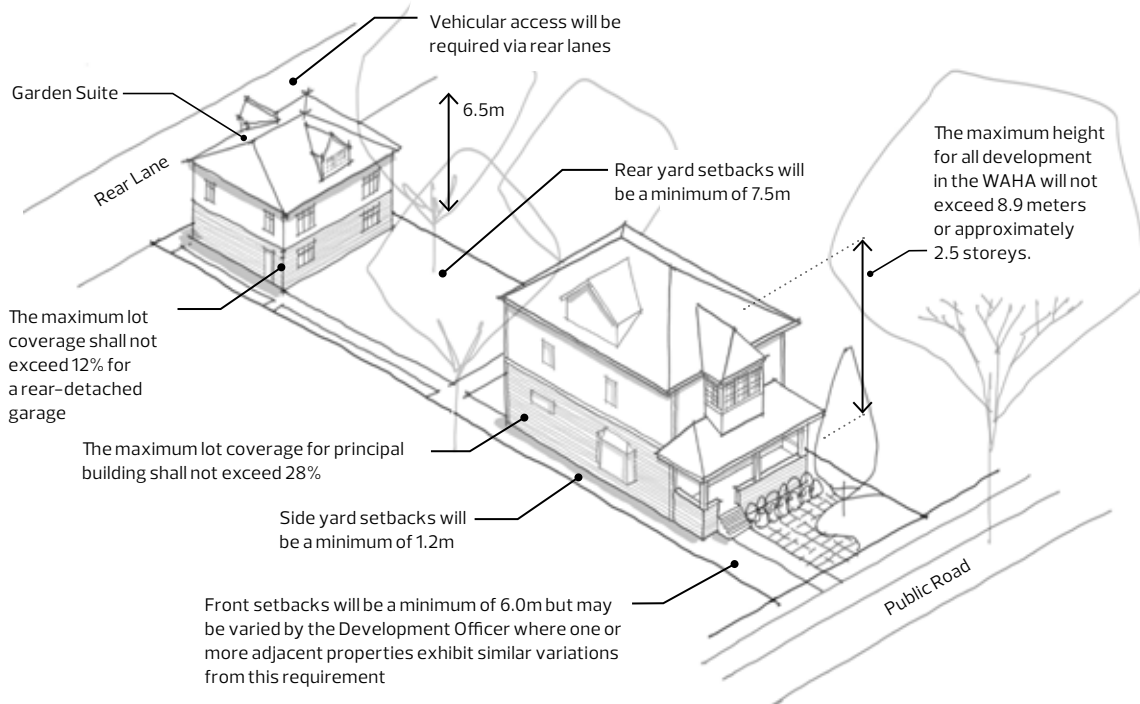


Site Requirements and Height

What Was Proposed

Objective: Ensure that new development is consistent with the traditional pattern of development in the WAHA and ensure that the scale of new development is compatible with existing historic homes in the WAHA.

MANDATORY

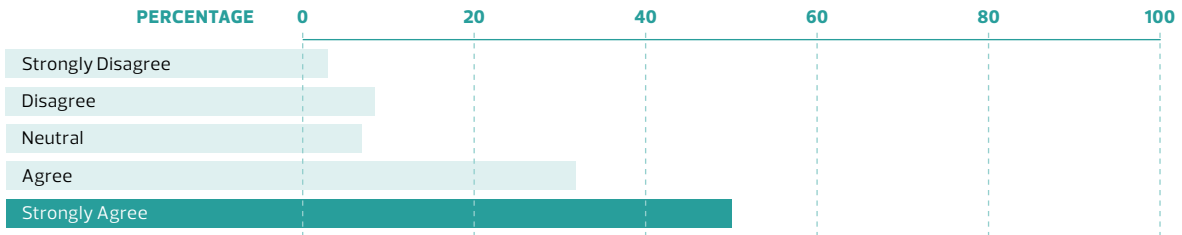


What We Heard

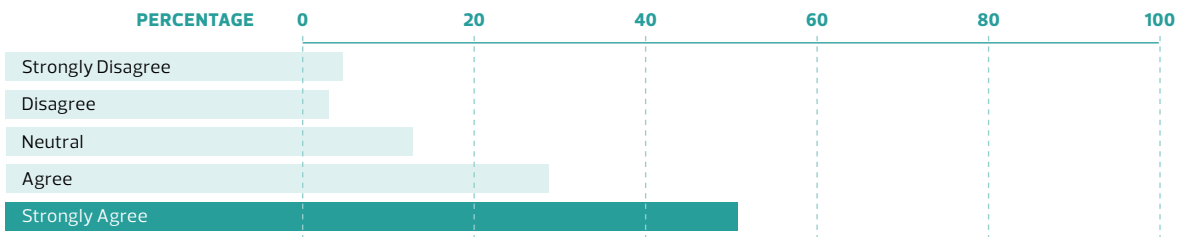
Participants generally agreed that the concept regulations and guidelines related to site requirements and height will ensure that new development is consistent with the traditional pattern of development in the WAHA, and that the scale of new development is compatible with existing historic homes.

SITE REQUIREMENTS AND HEIGHT (CONT)

Q.5 The concept regulations and guidelines will ensure that new development is consistent with the traditional pattern of development in the WAHA.



Q.6 The concept regulations and guidelines will ensure that the scale of new development is compatible with existing historic homes.



You Asked, We Answered

Why is a 1.2m side yard setback necessary when some historic homes in the area have a setback that is less than 1.2m?

Some of the historic homes in the WAHA have side setbacks of less than 1.2 meters; however, the Alberta Building Code now requires minimum side setbacks of 1.2 meters for combustible construction in order to ensure adequate separation space between residences in the event of a fire. The minimum side setback in all low-density residential zones in Edmonton is 1.2 meters.

How was the front setback determined?

The front setbacks in the WAHA generally range from 8 to 10 meters. The current DC1 permits a minimum 6 meter front setback. This 6 meter setback is proposed to be maintained as a **minimum** standard in order to ensure a front yard that is generally consistent with the historic pattern of development in the neighbourhood while providing some flexibility in relation to the siting of new development.

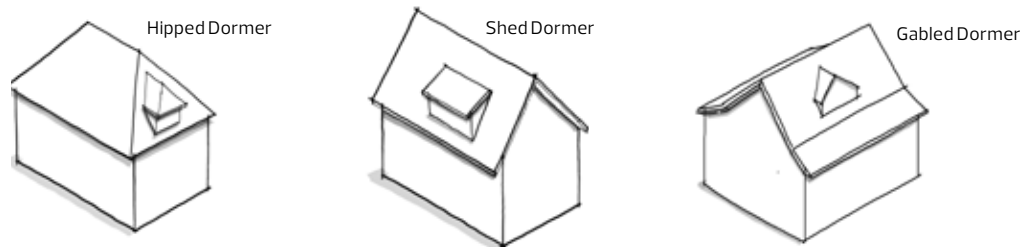
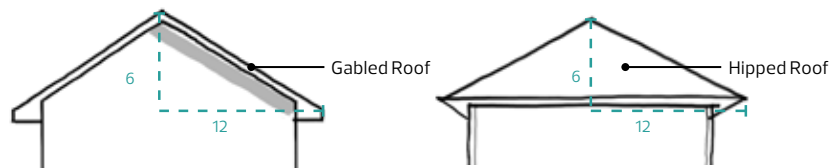
Roofs and Dormers

What Was Proposed

Objective: Ensure that new development utilizes traditional roof profiles to complement the existing historic character of the WAHA.

REGULATIONS

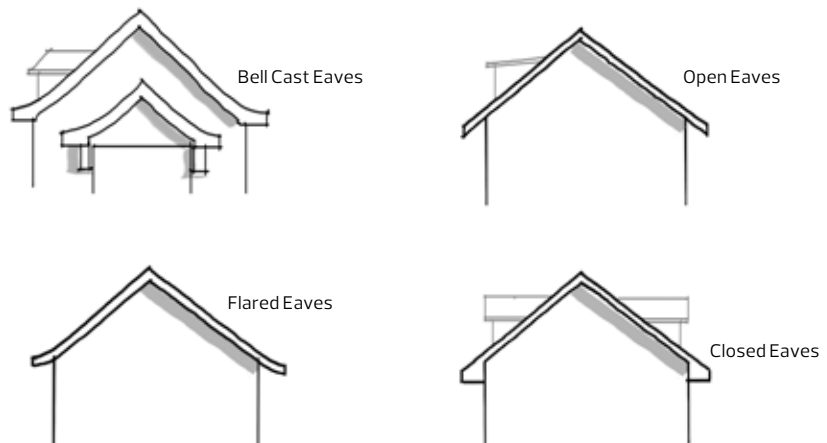
- + The principal roof will have a minimum pitch of 6:12 or greater
- + Roofs will be gabled or hipped



Where applied, dormers shall be of a hipped, gabled, or shed-roof style

GUIDELINES

- + Roofs may be articulated through the use of dormers
- + Roofs may have wide and/or bell-cast eaves
- + Eaves may be closed or open



MANDATORY

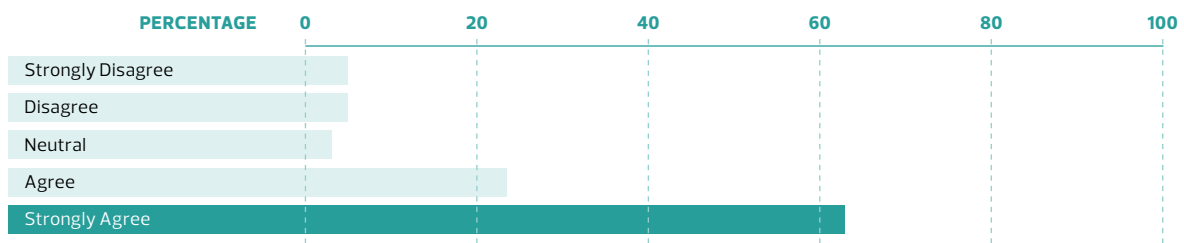
VOLUNTARY

ROOFS AND DORMERS (CONT)

What We Heard

The majority of participants agreed that the concept regulations and guidelines relating to roofs will ensure that new development complements the historic character of the WAHA.

Q.7 The concept regulations and guidelines relating to roofs will ensure that new development complements the historic character of the WAHA.



You Asked, We Answered

Why is the proposed minimum roof pitch only 6:12? Is this consistent with character homes in the WAHA?

The historic architecture of the WAHA features moderately pitched roofs which range from 6:12 to 8:12. A 6:12 roof pitch is proposed as a **minimum** standard that is generally consistent with the historic pattern of development in the neighbourhood while providing some flexibility in regards to the form of new development.

What about multiple roof pitches?

The proposed minimum roof pitch of 6:12 is only intended to apply to the primary roof, allowing for greater flexibility in relation to the roof pitches of dormers, additions, and verandahs. Individual residences may feature roofs with multiple pitches.

Materials and Colours

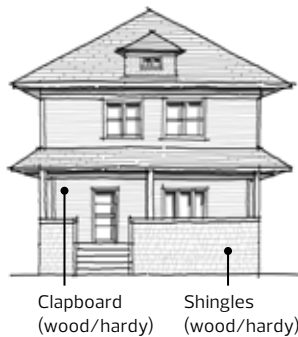
What Was Proposed

Objective: Ensure that new development emphasizes a traditional palette of high quality and durable materials which complement the existing historic character of the WAHA.

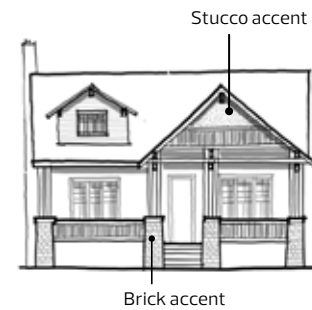
REGULATIONS

- + All development in the WAHA will emphasize traditional materials such as:
 - > Clapboard and shingle as primary materials
 - > Stucco and brick as accent materials
- + Contemporary equivalents to these materials may be considered.
- + The exterior treatment of new development shall be consistent on all façades

Primary Materials



Accent Materials



GUIDELINES

- + Development is encouraged to follow traditional patterns of material application, including variations in finishing materials to provide contrast and articulate façades
- + Development is encouraged to enhance façades through the use of multiple colours

Where applied, colour should:

- + Articulate façades and provide visual interest
- + Create contrast
- + Highlight architectural features and detailing



MANDATORY

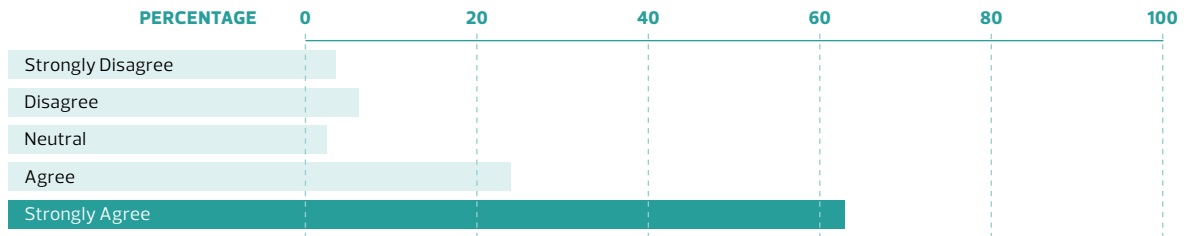
VOLUNTARY

MATERIALS AND COLOURS (CONT)

What We Heard

The majority of participants agreed that the concept regulations and guidelines will ensure that new development utilizes materials which complement the historic character of the WAHA.

Q.8 **The concept regulations and guidelines will ensure that new development utilizes materials which complement the historic character of the WAHA.**



You Asked, We Answered

Why are materials being regulated?

Materials and the manner in which they are applied are central to shaping the architectural character of a building or area. Emphasizing materials that are consistent with those typical of a historic area helps to ensure that new development fits into its surroundings and contributes to the continuity of an area's architectural character.

What types of materials can be utilized in the WAHA?

The traditional material palette in the WAHA was quite limited, and included wood shingles and clapboard as the primary materials with

brick and stucco employed as accent materials. Contemporary equivalents to these traditional materials may be appropriate in the context of the WAHA providing they are generally consistent with the proportions, texture, surface finish and other defining characteristics of the traditional materials.

Is colour being regulated?

Colour is not being regulated. However, the proposed DC1 is intended to include general guidance to encourage property owners to utilize colours in a manner that is consistent with the traditional pattern of colour application in the WAHA.

Windows

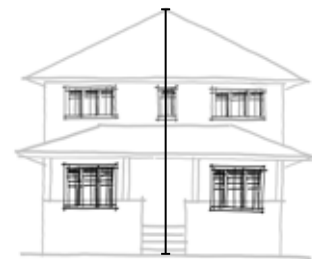
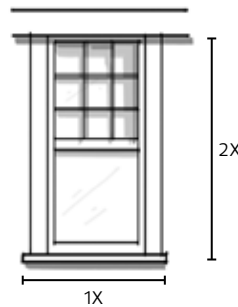
What Was Proposed

Objective: Ensure that windows are consistent with the traditional styles, patterns, arrangements, and proportions of character homes in the WAHA.

REGULATIONS

When located on a street-facing façade:

- + Windows will be hung style
- + Windows will be vertically oriented
- + Individual windows shall have a height to width ratio of 2:1 or greater
- + Windows will be arranged with an overall composition displaying strong symmetry
- + Individual windows shall not exceed 0.9m x 1.8m (3ft x 6ft) in size



Symmetrical composition

GUIDELINES

- + Windows may be arranged individually and in groups
- + Windows may follow traditional styles, including tripartite and bay windows
- + Windows may feature upper sashes divided into multiple panes



Typical window arrangement - Tri-partite windows



Typical window arrangement - Bay windows on ground level/front facade



Paired double hung windows



Enclosed verandah window



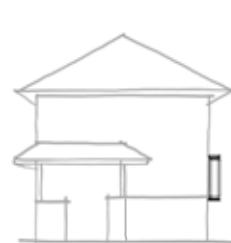
Tripartite window



Enclosed verandah window



Typical window arrangement - Enclosed verandah



Typical window arrangement - Bay windows on ground level/side facade

MANDATORY

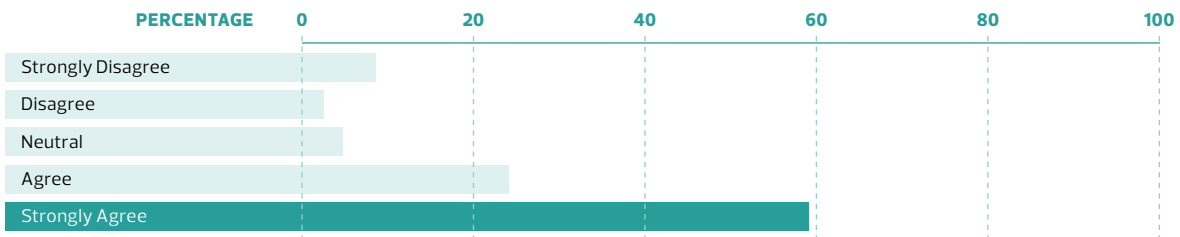
VOLUNTARY

WINDOWS (CONT)

What We Heard

The majority of participants agreed that the concept regulations and guidelines will ensure that new development utilizes windows that are consistent with the historic character of the WAHA. However, some participants expressed concerns regarding window size restrictions and noted that windows should be functional, efficient and consistent with modern needs.

Q.9 The concept regulations and guidelines will ensure that new development utilizes windows that are consistent with the heritage character of the WAHA.



You Asked, We Answered

Why are the window sizes and styles being regulated?

The style, scale, proportions and arrangement of window and door openings are design considerations which contribute to the architectural character of individual buildings and areas. Requiring that new development observes traditional window styles and arrangements will help to ensure that it complements its surroundings and contributes to the distinct character of the streetscape.

The proposed maximum window size of 0.9m x 1.8m (3 ft x 6ft) is consistent with the architectural guidelines in the existing WAHA DC1 Provision. This maximum refers to the size of an individual window. The proposed regulations will allow for multiple windows to be arranged in groups to allow for greater visibility and light

into the home while ensuring they are generally consistent with traditional patterns of window arrangement (i.e. tripartite windows).

The proposed regulations will also require that new developments utilize windows which are consistent with the **appearance** of traditional styles, yet will provide flexibility for windows to meet modern needs and allow for the use of technologies which may enhance efficiency.

Why are windows only regulated on street-facing façades?

Window regulations have been proposed on street-facing façades as these façades have the greatest impact on the appearance of the streetscape. By regulating only street-facing façades, the proposed regulations will allow for greater flexibility of window size and style on side and rear elevations while ensuring that new development is complementary to its surroundings.

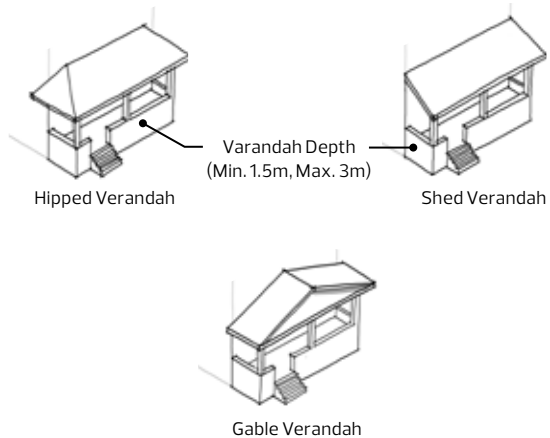
Verandahs and Balconies

What Was Proposed

Objective: Ensure that new developments include a verandah in order to be consistent with the architectural character of the WAHA, and to provide opportunity for interface with the street.

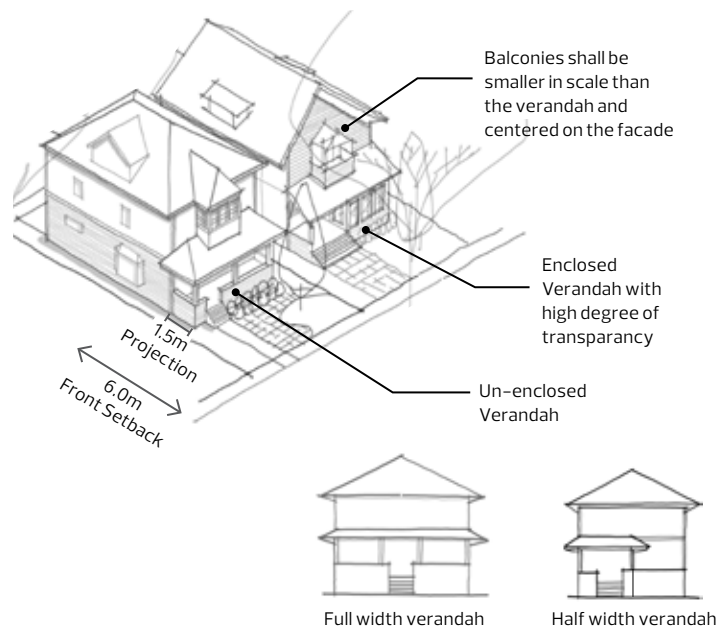
REGULATIONS

- + Development in the WAHA must include a verandah on the front-facing facade
- + Verandahs must have a minimum depth of 1.5m to a maximum of 3.0m
- + Verandahs must have either a hipped, shed, or gable roof style
- + Balconies shall be smaller in scale than the verandah and centered on the facade
- + Balconies shall not be located above the second storey



GUIDELINES

- + Verandahs may be full-width or half-width and may be enclosed or partially enclosed
- + Unenclosed verandahs may project up to 1.5m into the front setback
- + Enclosed verandahs may project up to 1.5m into the front setback provided that the enclosed portion of the verandah maintains a high degree of transparency
- + Development in the WAHA may include a balcony
- + Balconies may be enclosed or unenclosed



MANDATORY

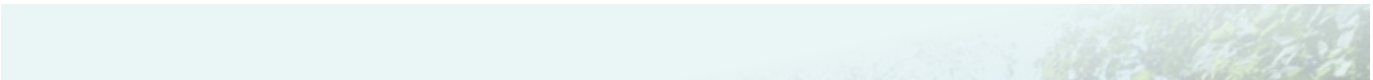
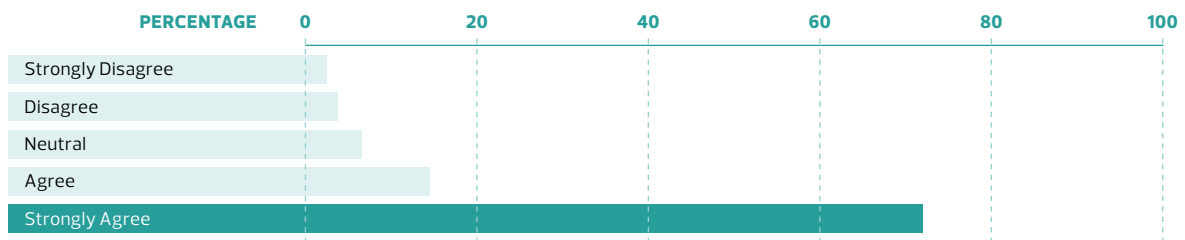
VOLUNTARY

VERANDAHS AND BALCONIES (CONT)

What We Heard

The majority of participants agreed that the concept regulations and guidelines relating to verandahs will contribute to new development that is consistent with the historic character of the WAHA.

Q.10 **The concept regulations and guidelines relating to verandahs will contribute to new development that is consistent with the architecture character of the WAHA.**



Architectural Detailing

What Was Proposed

Objective: Provide guidance for new development to incorporate architectural detailing that is consistent with the existing architectural character of the WAHA.

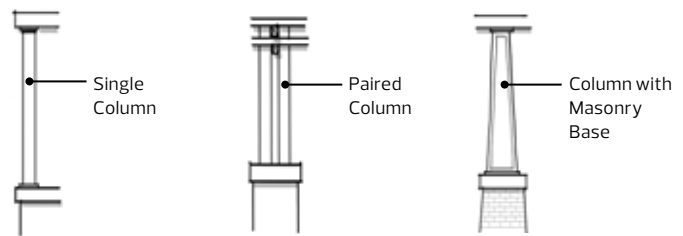
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GUIDELINES

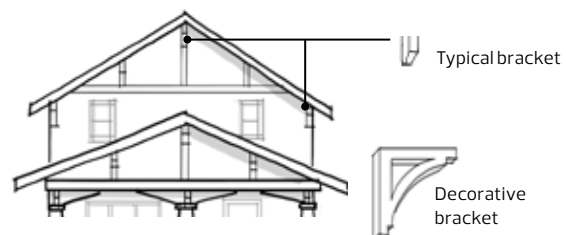
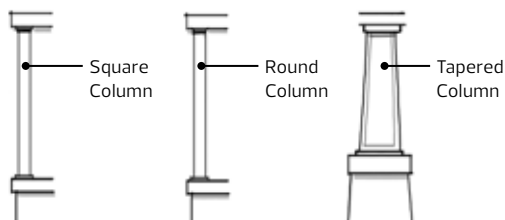
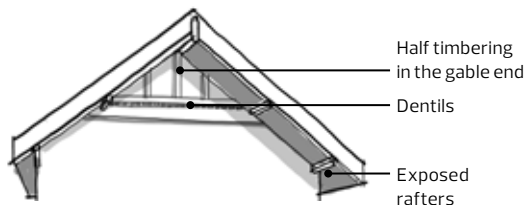
New development in the WAHA is not required to feature architectural detailing. However, where development includes architectural detailing, details shall be consistent with traditional Craftsman-style architecture.

Where applied, architectural detailing may include:

- + Columns
- + Brackets
- + Half-timbering in gable ends
- + Dentils
- + Exposed rafters



Where applied, columns may be single or paired and may have a masonry base.

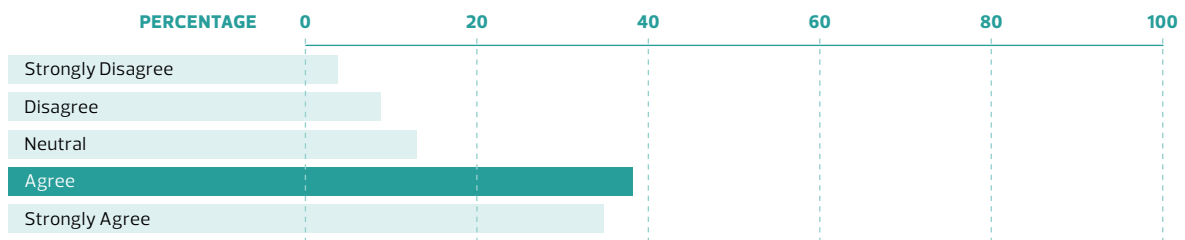


ARCHITECTURAL DETAILING (CONT)

What We Heard

Participants generally agreed that the concept regulations and guidelines will provide sufficient guidance for new development to ensure that architectural detailing is consistent with the architectural character of the WAHA.

Q.11 **The concept guidelines will provide sufficient guidance to ensure that architectural detailing is consistent with the existing architectural character of the WAHA.**



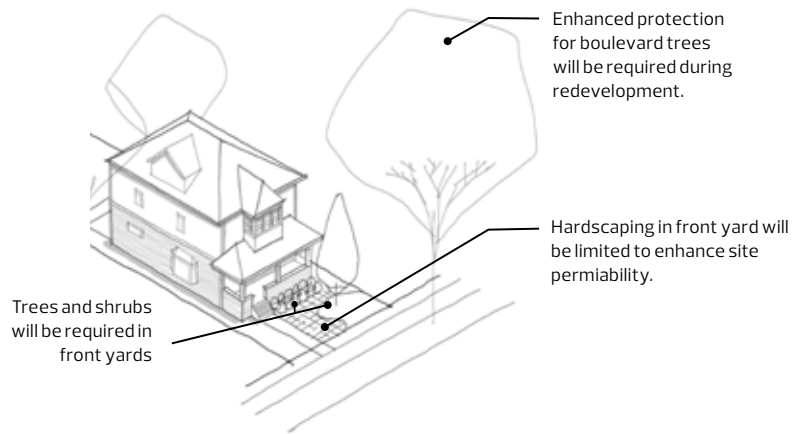
Trees and Landscaping

What Was Proposed

Objective: Encourage retention of mature trees on private property, and support the continued health of mature boulevard trees located on City right-of-way.

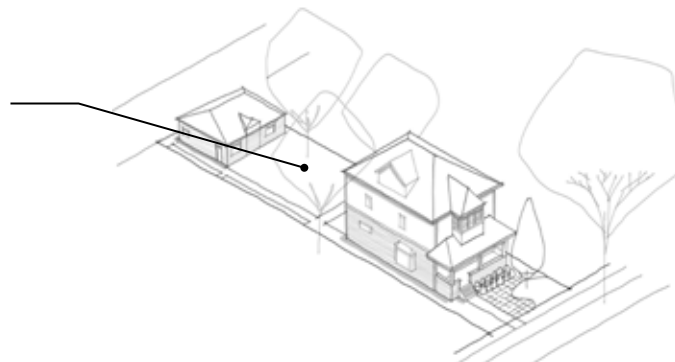
REGULATIONS

- + No more than one large tree may be provided in the front yard
- + Trees and shrubs provided in the front yard must be selected from a preferred species list to ensure that private landscaping is compatible with, and does not compromise the health of, mature boulevard trees



GUIDELINES

- + Mature trees on private property are encouraged to be retained on site during redevelopment
- + Where mature trees are retained, they will be considered towards site landscaping requirements



MANDATORY

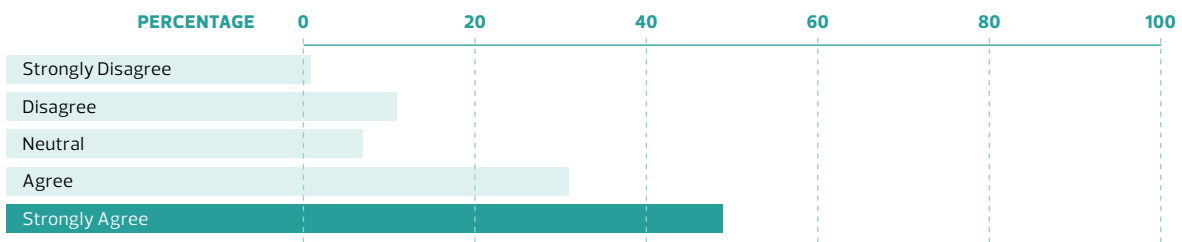
VOLUNTARY

TREES AND LANDSCAPING (CONT)

What We Heard

Participants generally agreed that the concept regulations and guidelines will contribute to encouraging the retention of mature trees on private property; however, some participants expressed concerns regarding some of the proposed landscaping regulations including limiting large trees in front yards and the development of a preferred species list. The majority of respondents agreed that the concept regulations guidelines will contribute to support the long-term health of mature trees on City property.

Q.12 **The concept regulations and guidelines will contribute to retaining mature trees on private property in the WAHA.**



You Asked, We Answered

Why is only one large tree permitted in the front yard?

Mature boulevard trees have been identified as a key component of neighbourhood character and highly valued elements of the streetscape within the WAHA. In order to encourage the retention and continued health of mature boulevard trees, private landscaping must be compatible with the existing boulevard trees. A maximum of one large tree in front yards is proposed in order to reduce resource (eg. sunlight and water) and canopy competition between trees located on private property and existing mature boulevard trees.

Why is a preferred species list being proposed?

When located in front yards, large trees with extensive root systems and high resource

requirements may be in conflict with, and compromise the health of, mature boulevard trees in the WAHA. A preferred species list is being proposed in order to reduce resource and canopy competition between trees located on private property and existing mature boulevard trees in order contribute to the continued health of mature boulevard trees.

What does enhanced tree protection during construction look like?

Enhanced tree protection measures during construction may include installing rig mats to protect boulevard trees from soil compaction, ensuring that tree protection is installed as a condition of development permits, and installation of new utilities such as a sewer, water, communications, and gas underneath the grassed boulevard as opposed to via an open trench.

Treatment of Properties on the Inventory of Historic Resources in Edmonton

What Was Proposed

Objective: Provide direction to property owners to encourage appropriate alterations to properties listed on the Inventory of Historic Resources to ensure that properties retain their architectural integrity and heritage value.

GUIDELINES

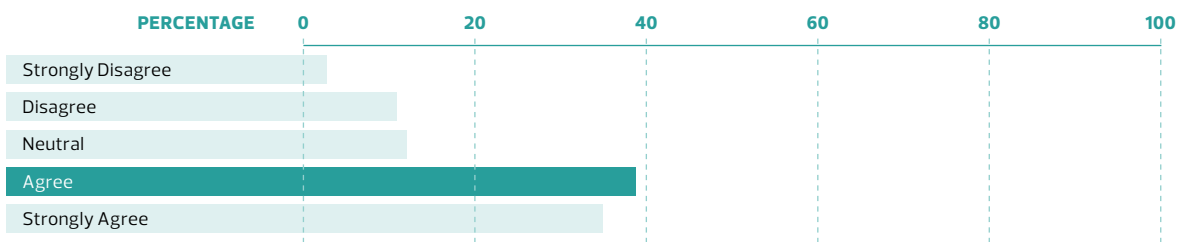
- + The removal or alteration of any historical materials should be avoided.
- + Deteriorated architectural elements should be repaired rather than replaced.
- + Where replacement is necessary, the new element should match the original in material, composition, and design.
- + Where the introduction of new elements or materials is necessary, the alterations should be undertaken in such a way that the new materials or elements may be removed at a later date without damage to the original fabric of the historic resource.
- + Alterations which are not based on historical fact, or are the product of an earlier or a later design idiom, should be avoided.
- + Prior to undertaking alterations, the applicant should compile a complete record of the architectural features of the historic resource.
- + Additions should be designed in a manner that they do not diminish the overall historic character of the resource.

TREATMENT OF PROPERTIES ON THE INVENTORY OF HISTORIC RESOURCES IN EDMONTON (CONT)

What We Heard

The majority of participants somewhat agreed that the concept guidelines and regulations would provide sufficient guidance to owners of properties listed on the Inventory of Historic Resources in Edmonton in order to retain the architectural integrity and value of their homes. Participants also identified that there is a lack of financial incentives for property owners to follow the proposed guidelines.

Q.13 **The concept guidelines will provide sufficient guidance to property owners to retain the architectural integrity and heritage value of their homes.**



You Asked, We Answered

What incentives are available for property owners with homes listed on the Inventory of Historic Resources in Edmonton?

The City of Edmonton has an internationally recognized heritage management program which provides incentives to property owners for the restoration, rehabilitation, and maintenance of designated Municipal Historic Resources.

Incentives include:

- + Direct grant payments for specific rehabilitation costs
- + Ongoing maintenance financial incentives
- + Zoning regulation variances
- + Other incentives or relaxations deemed appropriate by City Council

To find out if your property qualifies for designation and financial incentives, please visit: edmonton.ca/historicresources.

Potential Outcomes

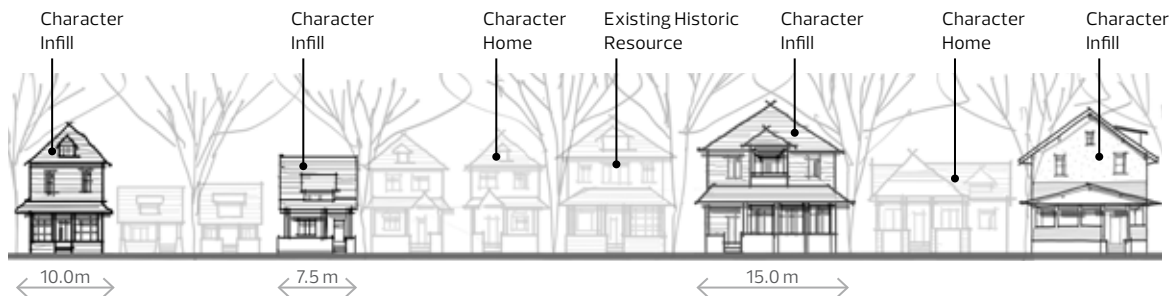
What Was Proposed

Two scenarios were outlined to provide a potential vision for the future development of the WAHA as the area evolves over a number of years. Both scenarios conformed with the concept regulations and were influenced by varying degrees by the concept guidelines that were outlined on previous boards.

Scenario 1: Infill Replicates Traditional Styles

- + Infill closely replicates traditional styles of architecture common to the WAHA
- + Follows both the concept regulations and guidelines
- + Generally consistent with existing character homes of the area

Street Elevation: Scenario 1

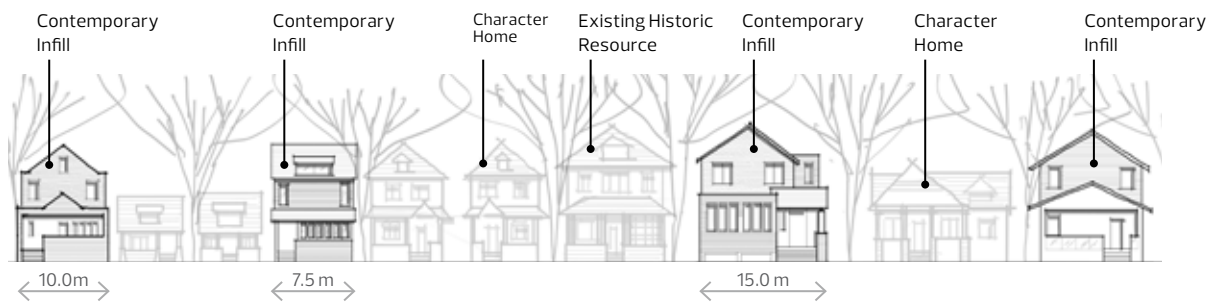


POTENTIAL OUTCOMES (CONT)

Scenario 2: Infill Influenced by Traditional Styles

- + Infill is sensitive to, and compatible with, the architectural character of the WAHA
- + Design is clearly distinguishable from existing character homes and is recognizable as contemporary architecture
- + Follows the concept regulations and may follow guidelines
- + Is consistent with traditional patterns of development
- + References architectural characteristics common to the WAHA

Street Elevation: Scenario 2



Typical Lot Configurations in WAHA

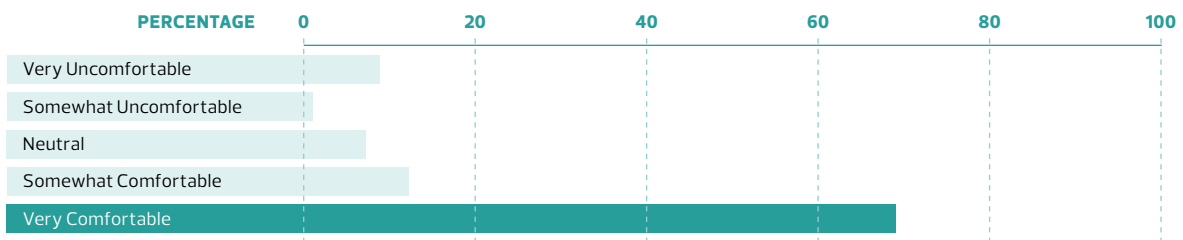


POTENTIAL OUTCOMES (CONT)

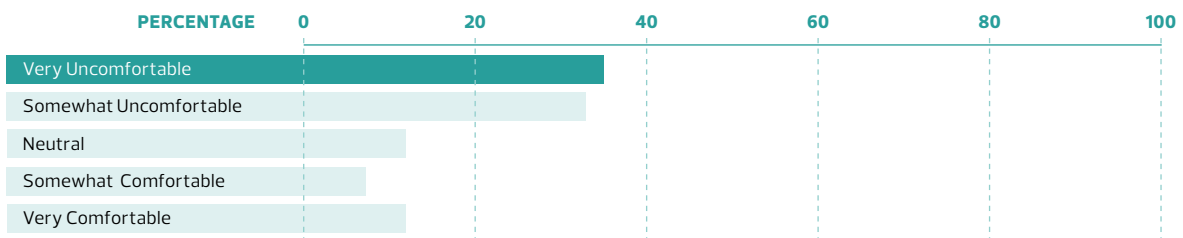
What We Heard

Participants were generally more comfortable with Scenario 1 as opposed to Scenario 2. Those participants who were in favour of Scenario 1 expressed concerns that over time, contemporary infill will diminish the heritage character of the streetscape. Participants who were in favour of Scenario 2 expressed that this scenario provides the opportunity to respect the diverse housing styles and history of the WAHA while allowing for housing options with modern amenities.

Q.14 What is your level of comfort with Scenario 1?



Q.15 What is your level of comfort with Scenario 2?



Feedback on Engagement

How Will My Feedback Be Used?

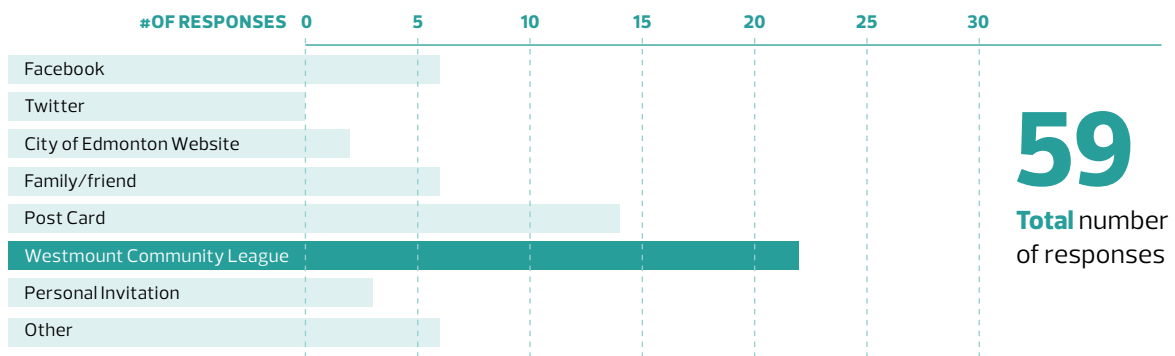
Feedback from this drop-in workshop will be considered by the project team, and balanced with best practices, existing City policies, and input from other stakeholders to guide the development of final ARP and DC1 Amendments.



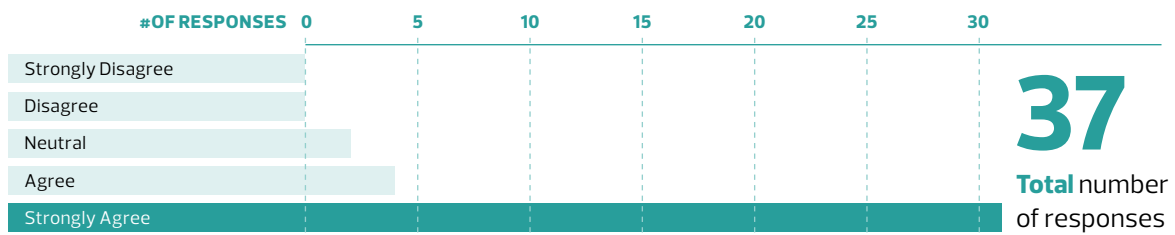
Feedback on this Drop-in Workshop

A workshop Survey was available at the drop-in workshop to evaluate the engagement and provide feedback as to how we may continue to improve our events and content. In total, **37 survey responses were received**. Relative to Drop-in Workshop 1, improvement was identified in all categories.

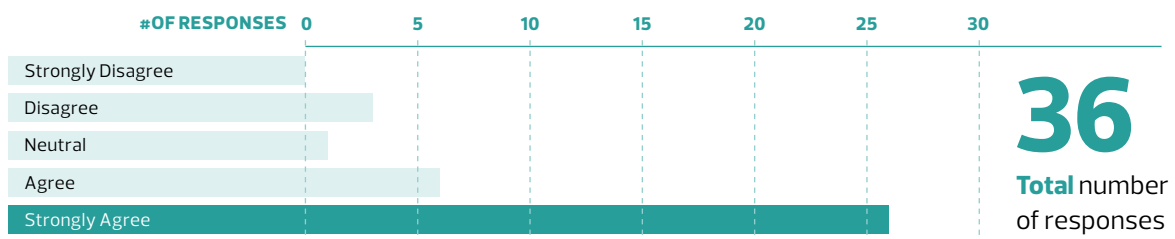
Q.1 How did you hear about the Westmount Architectural Heritage Area rezoning Drop-in Workshop?



Q.2 I felt welcome and respected in this space.

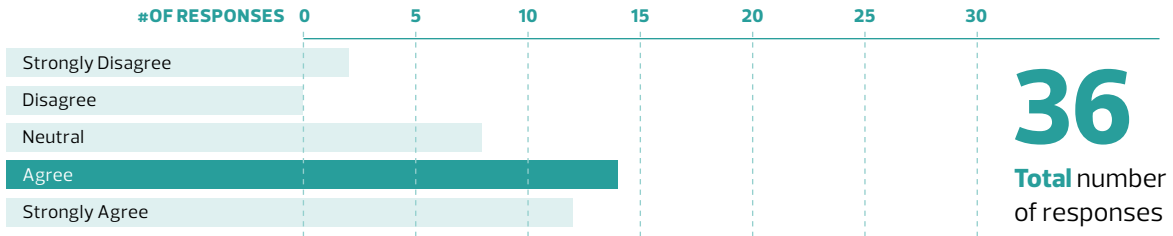


Q.3 I felt safe sharing my input at different project tables.

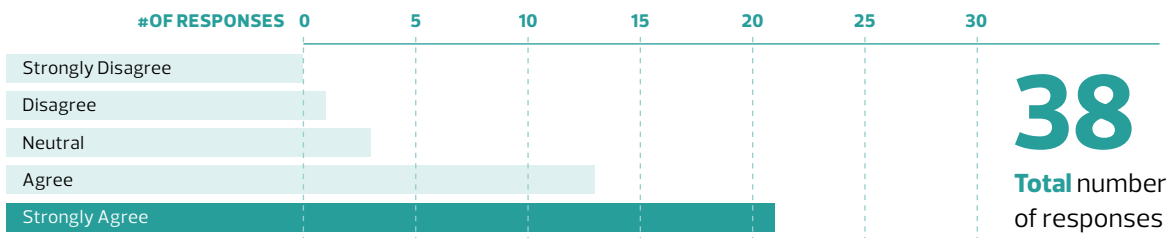


FEEDBACK ON ENGAGEMENT (CONT)

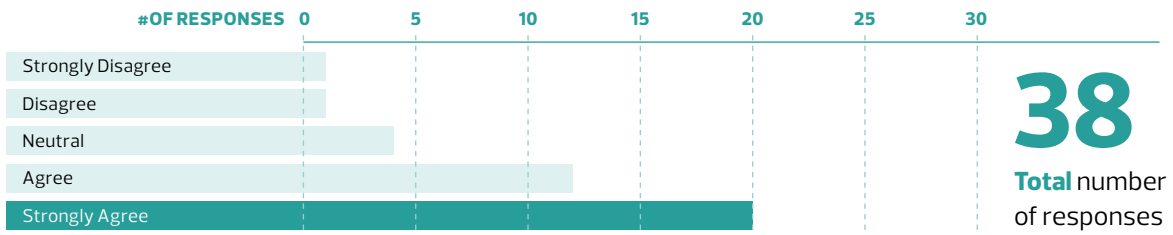
Q.4 I feel that the input provided will be used by the City.



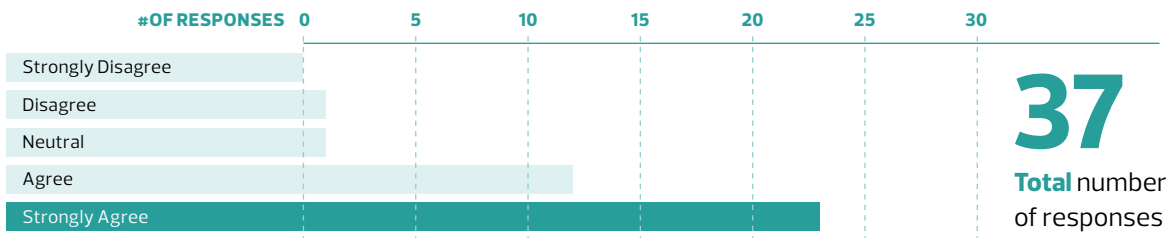
Q.5 The purpose of this Drop-in Workshop was clearly explained.



Q.6 I understand how the input from the Drop-in Workshop will be used.

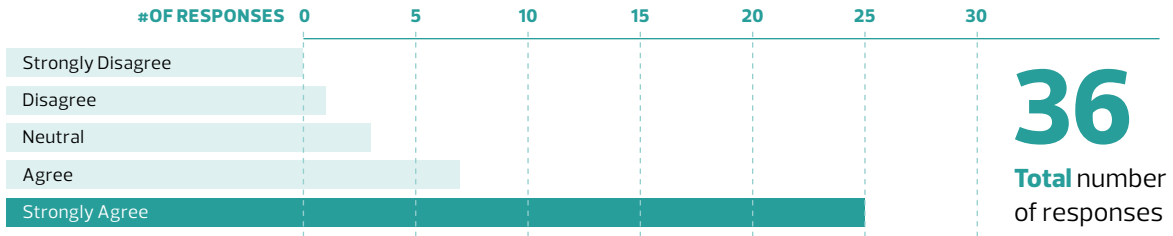


Q.7 The Drop-in Workshop was well organized.

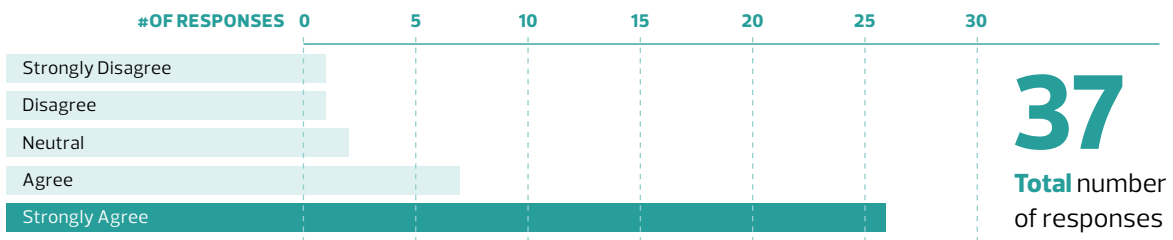


FEEDBACK ON ENGAGEMENT (CONT)

Q.8 The information boards were easy to understand and informative.



Q.9 The event set-up was appropriate.



Respondents also told us:

- + The event was relaxed, friendly, and welcoming
- + City of Edmonton staff were polite, helpful, and knowledgeable
- + It was evident that feedback from the first Drop-in Workshop was incorporated into the information on the boards
- + The information was clear and the event set-up was appropriate
- + They liked the opportunity to provide their feedback online as well
- + They would like the opportunity for large-scale discussion amongst participants

Next Steps

Final ARP and DC1 amendments will be developed by Heritage Planners using a balance of participant and stakeholder feedback collected over the course of the project. The final ARP and DC1 amendments will be structured such that they will align with current zoning standards and heritage management best practices.

In spring 2019, the public will be invited to provide their feedback on the final ARP and DC1 amendments at the third and final Drop-in Workshop prior to City Council considering the final amendments in Summer 2019.



Thank You!

The project team would like to thank everyone who participated in the Drop-in Workshop and the Westmount Community League for their feedback and ongoing support of this rezoning exercise.



FOR MORE INFORMATION

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