

Strathcona Area Redevelopment Plan (ARP)	COMMENTS
<p data-bbox="105 220 397 256">The Ritchie Mill DC1</p> <p data-bbox="105 300 386 336">1. General Purpose</p> <p data-bbox="105 352 1079 556">To preserve the historic Ritchie Mill, to accommodate a mix of office related uses, and to allow for a contextually appropriate building expansion. The built form and urban design will preserve the integrity of the historic Ritchie Mill while adding a complementary, contemporary office expansion to the north side of the existing building.</p> <p data-bbox="105 600 425 636">2. Area of Application</p> <p data-bbox="105 653 1047 810">This Provision shall apply to Lot 1, Block B, Plan 8022354, located at the northwest corner of Saskatchewan Drive NW and Tommy Banks Way, as shown in Schedule “A” of the Charter Bylaw adopting this Provision, Strathcona.</p> <p data-bbox="105 863 219 898">3. Uses</p> <ul style="list-style-type: none"> <li data-bbox="154 932 592 968">a. Bars and Neighbourhood Pubs <li data-bbox="154 974 544 1010">b. Business Support Services <li data-bbox="154 1016 430 1052">c. Cannabis Lounge <li data-bbox="154 1058 479 1094">d. Cannabis Retail Sales <li data-bbox="154 1100 462 1136">e. Child Care Services <li data-bbox="154 1142 479 1178">f. Commercial Schools <li data-bbox="154 1184 527 1220">g. Convenience Retail Store <li data-bbox="154 1226 722 1262">h. Creation and Production Establishments <li data-bbox="154 1268 479 1304">i. General Retail Stores <li data-bbox="154 1310 479 1346">j. Government Services <li data-bbox="154 1352 414 1388">k. Health Services <li data-bbox="154 1394 381 1430">l. Liquor Stores <li data-bbox="154 1436 397 1472">m. Media Studios <li data-bbox="154 1478 511 1514">n. Personal Service Shops <li data-bbox="154 1520 381 1556">o. Private Clubs <li data-bbox="154 1562 544 1598">p. Private Education Services <li data-bbox="154 1604 868 1640">q. Professional, Financial and Office Support Services <li data-bbox="154 1646 544 1682">r. Public Education Services <li data-bbox="154 1688 690 1724">s. Public Libraries and Cultural Exhibits <li data-bbox="154 1730 625 1766">t. Publicly Accessible Private Park <li data-bbox="154 1772 462 1808">u. Religious Assembly <li data-bbox="154 1814 349 1850">v. Restaurants <li data-bbox="154 1856 511 1892">w. Specialty Food Services 	<p data-bbox="1112 999 1502 1377">Additional uses proposed to be added are intended to complement the office and office-related uses and to future-proof the zone. It is understood that some uses, such as restaurants, may require future alterations to the building and require consultation and collaboration with Heritage.</p>

- x. Special Events
- y. Fascia On-premises Signs
- z. Freestanding On-premises Signs
- aa. Minor Digital On-premises Signs
- bb. Projecting On-premises Signs
- cc. Temporary On-Premises Signs

4. Development Regulations for Uses

1. A comprehensive sign design plan, compatible with the historic character of the Ritchie Mill, shall be prepared and submitted with the Development Permit application, to be approved in consultation with the Heritage Officer. Signage shall compliment the historic nature of the Ritchie Mill commercial environment.
2. Signs shall comply with the General Provisions of Section 59 of the Zoning Bylaw and the regulations found in Schedule 59H of the Zoning Bylaw.
3. Freestanding On-premises Signs shall be limited to project identification, building construction identification, and real estate advertising signs of a limited duration.
4. Temporary On-premises Signs shall be limited to project advertising and commercial sale or leasing purposes only, and shall not include trailer mounted signs and/or signs with changeable copy.

5. Development Regulations for Site Layout and Built Form

1. The development shall be in general conformance with the attached appendices.
2. The maximum Height shall be 21 m.
3. The maximum Floor Area Ratio shall be 2.7.
4. The minimum North Setback shall be 0 m.
5. The minimum South Setback shall be 0 m.
6. The minimum West Side Setback shall be 0 m.
7. The minimum East Side Setback shall be 0 m.

6. Development Regulations for Building Design and Features

1. The historic Ritchie Mill shall be retained.
2. There shall be a distinct material differentiation between the historic portion of the Ritchie Mill building and the north addition to the building.
3. The north addition to the Ritchie Mill shall include design techniques including the use of variations in building Setbacks and use of translucent material, in order to minimize the perception of massing, and to create visual interest, as identified in the appendices.

Signs: Section 59 provides guidance for erecting, changing or relocating signs. [Schedule 59H](#) provides the sign regulation for DC1s. Please advise if other/additional sign uses and/or sign regulations are needed.

DC1.5(2): 21 m is the max. height of the existing building.

Other historic regulations can be found in Section 9.

4. All entrance features shall front onto the public roadway, Tommy Banks Way.
 5. All mechanical equipment, including surface level venting systems and transformers, shall be screened in a manner compatible with the architectural character of the building or be concealed by incorporating it within the building.
- 7. Development Regulations for Parking, Loading, Storage and Access**
1. There shall be no requirement for on-site Vehicular Parking, except that designated Vehicular Parking may be provided adjacent to the site, to the north of End of Steel Park.
 2. Bicycle parking shall be provided in a combination of exterior, publicly accessible bike rack(s) and an interior, secure bicycle parking area.
 3. Service and emergency response vehicles shall have clear and effective access to the building on the site to the satisfaction of the Development Officer in consultation with Transportation Services.
 4. Details regarding the location of on-street parallel parking, on-street commercial loading and passenger drop-off zones shall be to the satisfaction of Transportation Services.
 5. All waste collection, storage, or loading areas shall be located to the rear of the building in the south setback, and designed to the satisfaction of the Development Officer in consultation with Waste Management Services and Subdivision and Development Coordination (Transportation).
- 8. Development Regulations for Landscaping, Lighting and Amenity Area**
1. A Landscape Plan prepared by a registered Landscape Architect shall be submitted prior to the issuance of a Development Permit, to the satisfaction of the Development Officer.
 2. The Landscape Plan shall include pavement materials, sizes and species of new plantings, any street furniture materials, and other detailed Landscaping elements. The Landscape Plan shall include design of the adjacent public realm in satisfaction of Policy C599.
 3. Exterior lighting associated with the historic facades shall be to the satisfaction of the Development Officer in consultation with the Heritage Officer.
 4. A minimum of 150 m² of Common Amenity Area may be provided for use by the tenants and visitors. Common Amenity Area may include, but is not limited to, patio areas and Rooftop Terraces.
- 9. Other Regulations**

1. The Ritchie Mill is a Designated Municipal Historic Resource. Exterior alterations and additions shall be sympathetic to and compatible with the historic Façades of the Ritchie Mill to the satisfaction of the Development Officer in consultation with the Heritage Officer. The following standards and guidelines shall be applied when reviewing development applications for the Ritchie Mill:
 - a. The General Guidelines for Rehabilitation from City Policy C-450B, A Policy to Encourage the Designation and Rehabilitation of Municipal Historic Resources in Edmonton; and
 - b. The Standards and Guidelines for the Conservation of Historic Places in Canada.
2. Any application to demolish, alter, restore or repair a building or structure, or to excavate or otherwise disturb land, shall require prior written authority, in accordance with the Historical Resources Act.

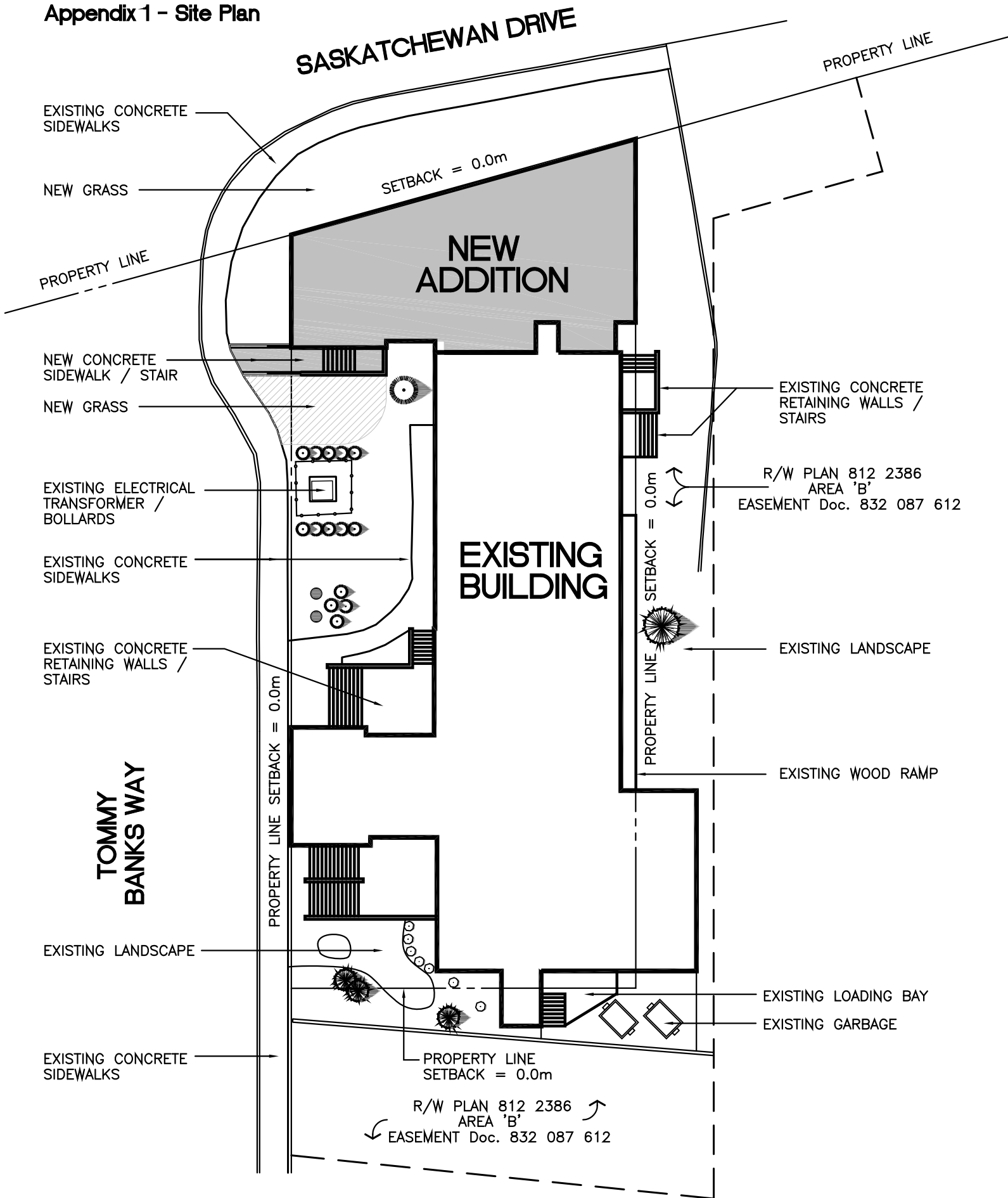
10. Public Improvements and Contributions

1. The development shall provide enhanced landscaping along the abutting public road right-of-ways to satisfy community amenity contribution requirements under City Policy C599.

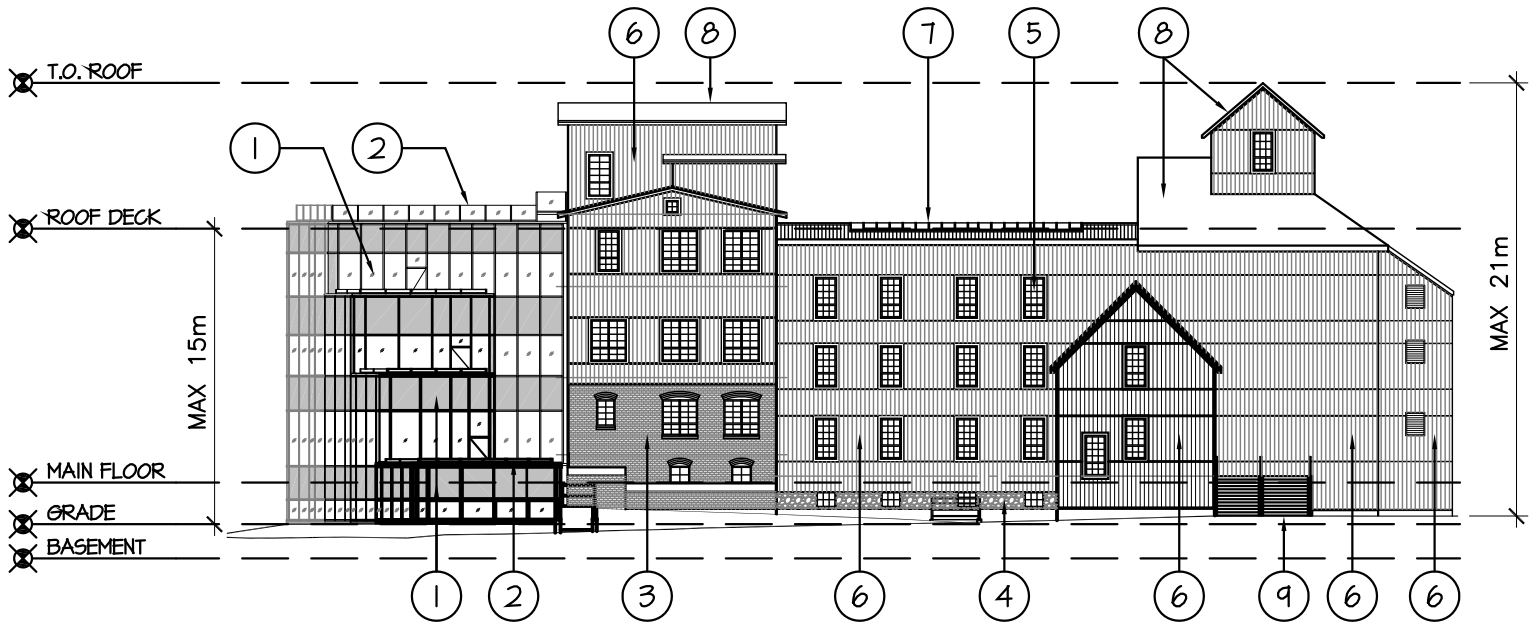
Appendix 1 - Site Plan
 Appendix 2 - Elevations

DC1.10: C599 contribution; for discussion.

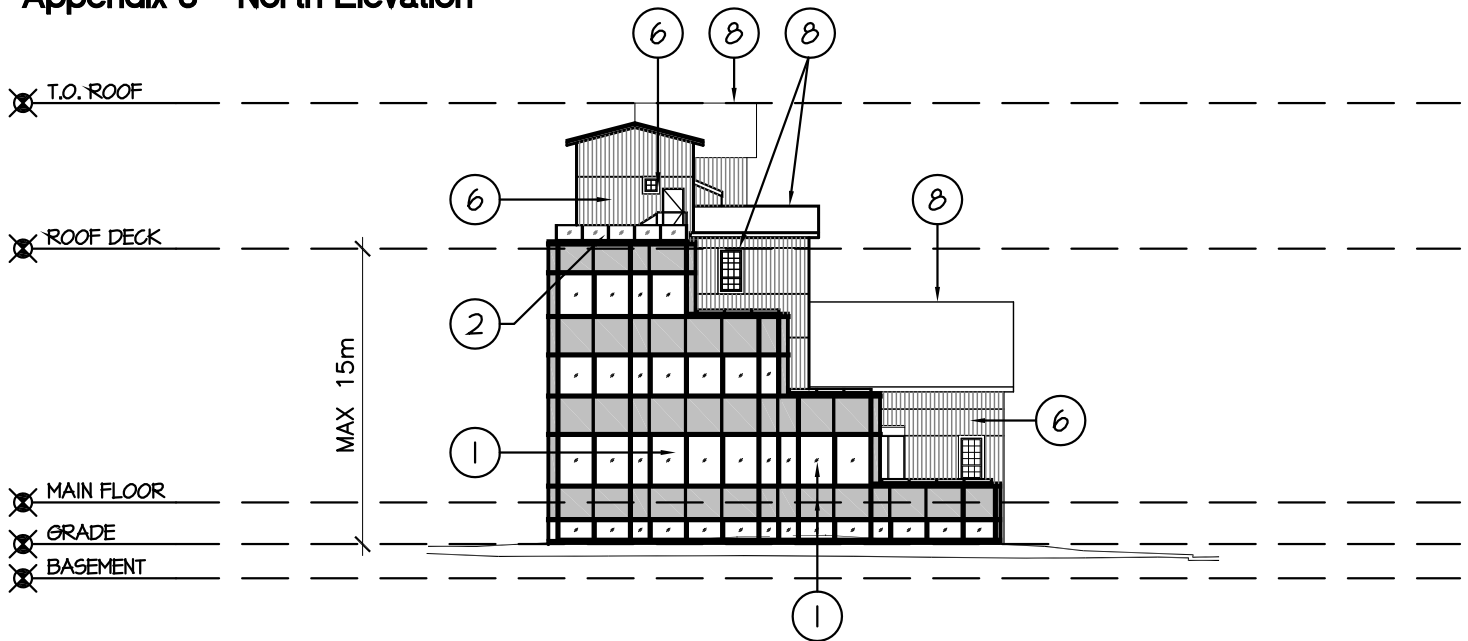
**Ritchie Mill
Appendix 1 - Site Plan**



**Ritchie Mill
Appendix 2 - West Elevation**

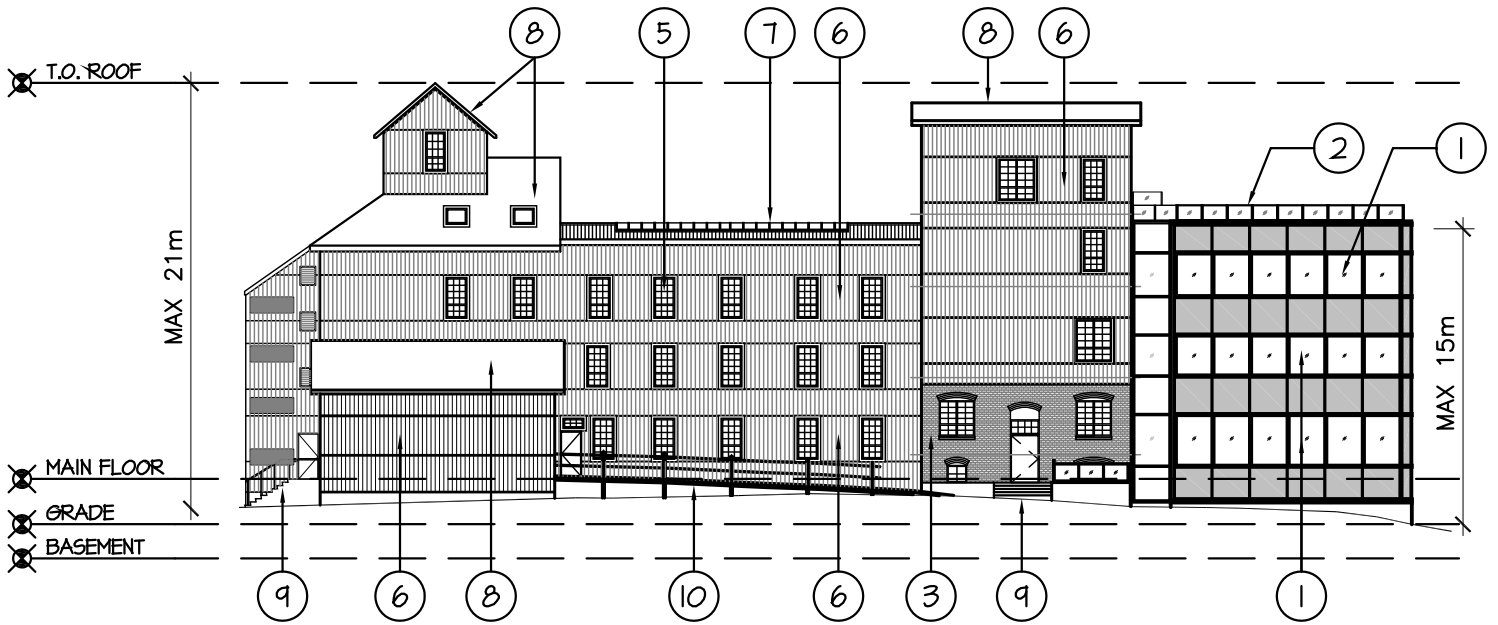


**Ritchie Mill
Appendix 3 - North Elevation**

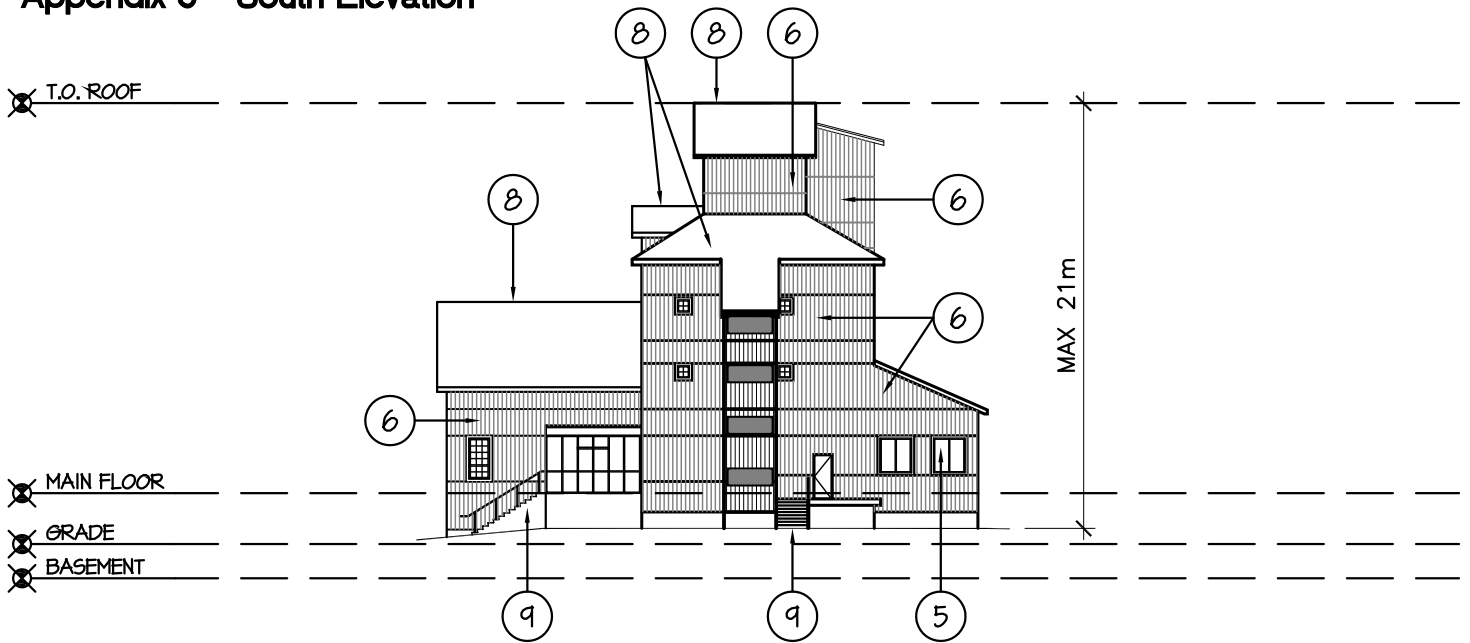


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| ① NEW ALUMINUM CURTAINWALL
TRIPLED GLAZED - GRAY | ⑥ EXISTING METAL SIDING - GRAY |
| ② NEW POWDER COATED STEEL GUARDRAILS
C/W TEMPERED GLASS - GRAY | ⑦ EXISTING METAL ROOF / SKYLIGHTS - GRAY |
| ③ EXISTING BRICK VENEER ASSEMBLY - BROWN | ⑧ EXISTING ASPHALT SHINGLES - GRAY |
| ④ EXISTING STONE ASSEMBLY - BROWN / GRAY | ⑨ EXISTING CONCRETE STAIRS |
| ⑤ EXISTING WOOD WINDOWS | |

**Ritchie Mill
Appendix 4 - East Elevation**



**Ritchie Mill
Appendix 5 - South Elevation**



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|---|--|
| ① NEW ALUMINUM CURTAINWALL
TRIPLED GLAZED - GRAY | ⑥ EXISTING METAL SIDING - GRAY |
| ② NEW POWDER COATED STEEL GUARDRAILS
C/W TEMPERED GLASS - GRAY | ⑦ EXISTING METAL ROOF / SKYLIGHTS - GRAY |
| ③ EXISTING BRICK VENEER ASSEMBLY - BROWN | ⑧ EXISTING ASPHALT SHINGLES - GRAY |
| ④ EXISTING STONE ASSEMBLY - BROWN / GRAY | ⑨ EXISTING CONCRETE STAIRS |
| ⑤ EXISTING WOOD WINDOWS | ⑩ EXISTING WOOD RAMP |