



INFILL IN EDMONTON

SECONDARY SUITES

Description

A secondary suite is a self-contained dwelling unit within a house. Each suite has its own kitchen, sleeping areas, and bathroom facilities and an entrance separate from the entrance to the principal dwelling. Secondary suites have little impact on the outward appearance of the existing dwelling and streetscape as they are typically created through the conversion of existing space or the addition of new floor space to the existing dwelling.

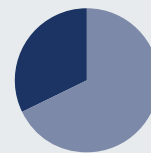
Until August 2018, secondary suites were permitted only in single detached homes, in most low density residential zones and were discretionary in single detached homes in higher density residential zones. As of August 2018, secondary suites are now permitted in semi-detached, duplex, and row housing wherever those forms of housing are allowed. Lot size and floor area requirements have also been amended to allow for secondary suites in single detached houses on narrow lots.

Distribution (2020)

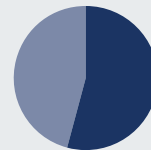
Secondary suite building permits peaked in 2019, with 680 unit permits issued. The number declined to 482 in 2020. It is the second highest since 2011. Mature areas saw the most secondary suite permits issued (408 units), followed by Established areas (50 units), and Core areas (24 units). The neighbourhoods with the most secondary suite permits issued: **McKernan** (29 units), **Inglewood** (18 units), **Pleasantview** (14 units), **Allendale** and **Forest Heights** (13 units each), **Alberta Avenue**, **King Edward Park**, and **West Jasper Place** (12 units each), **Calder** (11 units) and **Holyrood** (10 units).

Of the 339 building permits issued for single detached houses in Core, Mature, and Established neighbourhoods in 2020, 84 or 25% included secondary suites. Since the bylaw changes in August 2018, 448 secondary suites were permitted (163 units in 2020) in semi-detached and row housing.

Building Permits Issued (2020)



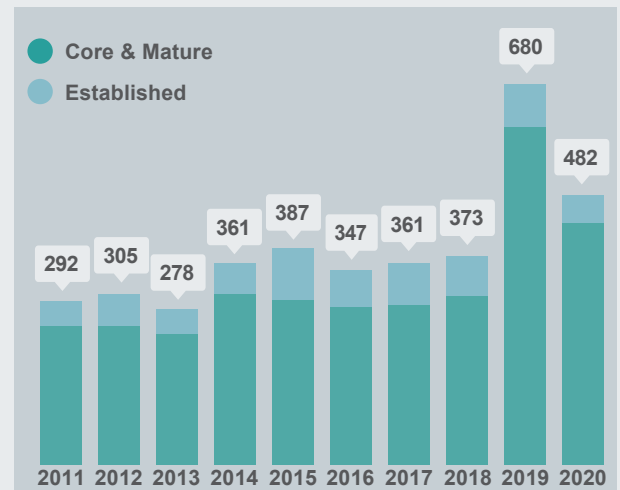
- Suites in new homes
155 Units (32%)
- Suites in existing homes
327 Units (68%)



- Suites in new single detached homes
84 Units (54%)
- Suites in new semi-detached & row homes
71 Units (46%)

Infill Secondary Suites

2011 - 2020



Note: * Infill proportion statistics are restricted to building permits issued in the Core and Mature neighbourhoods (include Griesbach and Blatchford).
 ** The City Plan (approved in December 2020) comprehensively replaces The Ways documents, including The Way We Grow, setting strategic direction for the way Edmonton grows to accommodate the next 1 million residents. The Plan's progress will be closely monitored, including infill growth, and the reporting format will be reviewed to align with the new City Plan policies and geographies.