

# **Draft (RS) Small Scale Residential Zone Scenario Modelling**

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## HOW TO USE THIS DOCUMENT

The Zoning Bylaw Renewal Initiative is updating Edmonton’s Zoning Bylaw—the city’s “rulebook” for development—rethinking how, what and why the City of Edmonton regulates in terms of land and development. This document was prepared to help visualize what Edmonton’s future residential developments could look like by comparing modelling scenarios under the proposed [draft Zoning Bylaw](#) (released in May 2023) to what is currently allowed under the existing [Zoning Bylaw 12800](#).

The draft Zoning Bylaw proposes to reduce the number of residential zones by combining similar zones together, offering a greater range of housing opportunities on a property. This document compares the proposed (RS) Small Scale Residential Zone to the existing (RF1) Single Detached Residential Zone and (RF3) Small Scale Infill Development Zone within the Mature Neighbourhood Overlay (MNO) of the current Zoning Bylaw. Each model shows what a particular development could look like at, or close to, maximum build-out on the site.

Each scenario model is accompanied by a table that:

- compares proposed and existing regulations
- outlines the development assumptions under which the model was made

This document has been prepared for illustrative purposes and is intended to assist readers in visualizing the scale of development allowed under each zone. The scenarios in this document do not represent all the development possibilities that could occur under the draft RS Zone. A glossary is provided at the end of this document to explain terms used in the models and tables.

**Note:** *This document reflects the version of the draft Zoning Bylaw shared for public feedback in May 2023. The draft Zoning Bylaw is subject to change as further refinements are made through additional public engagement. Changes to regulations from the September 2022 draft of the Zoning Bylaw are shown in green. To see all of the changes proposed to the draft RS Zone, please refer to the online [draft Zoning Bylaw](#).*

# WHAT IS THE SMALL SCALE RESIDENTIAL ZONE?

The draft Small Scale Residential (RS) Zone combines multiple existing small-scale residential zones into a single zone to allow a greater range of small-scale housing types in neighbourhoods throughout Edmonton's redeveloping area (the area generally located within Anthony Henday Drive). Compared to current equivalent zones under Zoning Bylaw 12800, the RS Zone provides development flexibility in terms of height, setbacks and site coverage, while continuing to limit overall building size to support compatibility with surrounding development. This approach creates a "box" that the building must fit within, while providing flexibility for how dwellings within the box can be arranged. Housing types proposed in this zone include single-detached housing, semi-detached housing, duplexes, backyard housing, secondary suites, row housing and small apartments. Limited commercial and community services, such as childcare facilities, are proposed to be allowed to provide local services, businesses and community gathering spaces to residents. The Mature Neighbourhood Overlay (MNO) is proposed to be retired, however, some of its regulations are incorporated into the RS Zone.

## KEY HIGHLIGHTS

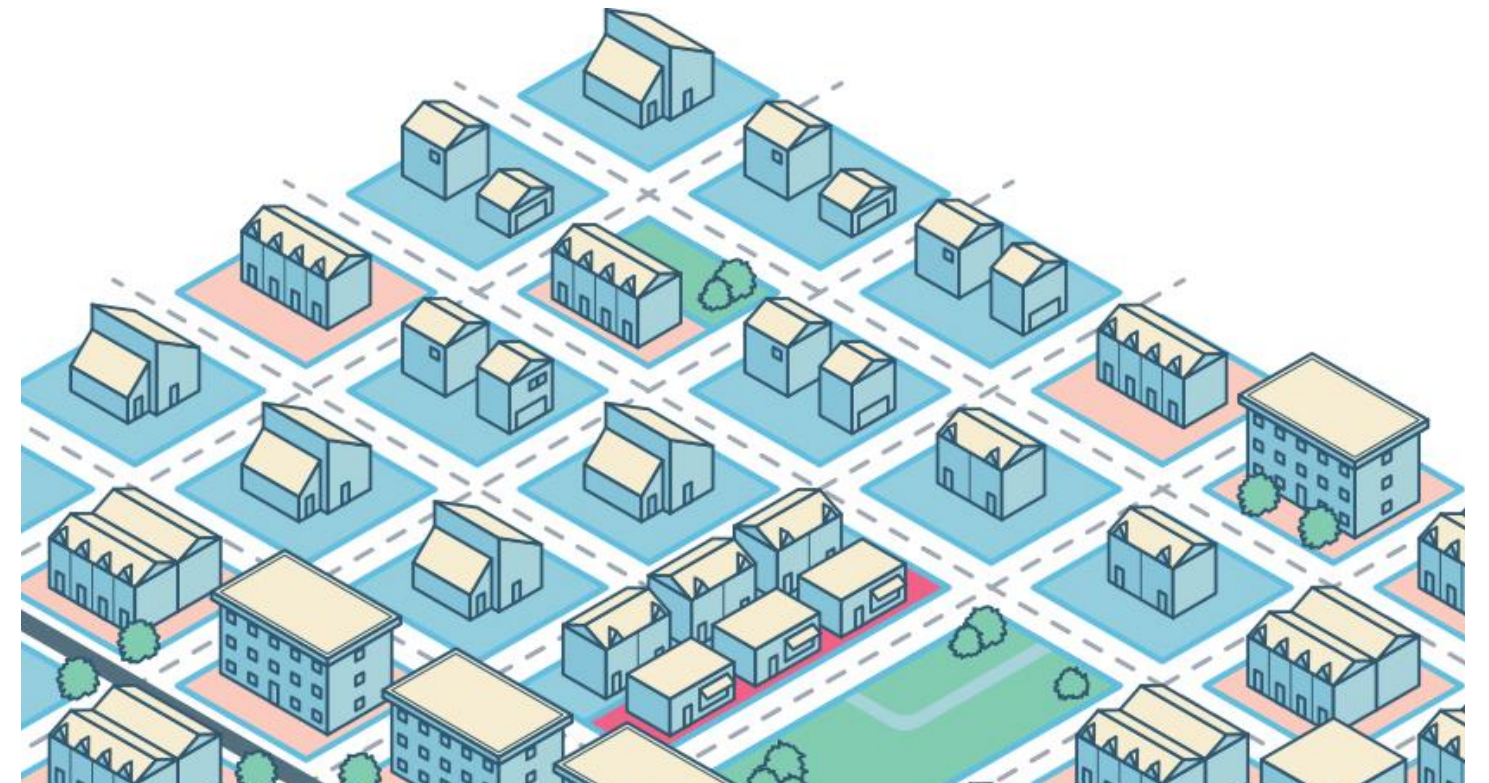
- Combines multiple existing small-scale residential zones into a single zone to expand development opportunities within the redeveloping area
- A maximum building height of 10.5 m to support a range of housing forms
- A minimum rear setback of 10.0 m to support a range of housing forms and living arrangements
- Diverse housing types are proposed to provide more housing choice in neighbourhoods

## KEY CHANGES FROM THE SEPTEMBER 2022 DRAFT ZONING BYLAW

- In the previous draft, a minimum front setback of 3.0 m was proposed where the site abuts a treed boulevard and a minimum of 4.5 m was proposed where the site does not abut a treed boulevard. In response to engagement feedback, a single minimum front setback of 4.5 m is proposed to provide space for front yard landscaping in all contexts.
- In the previous draft, the minimum distance between a house and a detached garage was proposed to be 0.9 m and the minimum distance between a house and a backyard house was proposed to be determined by building code requirements. In response to engagement feedback, a minimum distance of 3.0 m is being proposed between a house and a detached garage and backyard house to ensure visual separation between buildings.
- In response to engagement feedback, the maximum height for backyard housing is proposed to be increased from 6.5 m to 6.8 m to provide more flexibility for roof design, air ducting and insulation.

## PROPOSED EQUIVALENCIES IN ZONING BYLAW 12800

- (RF1) Single Detached Residential Zone
- (RF2) Low Density Infill Zone
- (RF3) Small Scale Infill Development Zone
- (RF4) Semi-detached Residential Zone (redeveloping area)
- (RF4t) Terwillegar Semi-detached Residential Zone
- (RMH) Mobile Home Zone (some sites)



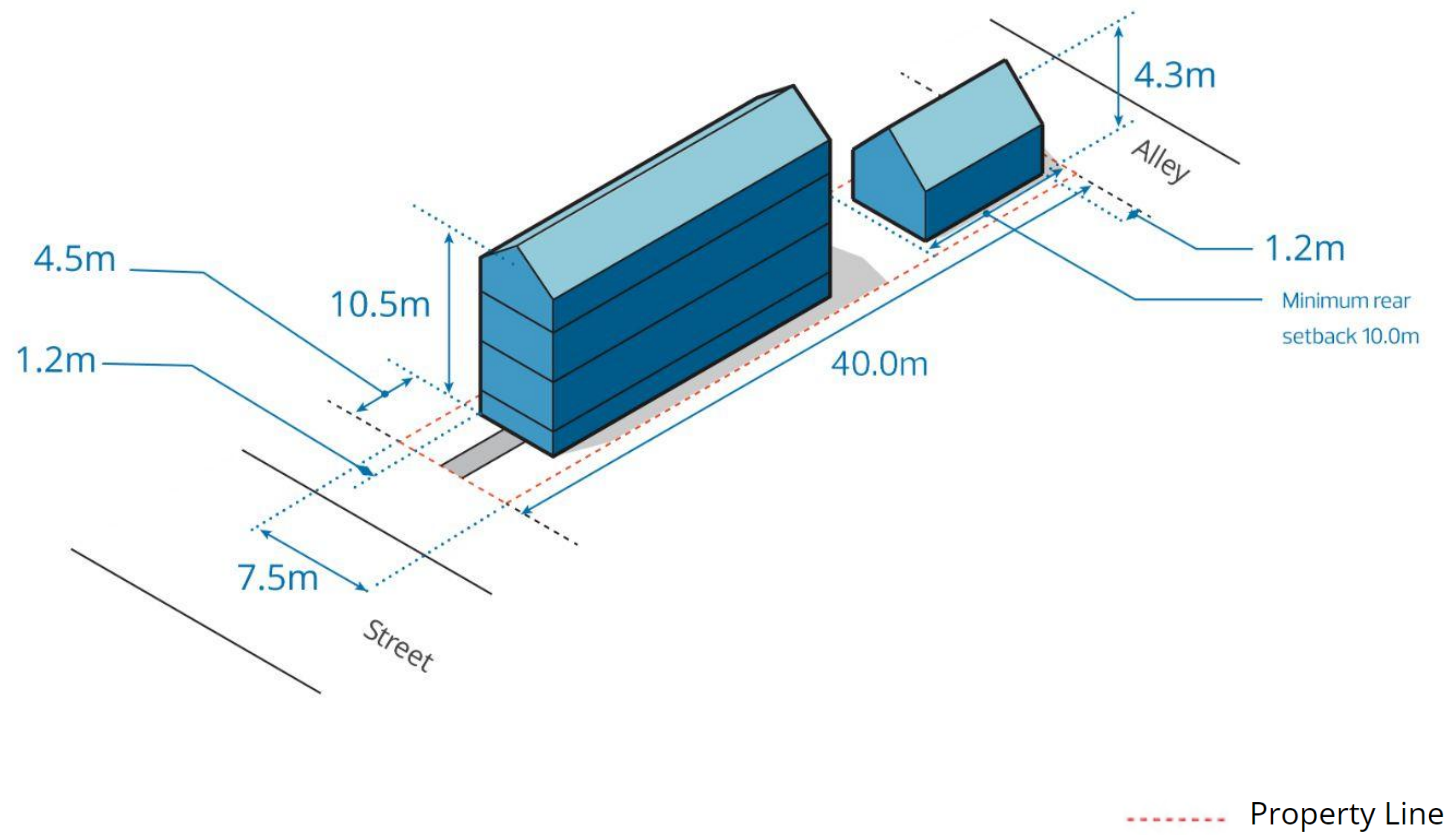
# SINGLE DETACHED HOUSE WITH REAR DETACHED GARAGE

## ZONE MODELLING

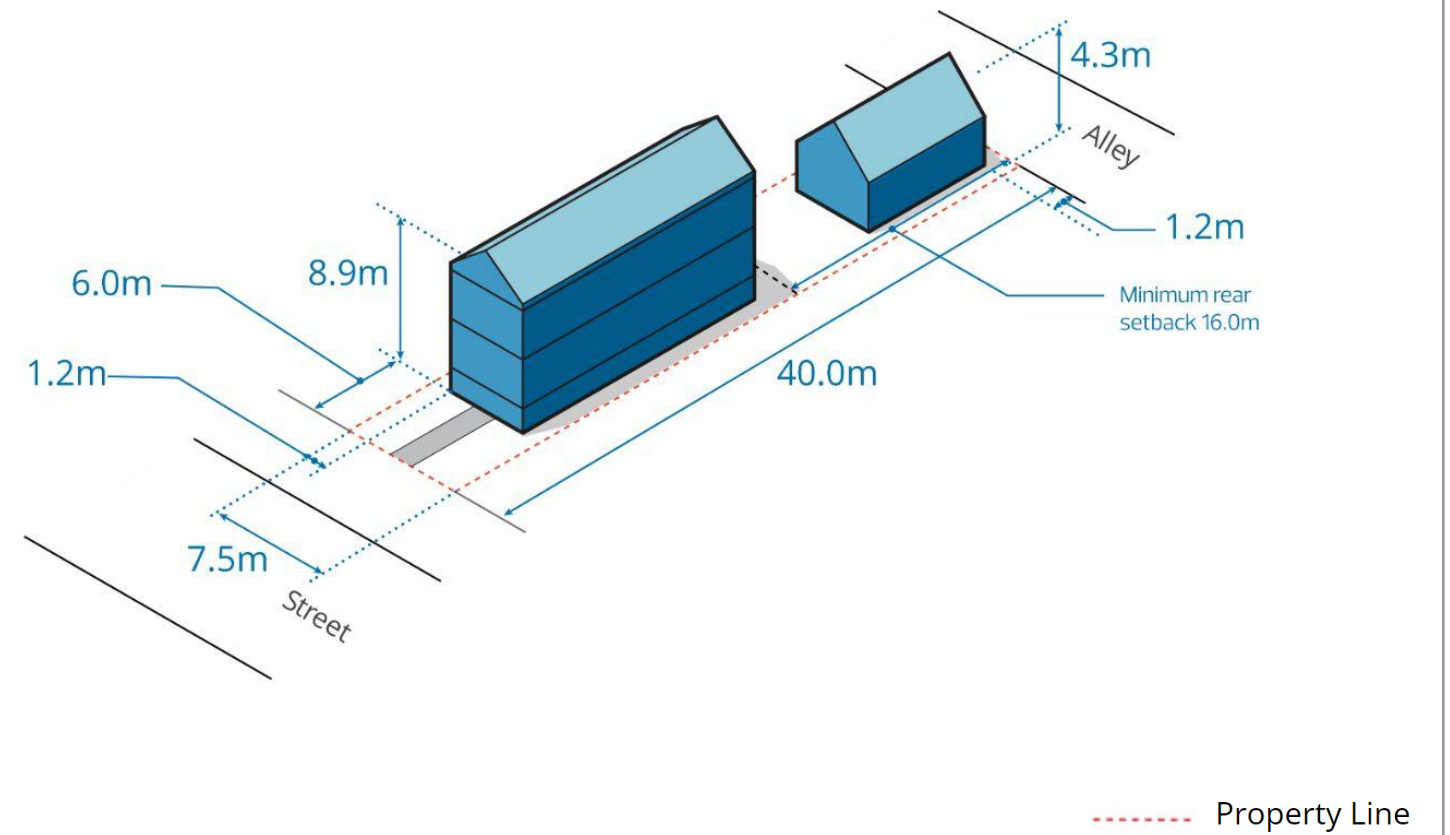
### SITE CONTEXT

- Internal narrow lot
- Alley access

Proposed RS Zone



Existing RF1 and RF3 Zone (in MNO)



**Note:** In these scenarios, the house reaches maximum site coverage before it reaches the minimum rear setback. See the zone comparison table below for further information.

# SINGLE DETACHED HOUSE WITH REAR DETACHED GARAGE

## ZONE COMPARISON TABLE

	Proposed RS Zone		Existing RF1 and RF3 Zones	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Site area</b>	300 m <sup>2</sup>	Minimum 75 m <sup>2</sup> per dwelling	300 m <sup>2</sup>	Minimum 250 m <sup>2</sup> (RF1) / 225 m <sup>2</sup> (RF3)
<b>Site width</b>	7.5 m	Minimum 7.5 m	7.5 m	Minimum 7.5 m
<b>Site depth</b>	40 m	Minimum 30 m	40 m	Minimum 30 m
<b>Total site coverage</b>	47%	Maximum 47%	42%	Maximum 42% (44% with a front porch)
<b>Site coverage of house</b>	33%	No maximum	28%	Maximum 28% (30% with a front porch)
<b>Site coverage of garage</b>	14%	Maximum 20%	14%	Maximum 14%
<b>House dimensions</b>	5.1 m x 19.4 m	Maximum facade Length 30 m	5.1 m x 16.4 m	No maximum
<b>Garage dimensions</b>	5.1 m x 8.2 m	Maximum facade Length 30 m	5.1 m x 8.2 m	No maximum
<b>Building height</b>	10.5 m	Maximum 10.5 m	8.9 m	Maximum 8.9 m
<b>Garage height</b>	4.3 m	Maximum 4.3 m	4.3 m	Maximum 4.3 m
<b>Floor-to-floor height</b>	3.0 m	No minimum or maximum	3.0 m	No minimum or maximum
<b>Basement height</b>	1.5 m	Maximum 1.8 m	1.5 m	Maximum 1.5 m
<b>Front setback</b>	4.5 m	Minimum 4.5 m <del>Minimum 4.5 m – no treed boulevard</del> <del>Minimum 3.0 m – treed boulevard</del>	6 m (assumes a front setback found in neighbourhoods within the MNO)	Minimum - 20% of site depth or 1.5 m less than the average front setback on abutting lots, whichever is less. Maximum - 1.5 m greater than the average front setback on abutting lots
<b>Rear setback</b>	16.1 m	Minimum 10 m	17.6 m	Minimum 40% of site depth (16 m)
<b>Side setback</b>	1.2 m	Minimum 1.2 m	1.2 m	Minimum 1.2 m where the site width is 12 m or less

	Proposed RS Zone		Existing RF1 and RF3 Zones	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Distance between house and garage</b>	6.7 m	Minimum 3.0 m	8.2 m	Minimum 3.0 m

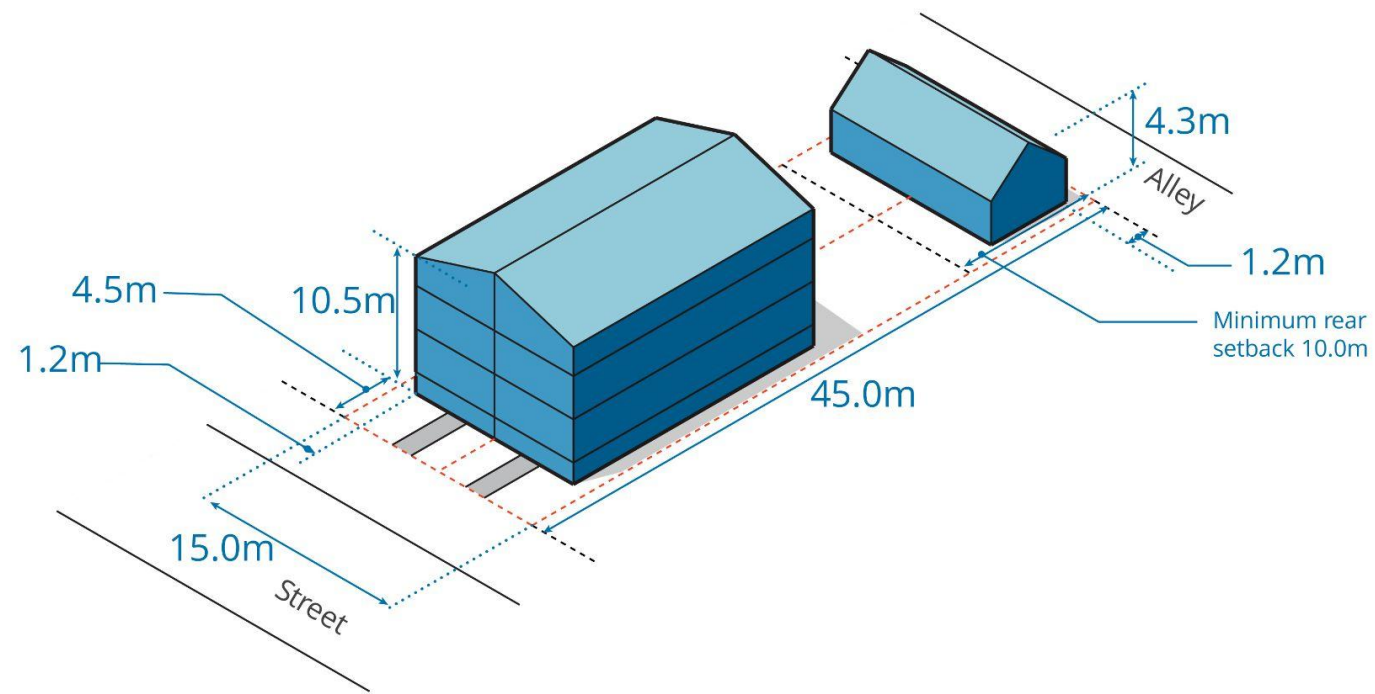
# SEMI-DETACHED HOUSE WITH REAR DETACHED GARAGE

## ZONE MODELLING

### SITE CONTEXT

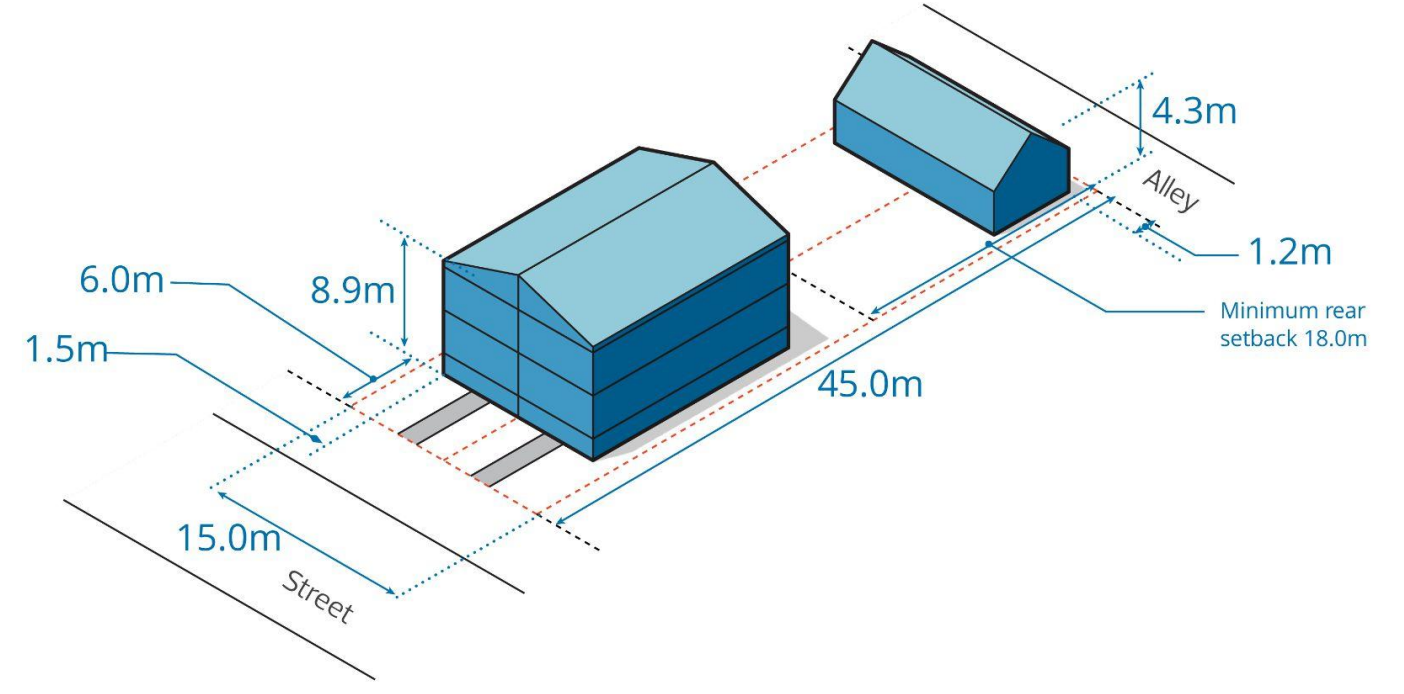
- Internal site with alley access
- Each attached dwelling is developed on its own lot

### Proposed RS Zone



----- Property Line

### Existing RF1 and RF3 Zone (in MNO)



----- Property Line

**Note:** In these scenarios, the semi-detached house reaches maximum site coverage before it reaches the minimum rear setback. See the zone comparison table below for further information.



# SEMI-DETACHED HOUSE WITH REAR DETACHED GARAGE

## ZONE COMPARISON TABLE

	Proposed RS Zone		Existing RF1 and RF3 Zones	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Site area</b>	675 m <sup>2</sup>	Minimum 75 m <sup>2</sup> per dwelling	675 m <sup>2</sup>	Minimum 488.4 m <sup>2</sup> (RF1) / 300 m <sup>2</sup> (RF3)
<b>Site width</b>	15.0 m	Minimum 7.5 m	15.0 m	Minimum 14.8 m (RF1) / Minimum 7.5 m (RF3)
<b>Lot width</b>	7.5 m	Minimum 4.0 m for attached dwellings that abut an alley <del>Minimum 5.0 m per dwelling</del>	7.5 m	No minimum
<b>Site depth</b>	45 m	Minimum 30 m	45 m	Minimum 30 m
<b>Total site coverage</b>	47%	Maximum 47%	39%	Maximum 40% (42% with a front porch)
<b>Site coverage of house</b>	36%	No maximum	28%	Maximum 28% (30% with a front porch)
<b>Site coverage of garage</b>	11%	Maximum 20%	11%	Maximum 12%
<b>House dimensions</b>	12.6 m x 19.2 m	Maximum facade length 30 m	12.0 m x 15.7 m	No maximum
<b>Garage dimensions</b>	12.8 m x 6.0 m	Maximum facade length 30 m	12.8 m x 6.0 m	No maximum
<b>Building height</b>	10.5 m	Maximum 10.5 m	8.9 m	Maximum 8.9 m
<b>Garage height</b>	4.3 m	Maximum 4.3 m	4.3 m	Maximum 4.3 m
<b>Floor-to-floor height</b>	3.0 m	No minimum or maximum	3.0 m	No minimum or maximum
<b>Basement height</b>	1.5 m	Maximum 1.8 m	1.5 m	Maximum 1.5 m
<b>Front setback</b>	4.5 m	Minimum 4.5 m <del>Minimum 4.5 m – no treed boulevard</del> <del>Minimum 3.0 m – treed boulevard</del>	6 m (assumes a front setback found in neighbourhoods within the MNO)	Minimum - 20% of site depth or 1.5 m less than the average front setback on abutting lots, whichever is less. Maximum - 1.5 m greater than average front setback on abutting lots

	Proposed RS Zone		Existing RF1 and RF3 Zones	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Rear setback</b>	21.3 m	Minimum 10 m	23.3 m	Minimum 40% of site depth (18 m)
<b>Side setback</b>	1.2 m	Minimum 1.2 m	1.5 m	Minimum 1.2 m and the total must be at least 20% of site width
<b>Distance between house and garage</b>	14.1 m	Minimum 3.0 m	16.1 m	Minimum 3.0 m

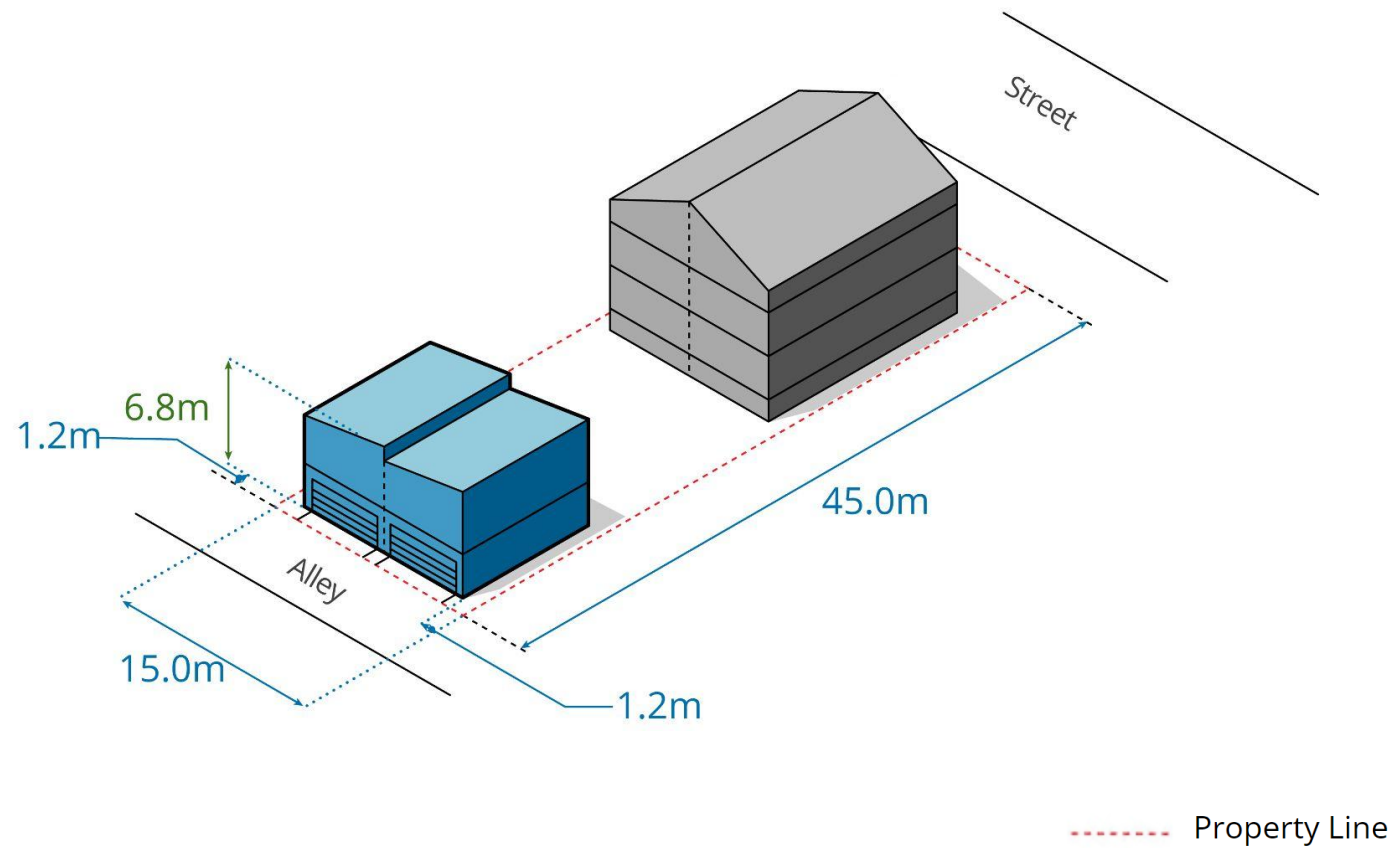
# BACKYARD HOUSING

## ZONE MODELLING

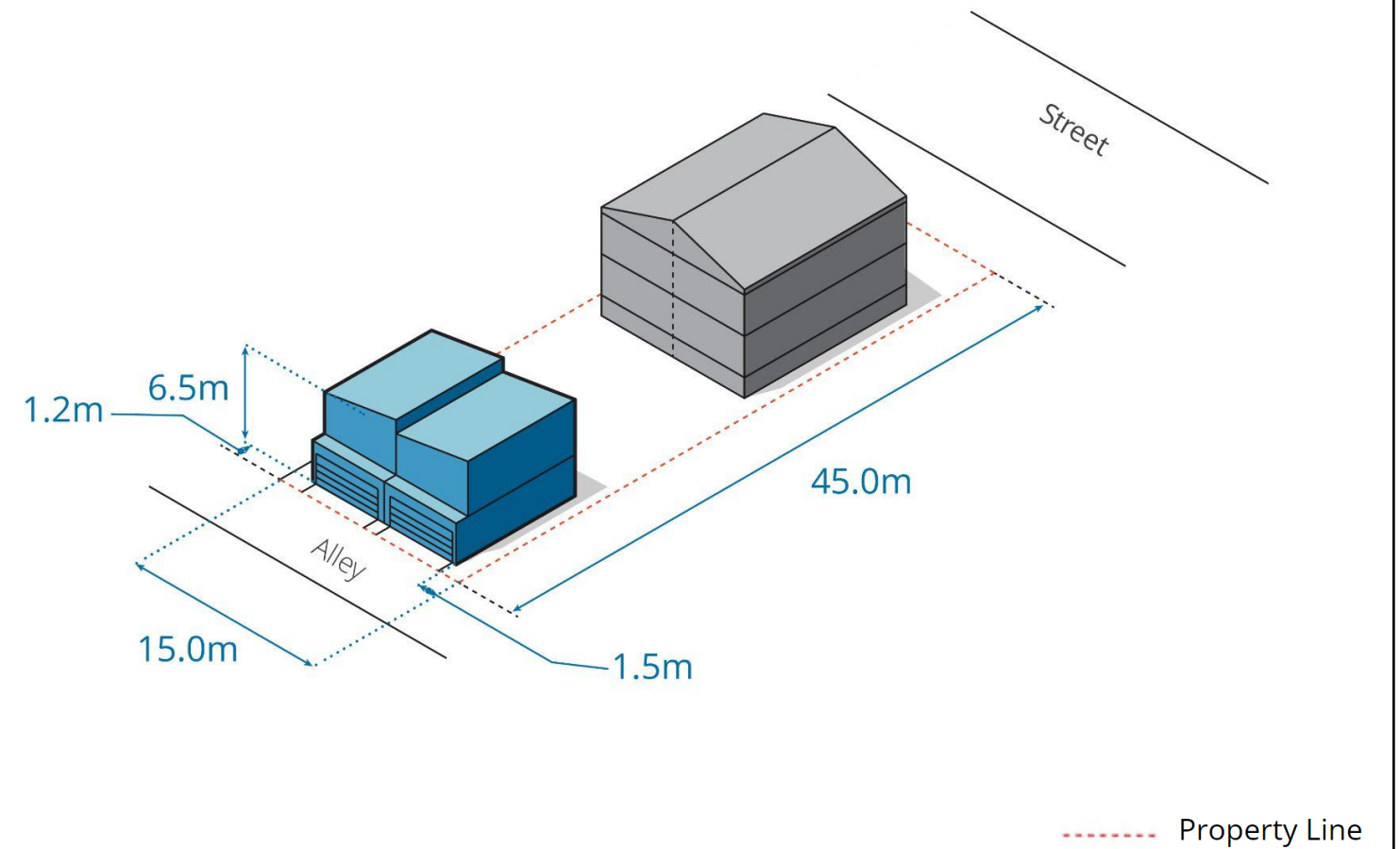
### SITE CONTEXT

- Internal lot
- Alley access
- Backyard Housing / Garden Suite built on top of a rear-detached garage

Proposed RS Zone



Existing RF1 and RF3 Zone (in MNO)



**Note:** Garden suites are proposed to be renamed 'backyard housing' under the draft Zoning Bylaw. See the zone comparison table below for further information.

# BACKYARD HOUSING

## ZONE COMPARISON TABLE

	Proposed RS Zone and Backyard Housing Regulations*		Existing RF1 and RF3 Zones and Garden Suite Regulations*	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Site area</b>	675 m <sup>2</sup>	Minimum 75 m <sup>2</sup> per dwelling	675 m <sup>2</sup>	Minimum 488.4 m <sup>2</sup> (RF1) / 300 m <sup>2</sup> (RF3)
<b>Site width</b>	15.0 m	Minimum 7.5 m	15.0 m	Minimum 14.8 m (RF1) / Minimum 7.5 m (RF3)
<b>Site depth</b>	45 m	Minimum 30 m	45 m	Minimum 30 m
<b>Total site coverage</b>	46.6%	Maximum 47%	42%	Maximum 42% (RF1) / Maximum 44% (RF3)
<b>Site coverage of backyard housing / garden suites</b>	18.6%	Maximum 20%	17.8 %	Maximum 18%
<b>Backyard housing / garden suite building dimensions</b>	12.6 m x 10 m	Maximum facade length 30 m Maximum 2nd storey building length 15.0 m	12.0 m x 10 m (main floor) 12.0 m x 9 m (second floor)	No maximum
<b>Backyard housing / garden suite height</b>	6.8 m	Maximum 6.8 m	6.5 m	Maximum 6.5 m where the garden suite has a roof slope of 4/12 (18.4°) or greater.  Maximum 6.2 m where the garden suite has a roof slope of less than 4/12 (18.4°).
<b>Floor-to-floor height</b>	3.0 m	No minimum or maximum	3.0 m	No minimum or maximum
<b>Rear setback</b>	1.2 m	Minimum 1.2 m	1.2 m	Minimum 1.2 m
<b>Side setback</b>	1.2 m	Minimum 1.2 m	1.5 m	Minimum 1.2 m and the total must be at least 20% of site width
<b>Second storey floor area</b>	60 m <sup>2</sup> per dwelling (excluding interior stairs)	Maximum 60 m <sup>2</sup> per dwelling	50 m <sup>2</sup> per dwelling (excluding interior stairs)	Maximum 50 m <sup>2</sup> per dwelling
<b>Distance between house and backyard house</b>	14.3 m	Minimum 3.0 m	14.8 m	Minimum 4.0 m

\*Garden suites are proposed to be renamed to 'backyard housing' in the draft Zoning Bylaw.

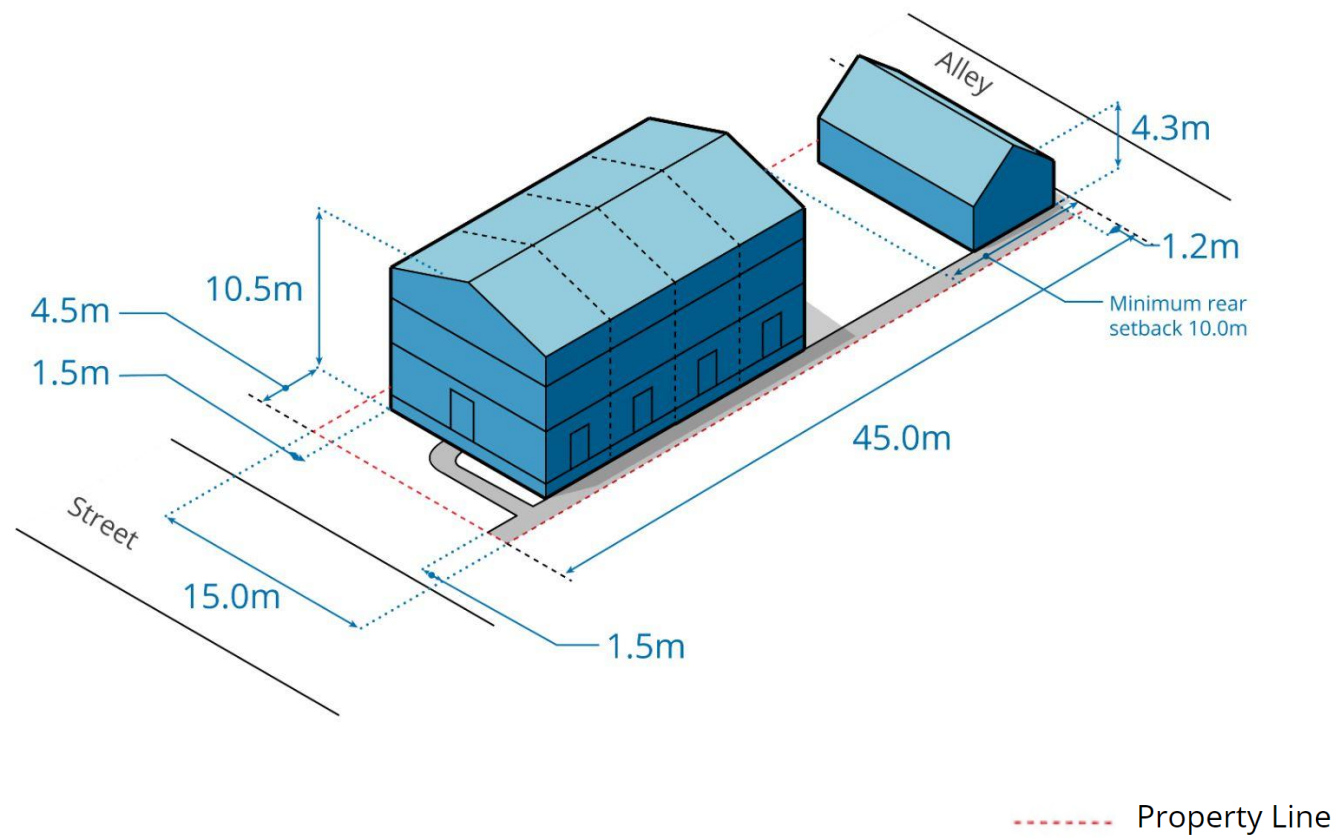
# MID-BLOCK 4-UNIT ROW HOUSING

## ZONE MODELLING

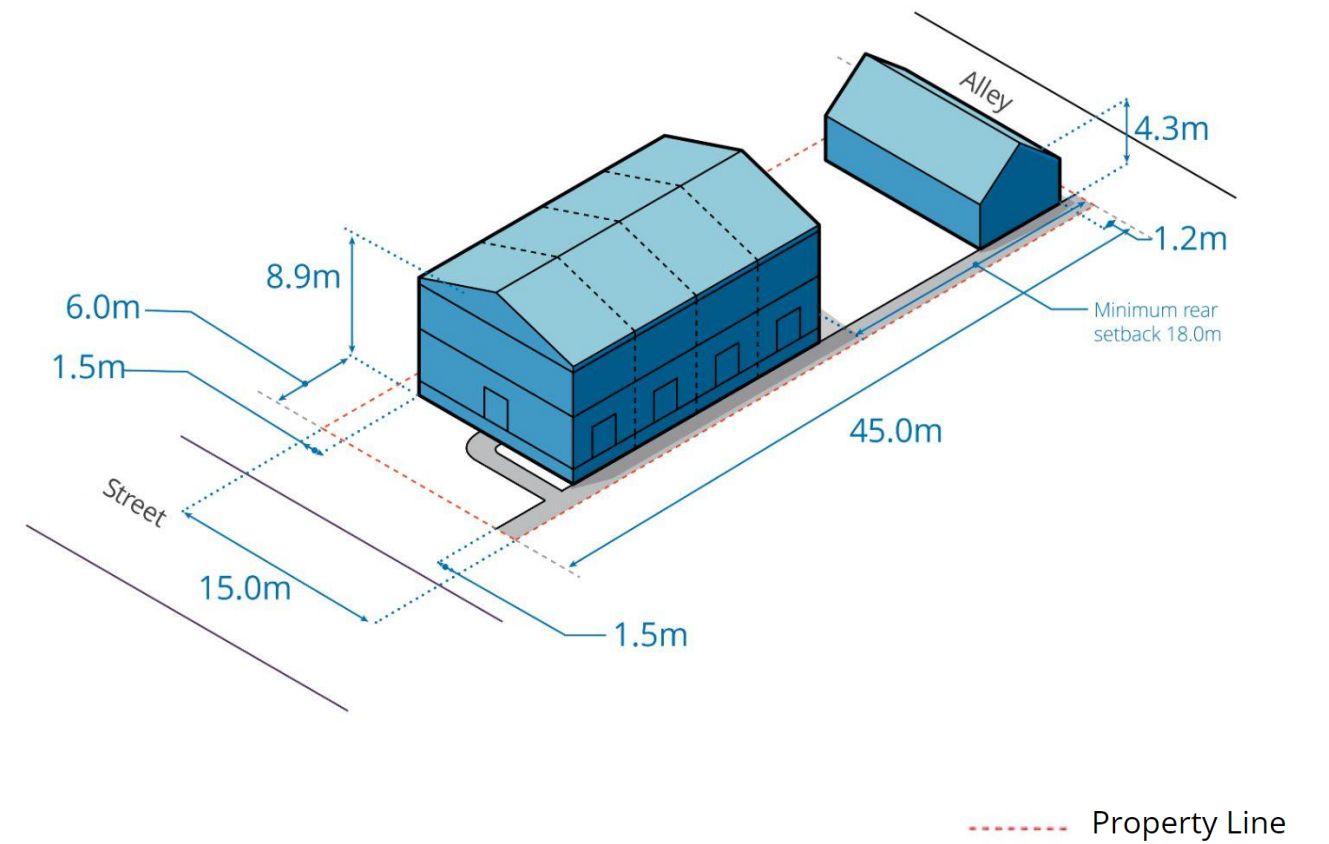
### SITE CONTEXT

- Internal lot
- Alley access
- Main entrances face the side lot line

Proposed RS Zone



Existing RF3 Zone (in MNO)



**Note:** In these scenarios, the row house reaches maximum site coverage before it reaches the minimum rear setback. See the zone comparison table below for further information.

# MID-BLOCK 4-UNIT ROW HOUSE

## ZONE COMPARISON TABLE

	Proposed RS Zone		Existing RF3 Zone*	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Site area</b>	675 m <sup>2</sup>	Minimum 75 m <sup>2</sup> per dwelling	675 m <sup>2</sup>	Minimum 150 m <sup>2</sup> per principal dwelling
<b>Site width</b>	15.0 m	Minimum 7.5 m	15.0 m	Minimum 7.5 m
<b>Site depth</b>	45 m	Minimum 30 m	45 m	Minimum 30 m
<b>Total Site coverage</b>	46.5%	Maximum 47%	45%	Maximum 45% (47% with a front porch)
<b>Site coverage of row house</b>	35.5%	No maximum	34%	Maximum 45% (47% with a front porch)
<b>Site coverage of garage</b>	11%	Maximum 20%	11%	Maximum 17%
<b>Row housing dimensions</b>	12 m x 20 m	Maximum facade length 30 m	12 m x 19.1 m	Maximum width of building facing a street 28.1 m
<b>Garage dimensions</b>	12 m x 6.2 m	Maximum facade length 30 m	12 m x 6.2 m	No maximum
<b>Building height</b>	10.5 m	Maximum 10.5 m	8.9 m	Maximum 8.9 m
<b>Garage height</b>	4.3 m	Maximum 4.3 m	4.3 m	Maximum 4.3 m
<b>Floor-to-floor height</b>	3.0 m	No minimum or maximum	3.0 m	No minimum or maximum
<b>Basement height</b>	1.5 m	Maximum 1.8 m	1.5 m	Maximum 1.5 m
<b>Front setback</b>	4.5 m	Minimum 4.5 m <del>Minimum 4.5 m - no treed boulevard</del> <del>Minimum 3.0 m - treed boulevard</del>	6 m (assumes a front setback found in neighbourhoods within the MNO)	Minimum - 20% of site depth or 1.5 m less than the average front setback on abutting lots, whichever is less. Maximum - 1.5 m greater than the average of abutting lots
<b>Rear setback</b>	20.5 m	Minimum 10 m	19.9 m	Minimum 40% of Site depth (18 m)
<b>Side setback</b>	1.5 m	Minimum 1.5 m where Row Housing or Multi-unit Housing faces an interior or flanking side lot line	1.5 m	Minimum - total side setbacks are 20% of site width (1.5 m)

	Proposed RS Zone		Existing RF3 Zone*	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
		<del>Minimum 1.5 m where a main entrance of a principal dwelling faces an interior side lot line</del>		
<b>Distance between dwelling and garage</b>	13.1 m	Minimum 3.0 m	12.5 m	Minimum 3.0 m

\*Row housing is not currently allowed in the RF1, RF2, RF4, RMH or RF4t Zones.

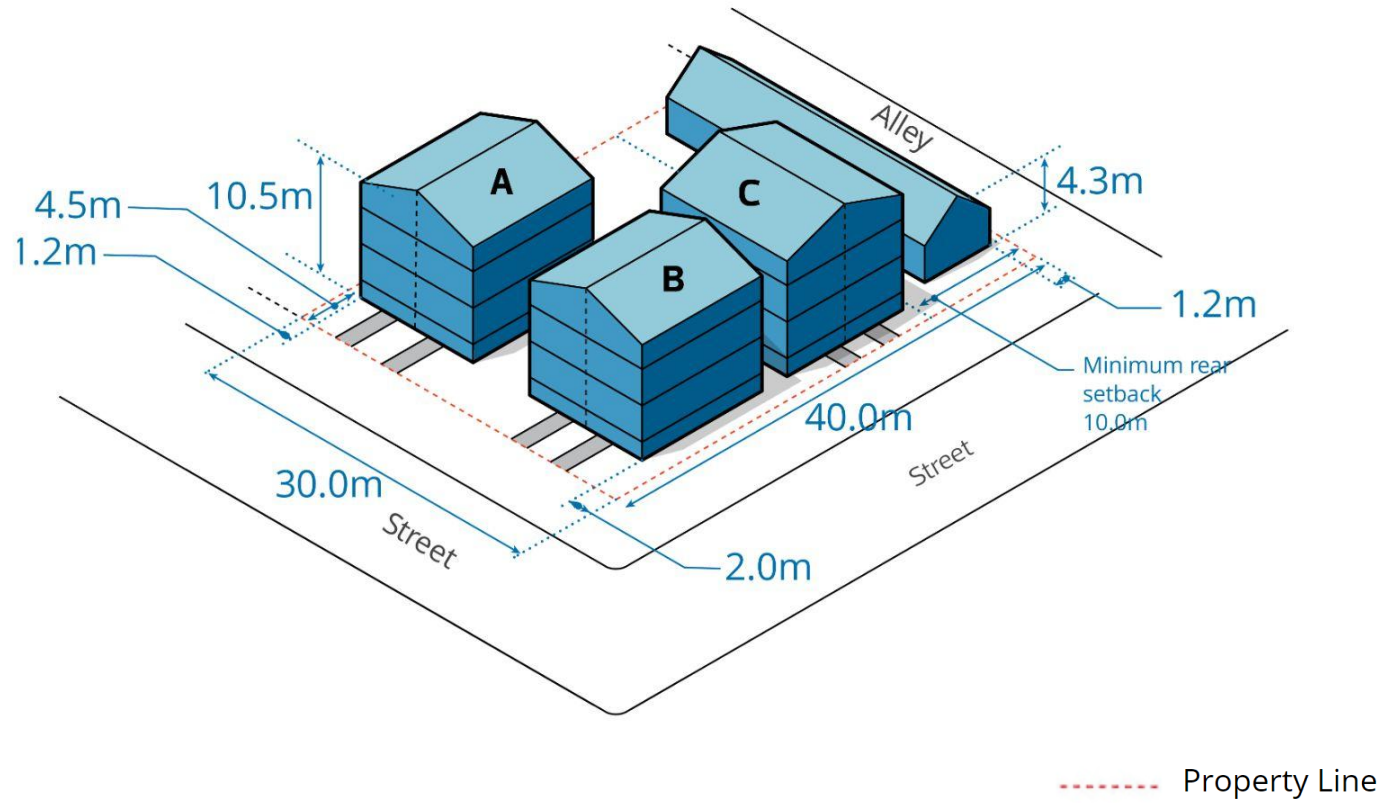
# CLUSTER HOUSING

## ZONE MODELLING

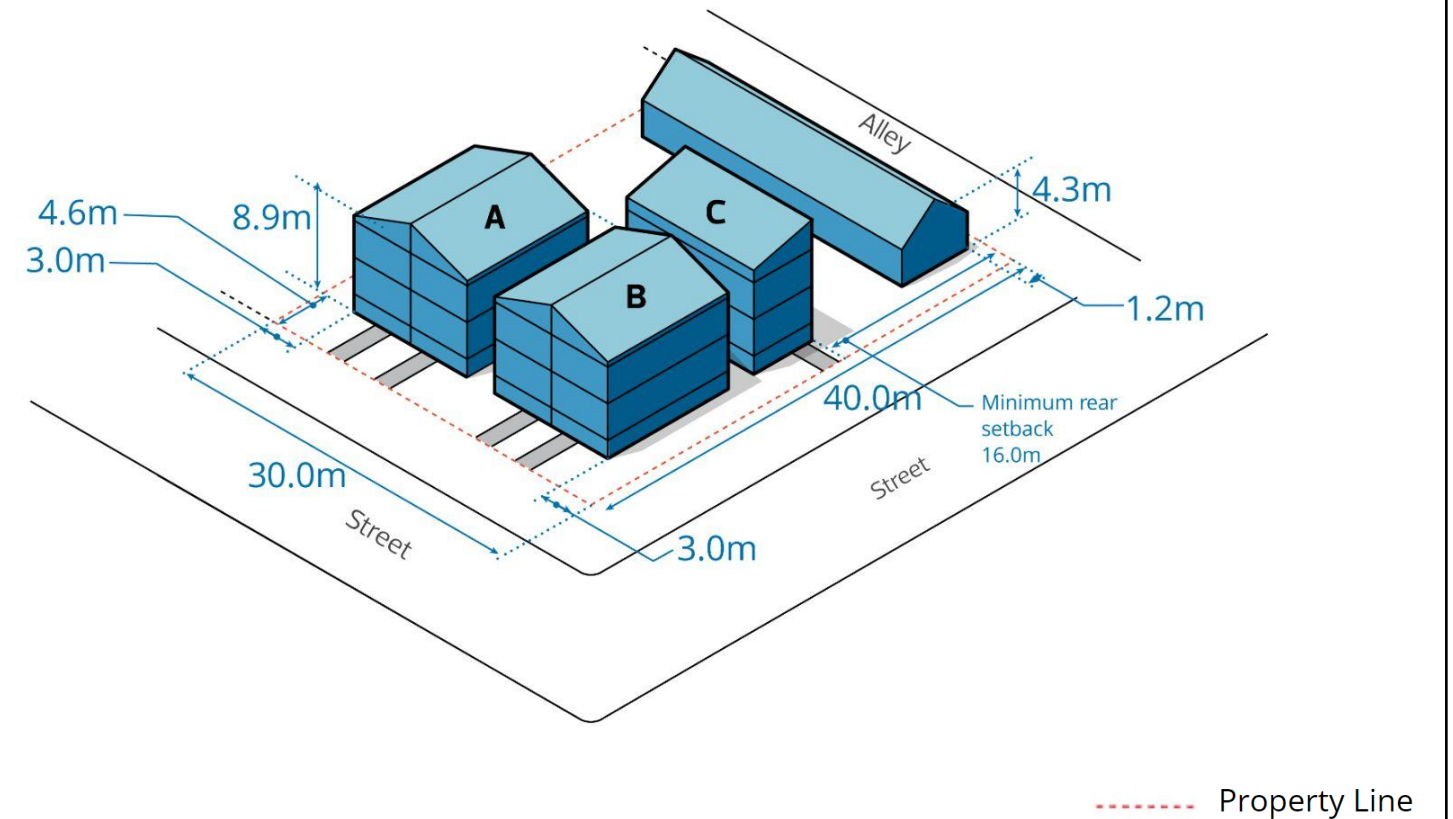
### SITE CONTEXT

- Corner lot
- Alley access

Proposed RS Zone



Existing RF3 Zone (in MNO)



**Note:** See the zone comparison table below for further information.



# CLUSTER HOUSING

## ZONE COMPARISON TABLE

	Proposed RS Zone		Existing RF3 Zone*	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Site area</b>	1,200 m <sup>2</sup>	Minimum 75 m <sup>2</sup> per dwelling	1,200 m <sup>2</sup>	Minimum 150 m <sup>2</sup> per principal dwelling
<b>Site width</b>	30 m	Minimum 7.5 m	30 m	Minimum 7.5 m
<b>Site depth</b>	40 m	Minimum 30 m	40 m	Minimum 30 m
<b>Total site coverage</b>	44%	Maximum 47%	38.5%	Maximum 45% (47% with a front porch)
<b>Site coverage of homes</b>	Building A: 10.2% Building B: 10.2% Building C: 11%	No maximum	Building A: 10.2% Building B: 10.2% Building C: 5.5%	Maximum 45% (47% with a front porch)
<b>Site coverage of garage</b>	12.6%	Maximum 20%	12.6%	Maximum 17%
<b>Building dimensions</b>	Building A: 11.4 m x 10.7 m Building B: 11.4 m x 10.7 m Building C: 12 m x 11 m	Maximum facade length 30 m	Building A: 11.4 m x 10.7 m Building B: 11.4 m x 10.7 m Building C: 12 m x 5.5 m	Maximum width of building facing a street 28.1 m
<b>Garage dimensions</b>	6.2 m x 24.5 m	Maximum facade length 30 m	6.2 m x 24.5 m	No maximum
<b>Building height</b>	10.5 m	Maximum 10.5 m	8.9 m	Maximum 8.9 m
<b>Garage height</b>	4.3 m	Maximum 4.3 m	4.3 m	Maximum 4.3 m
<b>Floor-to-floor height</b>	3.0 m	No minimum or maximum	3.0 m	No minimum or maximum
<b>Basement height</b>	1.5 m	Maximum 1.8 m	1.5 m	Maximum 1.5 m
<b>Front setback</b>	4.5 m	Minimum 4.5 m <del>Minimum 4.5 m – no treed boulevard</del> <del>Minimum 3.0 m – treed boulevard</del>	4.6 m	Minimum - 20% of site depth or 1.5 m less than the average Front Setback on abutting lots, whichever is less. Maximum - 1.5 m greater than the average front setback on abutting lots

	Proposed RS Zone		Existing RF3 Zone*	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Rear setback</b>	10.4 m	Minimum 10 m	16 m	Minimum 40% of site depth (16 m)
<b>Flanking side setback</b>	2.0 m	Minimum 1.2 m Minimum 2.0 m when a main entrance of a principal dwelling faces a flanking side lot line <del>Minimum 2.0 m</del>	3.0 m	Minimum 3.0 m
<b>Interior side setback</b>	1.2 m	Minimum 1.2 m	3.0 m	Minimum - total side setbacks is 20% of site width (1.5 m)
<b>Distance between dwelling and garage</b>	3.3 m	Minimum 3.0 m	8.7 m	Minimum 3.0 m

\*Cluster housing is not currently allowed in the RF1 and RF2 Zones. The RF4 and RF4t Zones allow cluster housing with a maximum density of 35 dwellings per hectare.

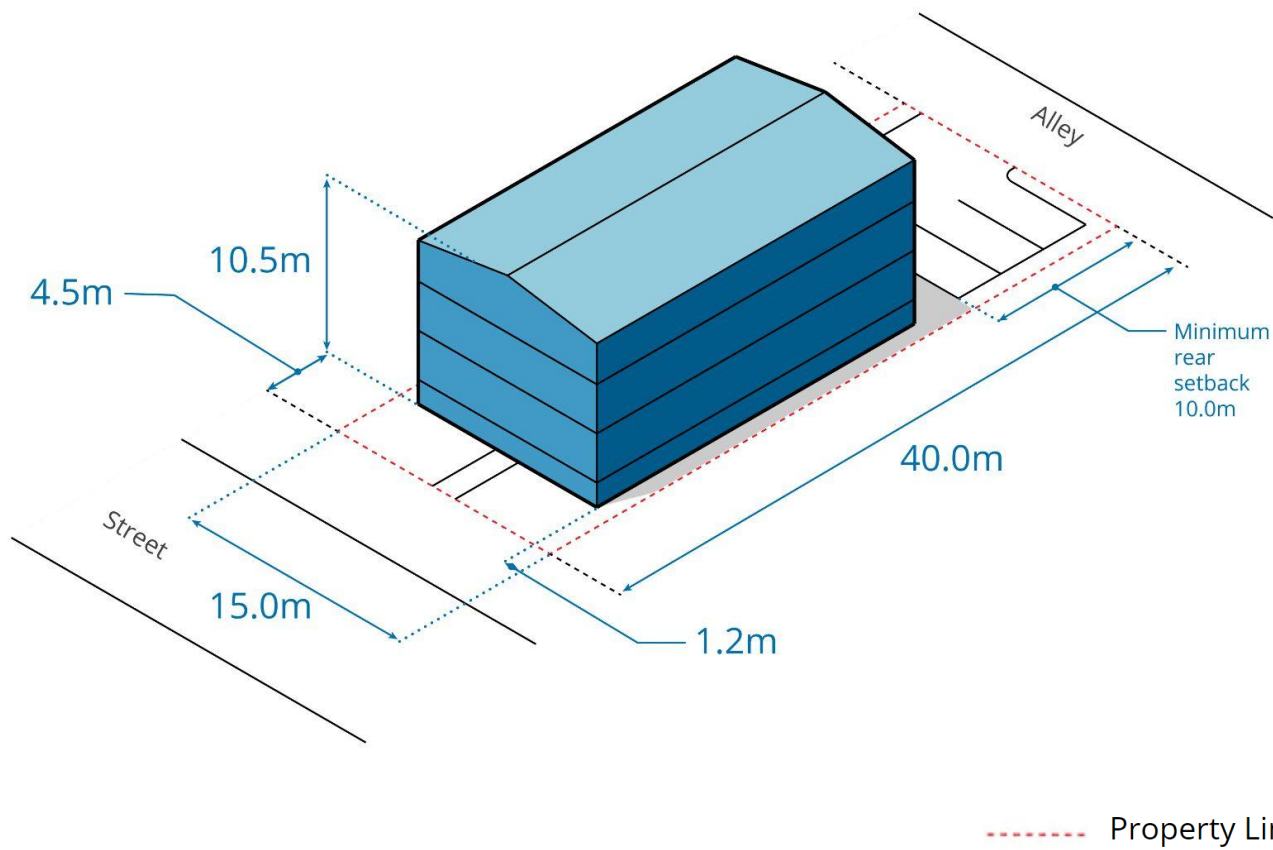
# SMALL APARTMENT BUILDING (MULTI-UNIT HOUSING)

## ZONE MODELLING

### SITE CONTEXT

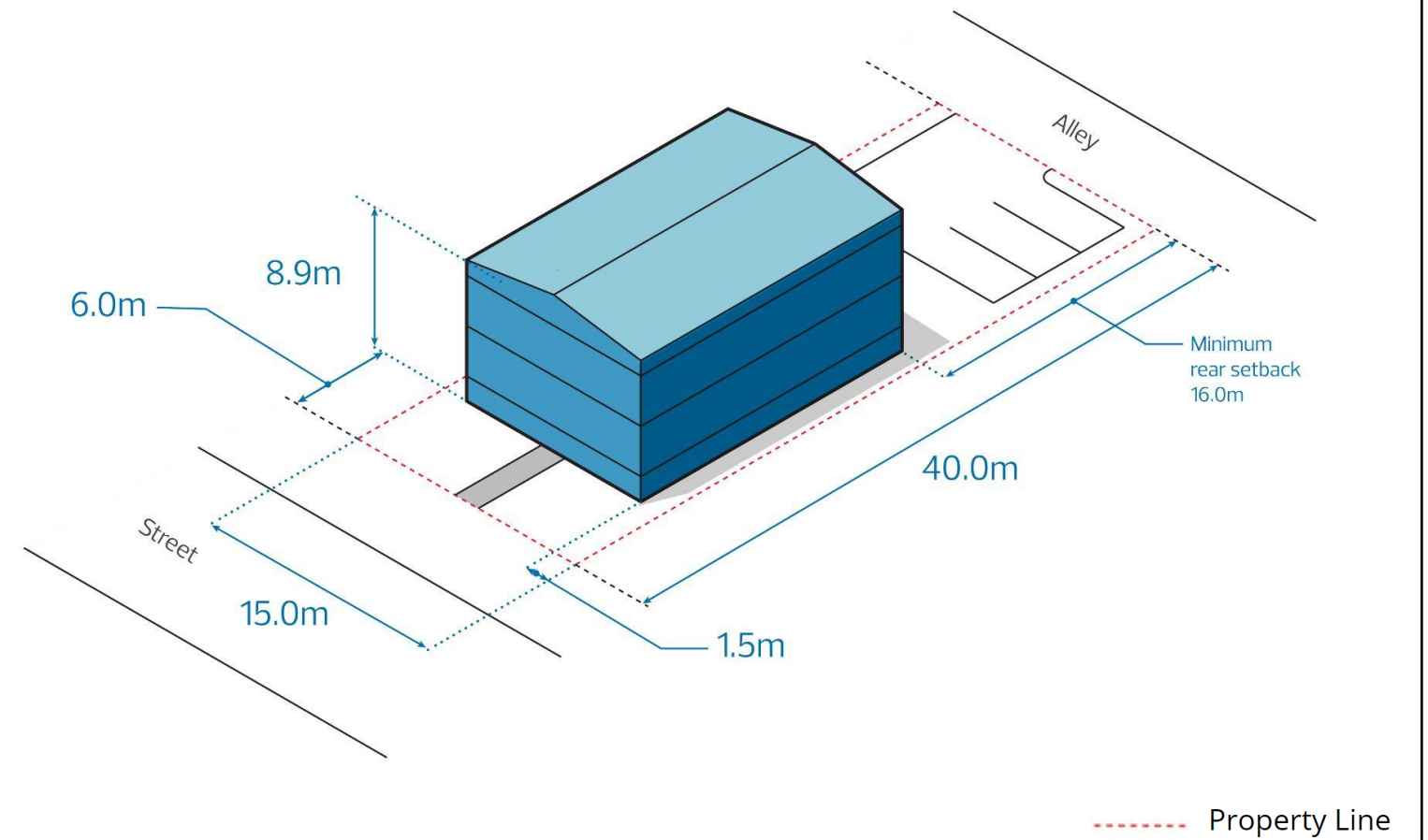
- Internal lot
- Alley access

Proposed RS Zone



**Note:** In this scenario, the building reaches maximum site coverage before it reaches the minimum rear setback. See the zone comparison table below for further information.

Existing RF3 Zone (in MNO)



**Note:** In this scenario, the building reaches the minimum rear setback before it reaches maximum site coverage. See the zone comparison table below for further information.

# SMALL APARTMENT BUILDING

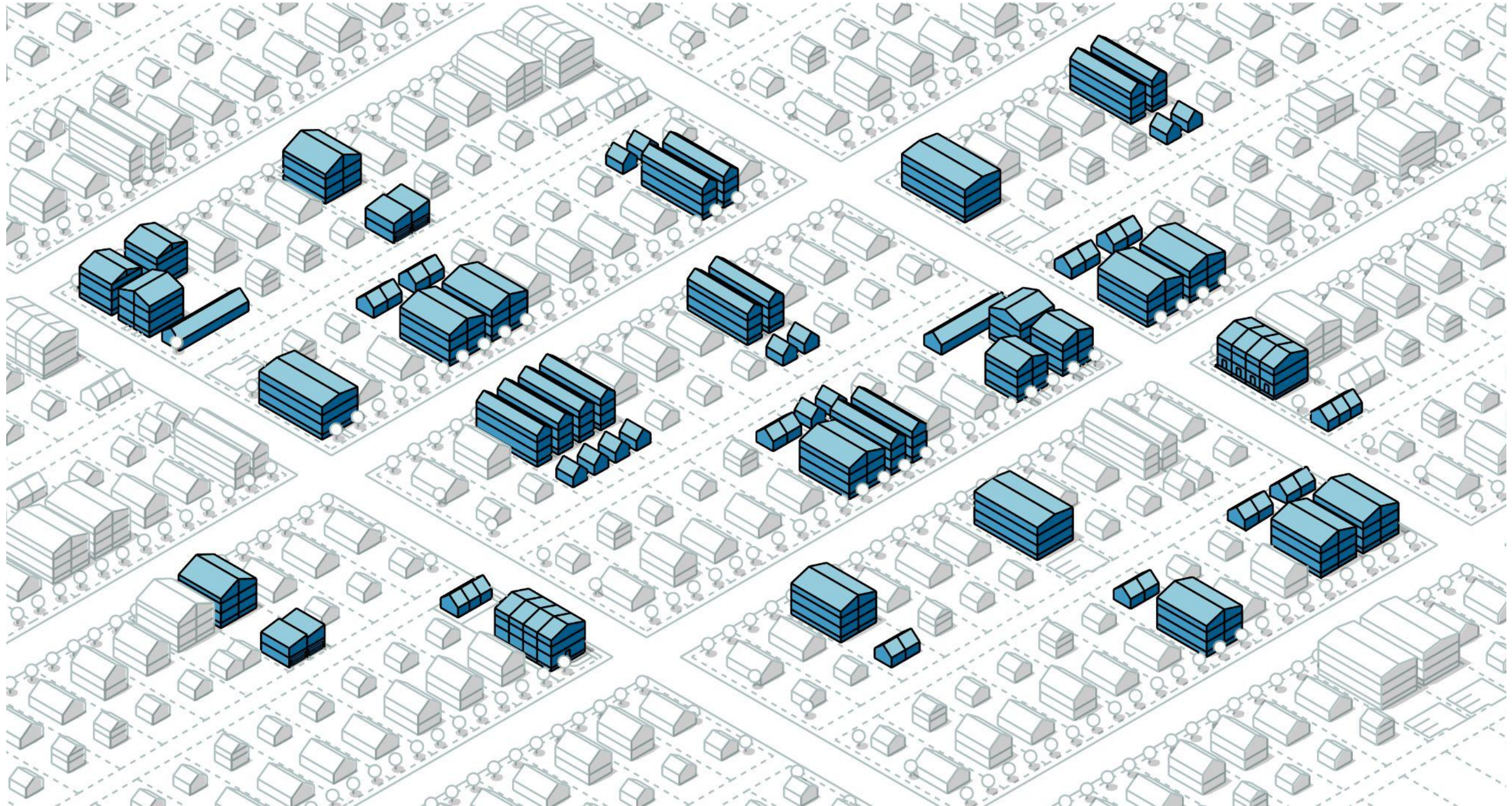
## ZONE COMPARISON TABLE

	Proposed RS Zone		Existing RF3 Zone*	
	Modelling Assumptions	Draft Regulations	Modelling Assumptions	Existing Regulations (in the MNO)
<b>Site area</b>	600.0 m <sup>2</sup>	Minimum 75 m <sup>2</sup> per dwelling	600.0 m <sup>2</sup>	Minimum 150 m <sup>2</sup> per principal dwelling
<b>Site width</b>	15.0 m	Minimum 7.5 m	15.0 m	Minimum 7.5 m
<b>Site depth</b>	40 m	Minimum 30 m	40 m	Minimum 30 m
<b>Total site coverage</b>	47%	Maximum 47%	36%	Maximum 45% (47% with a front porch)
<b>Building dimensions</b>	12.6 m x 22.4 m	Maximum facade length 30 m	12 m x 18 m	Maximum width of building facing a street 28.1 m
<b>Building height</b>	10.5 m	Maximum 10.5 m	8.9 m	Maximum 8.9 m
<b>Floor-to-floor height</b>	3.0 m	No minimum or maximum	3.0 m	No minimum or maximum
<b>Basement height</b>	1.5 m	Maximum 1.8 m	1.5 m	Maximum 1.5 m
<b>Front setback</b>	4.5 m	Minimum 4.5 m <del>Minimum 4.5 m – no treed boulevard</del> <del>Minimum 3.0 m – treed boulevard</del>	6 m (assumes a front setback found in neighbourhoods within the MNO)	Minimum - 20% of site depth or 1.5 m less than the average front setback on abutting lots, whichever is less. Maximum - 1.5 m greater than the average front setback on abutting lots
<b>Rear setback</b>	13.1 m	Minimum 10 m	16 m	Minimum 40% of Site depth (16 m)
<b>Side setback</b>	1.2 m	Minimum 1.2 m	1.5 m	Minimum - total side setbacks is 20% of site width (1.5 m)

\*Apartment buildings are not currently allowed in the RF1, RF2, RF4, RMH or RF4t Zones.

## CONTEXT DIAGRAM

This image shows what incremental infill development could look like in neighbourhoods where the draft RS Zone is applied. This would support The City Plan's direction to enable residential infill at a variety of scales, densities and designs within all parts of the residential area.



## GLOSSARY

**Backyard housing:** A housing arrangement consisting of one or more dwellings that are located wholly within the rear yard of a residential site.

**Cluster housing:** A housing arrangement consisting of two or more residential principal buildings on a site, including common property, such as communal parking areas, driveways, private roadways, amenity areas or maintenance areas that are shared. This does not include backyard housing.

**Facade:** Any exterior outward face of a building measured from corner to corner.

**Height:** A vertical distance between two points. The height of a building is measured from grade level to the midpoint of the highest roof or, for flat roofs, to the midpoint of the highest parapet.

**Multi-unit housing:** A building that contains:

- a. One or more dwellings combined with at least one non-residential use; or
- b. Any number of dwellings that do not conform to any other definition in the Zoning Bylaw.

Typical examples include apartments, stacked-row housing, and housing in a mixed-use building.

**Row housing:** A building that contains three or more principal dwellings joined at the side with none of the dwellings being placed over another. Each principal dwelling has separate, individual and direct access to ground level.

**Semi-detached housing:** A building that contains two principal dwellings that share, in whole or in part, a common vertical party wall. Each dwelling has individual, separate and direct access to ground level. This does not include duplex housing.

**Setback:** The distance that a development, or a specified portion of it, must be from a property line.

- **Front Setback:** The distance that a development must be from the front property line.
- **Rear Setback:** The distance that a development must be from the rear property line.
- **Side Setback/Interior Side Setback/Flanking Side Setback:** The distance that a development must be from the side/interior side/flanking side property line.

**Single detached housing:** A building that contains one principal dwelling that has direct access to ground level.

**Site:** An area of land consisting of one or more abutting lots.

**Site coverage:** The total area on a site covered by buildings and structures that are 1.8 m or more in height. This includes cantilevers, but does not include steps, eaves or other similar projections.

**Site depth:** The distance between the front lot line and the rear lot line.

**Site width:** The distance between the side boundaries of the site.