

HOLYROOD DC2

Version 4, October 19, 2017

1.0 General Purpose

To accommodate low rise residential apartment development that provides for an active pedestrian friendly streetscape fronting onto 83 Street and mitigates shadowing impacts on the surrounding properties.

2.0 Application

This provision shall apply to the parcel of land located at 9412, 9418, 9424, and 9430 83 Street NW as shown in Schedule "A" of this Bylaw adopting this Provision, Holyrood.

3.0 Uses

- a. Apartment Housing
- b. Child Care Services
- c. Live Work Units
- d. Minor Home Based Business
- e. Residential Sales Centre
- f. Fascia On-premises Signs
- g. Projecting On-premises Signs
- h. Temporary On-premises Signs, limited to project advertising and residential sale purposes only, and excluding trailer mounted signs and/or signs with changeable copy

4.0 Development Regulations

4.1 GENERAL REGULATIONS

- a. The development shall be in general accordance with the attached appendices, to the satisfaction of the Development Officer.
- b. Residential Sale Centre Uses shall be limited to the marketing of on-site condo or rental units.
- c. The maximum building Height shall not exceed 18.0 m.
- d. The maximum Floor Area Ratio shall be 2.0.
- e. The maximum number of Dwelling units shall be 50.
- f. The maximum site coverage shall be 50%.
- g. Minimum Building Setbacks shall be provided as follows:
 - i. North: 4.5 m
 - ii. East: 6.0 m
 - iii. South: 4.5 m
 - iv. West: 7.5 m

h. Amenity Areas

- i. A minimum Private Outdoor Amenity Area of 7.5 m² per Dwelling shall be provided.
- ii. Notwithstanding 4.8.1, a minimum Private Outdoor Amenity Area of 15.0 m² per street oriented Dwelling shall be provided as generally shown in Appendix I.
- iii. Notwithstanding the Zoning Bylaw, balconies with a minimum depth of 1.8 m may be used to satisfy required amenity area.

4.2 LANDSCAPING

- a. A Landscape Plan prepared by a registered AALA Landscape Architect shall be submitted as part of a Development Permit application, to the satisfaction of the Development Officer.
- b. The Landscape Plan shall identify pavement materials, exterior lighting, street furniture elements, pedestrian seating area, sizes and species of new and existing tree plantings, and other Landscaping elements as applicable.
- c. Landscaping shall consider the use of plant materials that provide colour throughout the year to enhance the appearance of the development during the cold weather months.

4.3 PARKING, ACCESS, LOADING AND STORAGE

- a. Parking for residential and residential-related Uses shall be in accordance with the requirements of the Zoning Bylaw.
 - i. Where the applicant for a Development Permit can demonstrate through a vehicular parking demand study that by virtue of the use, character, or location of the proposed development, and its relationship to public transit facilities and other available parking facilities or car share opportunities, the parking requirement for the proposed development is less than any minimum or more than any maximum set out in the Parking Schedule, the Development Officer may allow a reduction from the minimum or an increase from the maximum in the number of parking spaces. The Development Officer shall submit the demand study to Transportation for analysis, and the proposed reduction or increase may be approved by the Development Officer in consultation with Urban Transportation.
- b. Vehicular Access and Egress and Off-street Parking
 - i. Vehicular access and egress shall be provided from the Lane abutting the Site as conceptually shown in Appendix 1.
 - ii. Vehicular parking shall be provided within an underground Parking Garage.
 - iii. Notwithstanding 6.2.ii, a maximum of 12 surface parking stalls shall be provided for visitor use as conceptually shown in Appendix 1.
 - iv. Setbacks for the underground Parking Garage and parking access and egress from the property line shall be a minimum of 0.0 m.

- c. Bicycle Parking
 - i. Bicycle Parking shall be provided in accordance with the Zoning Bylaw.
 - ii. Bicycle Parking spaces shall be provided in a secure location within the interior of the Building on the ground floor or underground.
- d. Loading and Servicing
 - i. Loading, storage and garbage collection areas shall be concealed from view from adjacent sites and public roadways. The waste collection area shall be located within the building and be designed to the satisfaction of the Development Officer in consultation with Waste Management and Urban Transportation.

4.4 SIGNAGE

- a. Signs shall comply with Schedule 59B of the Zoning Bylaw.
- b. The Development Officer shall have regard for visual harmony and the compatibility of the proposed sign with the architectural character and finish of the development and with the design, location, and appearance of other signs on the development.

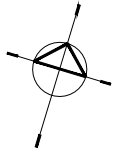
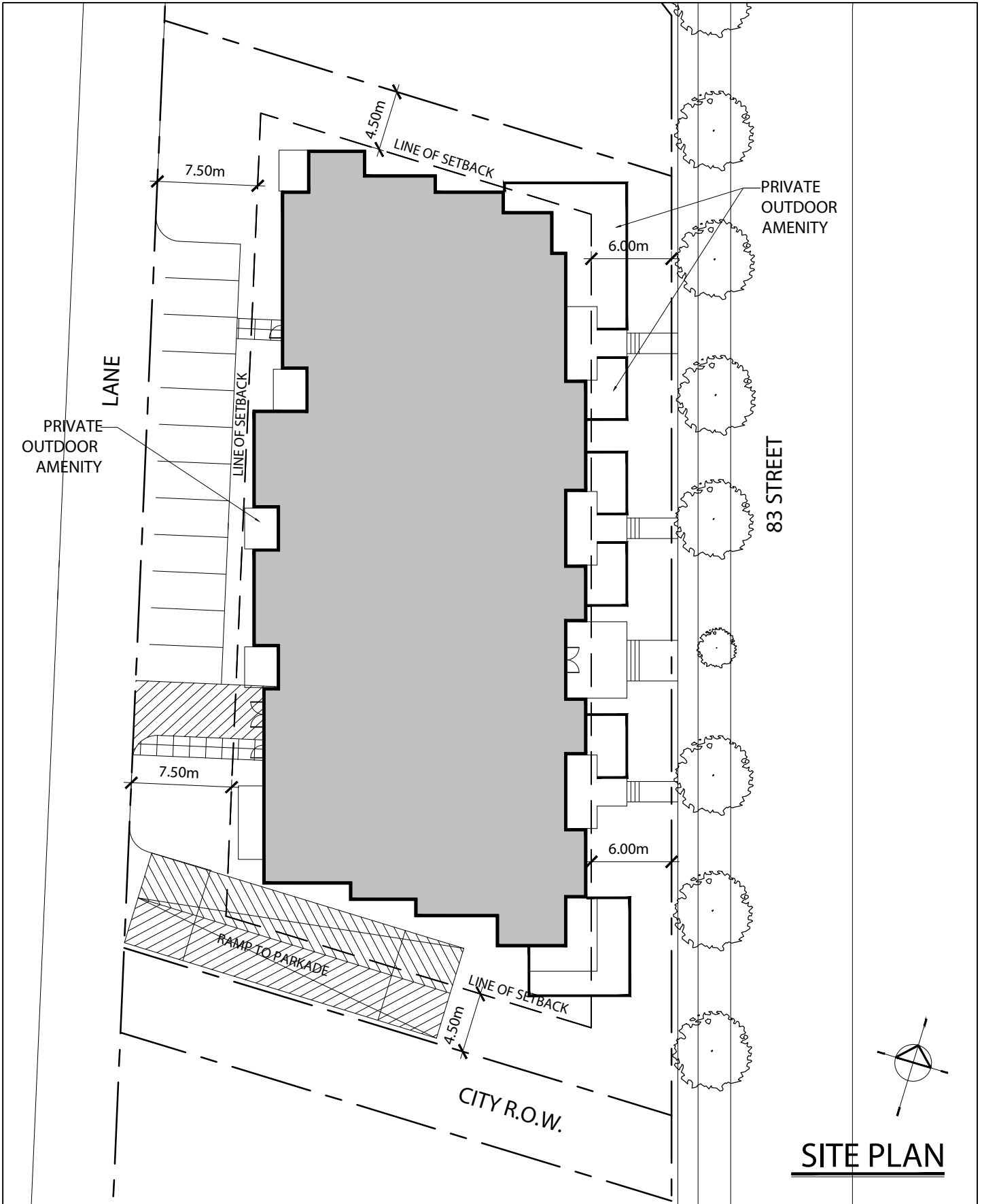
5.0 Urban Design Regulations

- a. Building Massing and Articulation
 - i. A minimum of 40% of the north façade shall stepback a minimum of 2.5 m at a maximum height of 8.6 m.
 - ii. A minimum of 40% of the east façade shall stepback a minimum of 1.5 m at a maximum height of 8.6 m.
 - iii. A minimum of 40% of the north and south façade shall stepback a minimum of 2.5 m at a the top storey.
 - iv. All mechanical equipment on a roof of any building shall be concealed by screening in a manner compatible with the architectural character of the building, or concealed by incorporating it within the building.
- b. Building Façade, Materials, and Exterior Finishing
 - i. Façade treatment shall wrap around the side of the building to face the City ROW, providing a consistent profile facing the pedestrian walkway.
 - ii. Building Façade(s) abutting a public roadway shall be designed with detail and articulation to a maximum of 12.0 m intervals to create attractive streetscapes and interfaces. Building Façades shall be articulated by a combination of recesses, entrances, windows, projections, change in building materials, colours, and/or physical breaks in building mass.
 - iii. All exposed building faces shall have consistent and harmonious exterior finishing materials such as stone, masonry, metal, wood panels, cement panels, and/or glass.

- iv. Exterior finishing materials must be durable sustainable, high quality and appropriate for the development within the context of the block face. The contextual fit, design, proportion, quality, texture and application of various finishing materials.
- c. Building Relationship to Streets
 - i. All ground level Residential Dwelling units shall have an individual external entrance at Grade, oriented to a public roadway, including a Lane. Sliding patio doors shall not serve as this entrance.
 - ii. Underground parking entrances shall be screened through the use of landscaping and decorative screens located on site or within the adjacent City ROW to be landscaped by the owner.
 - iii. The elevation of the ground floor shall not exceed the elevation of the abutting public sidewalk by more than 1.0 m, except at the discretion of the Development Officer where the Grade or other Site conditions require a greater separation.
- d. Lighting
 - i. Decorative and security lighting shall be designed and finished in a manner consistent with the design and finishing of the development and shall be provided to ensure a well-lit and safe environment for pedestrians in accordance with the Zoning Bylaw. A detailed exterior lighting plan may be required by the Development Officer for the Development Permit application.
 - ii. Exterior lighting associated with the development shall be designed, located or screened so as to reduce impacts on adjacent off-site residential units.

6.0 Public Improvements and Contributions

- a. A minimum of 20% of the total units shall be family oriented as defined by the Zoning Bylaw.
- b. The owner shall enter into an Agreement with the City of Edmonton, in conjunction with development permit(s), for off-site improvements. These off-site improvements shall include, but are not limited to:
 - i. Repair of any damage to the abutting, roadways, and/or sidewalks resulting from construction of the development, to the satisfaction of Transportation Services. The site shall be inspected by Transportation Services prior to the start of construction and once again when construction is complete.
 - ii. Landscaping of the adjacent City ROW for mid-block pedestrian connection including an unobstructed hardsurfaced walkway of a minimum 1.8 m width and soft landscaping, but excluding the provision of lighting standards. This shall be included in the Landscaping Plan to be completed prior to Development Permit.

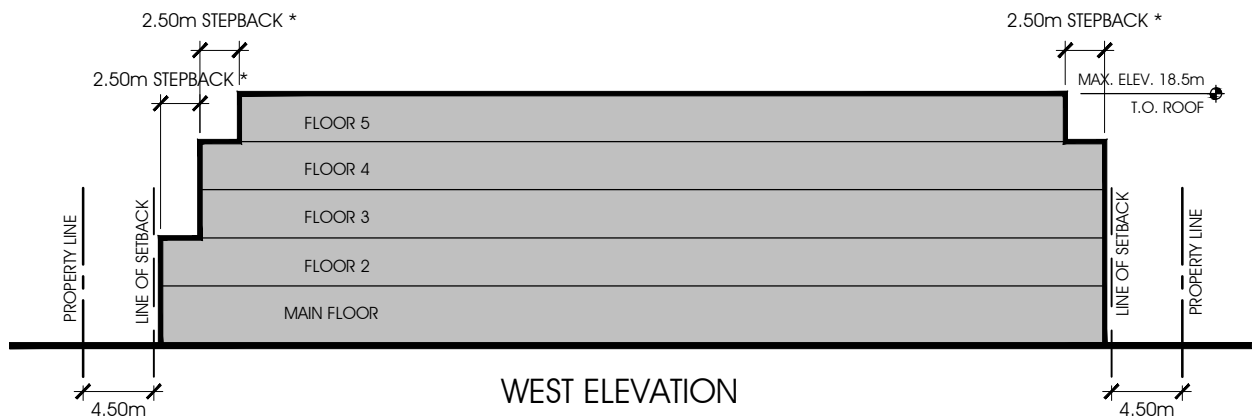
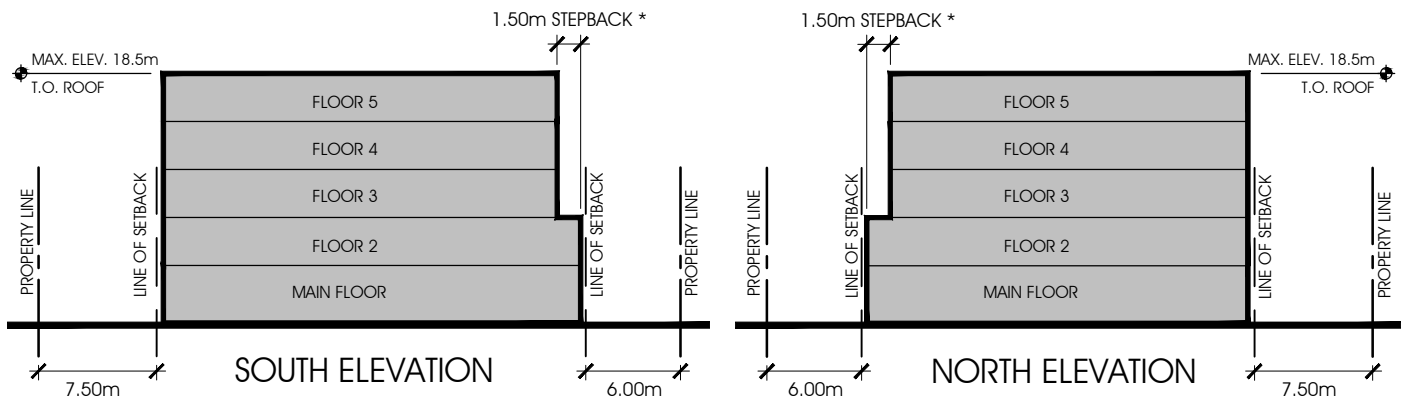


SITE PLAN



10160 - 112 Street
 Edmonton, Alberta Canada
 www.stantec.com

Client/Project
 HOLYROOD RESIDENTIAL REZONE
 Figure No.
 Appendix I
 Title
 SITE PLAN



* ALL STEPBACKS 40% OF FRONTAGE

ELEVATIONS



10160 - 112 Street
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Client/Project
HOLYROOD RESIDENTIAL REZONE
Figure No.
Appendix II
Title
ELEVATIONS