

SCHEDULE “B”

(DC2) SITE SPECIFIC DEVELOPMENT CONTROL PROVISION

1. General Purpose

To accommodate a medium density development that is compatible in use and scale with the surrounding area and contributes to a pedestrian-friendly streetscape.

2. Area of Application

This provision shall apply to Lot 1 & 2, Block 75, Plan I8, located on the northeast corner of 99 Street NW and 83 Avenue NW as shown in Schedule “A” of the Charter Bylaw adopting this Provision, Strathcona.

3. Uses

1. Apartment Housing
2. Business Support Services
3. Child Care Services
4. Creation and Production Establishments
5. General Retail Stores
6. Government Services
7. Group Homes
8. Health Services
9. Indoor Participant Recreation Services
10. Live Work Units
11. Lodging Houses
12. Media Studios
13. Minor Home Based Business
14. Personal Service Shops
15. Professional, Financial and Office Support Services
16. Residential Sales Centre
17. Restaurants

18. Specialty Food Services
19. Fascia On-premises Signs
20. Projecting On-premises Signs

4. Development Regulations for Uses

1. Personal Service Shops shall not be developed as Body Rub Centres.
2. Each Specialty Food Services and Restaurants Use shall be limited to 120 m² of Public Space, excluding any outdoor patio area.
3. Commercial Uses shall only be allowed on the ground Storey.
4. Commercial and Residential-Related Uses shall only be allowed in a building that primarily contains Residential Uses.
5. The minimum Floor Area for Commercial Uses shall be 90 m².
 - a. Notwithstanding the above, Floor Area for Commercial Uses on the ground Storey may be approved as, and/or converted to, Residential or Residential-Related Uses if the applicant provides a letter from a licensed real estate broker that demonstrates that:
 - i. professional services were retained to sell or lease the commercial premises at market rate for at least 12 months, and
 - ii. the effort to sell or lease the commercial premises was unsuccessful.
6. Signs associated with Residential or Residential Related Uses shall comply with the General Provisions of Section 59 and Schedule 59B of the Zoning Bylaw.
7. Signs associated with all other Uses shall comply with the General Provisions of Section 59 and Schedule 59E of the Zoning Bylaw.

5. Development Regulations For Site Layout and Built Form

1. Development within this provision shall be in general conformance with the attached Appendices, to the satisfaction of the Development Officer.
2. The maximum number of Dwellings shall be 29.

- a. A minimum of one Dwelling shall contain three bedrooms.
3. The maximum Floor Area Ratio shall be 3.2.
4. The maximum Height shall be 23.0 m.
5. The minimum Setback from the south Lot line shall be 3.0 m.
6. The minimum Setback from the north Lot line shall be 6.0 m, except that the Setback from the portion of the building containing the interior waste collection area shall be a minimum of 2.0 m, and this reduced Setback shall be no greater than 25% of the length of the north Lot line.
7. At least 50% of the east building Facade shall have a minimum Setback from the east Lot line of 3.5 m with the remainder of the Facade having a minimum Setback from the east Lot line of 1.5 m.
8. The minimum Setback from the west Lot line shall be 2.5 m, except that the Setback for not more than 25% of the length of the west building Facade may be reduced to 1.0 m to provide for architectural interest and articulation.
9. Portions of the Parking Garage, access to the building and private Amenity Areas that are above Grade shall not be subject to Setback requirements provided they are no more than 1.2 m above Grade.

6. Development Regulations for Building Design and Features

1. Building features designed to provide protection from the elements and accommodate signage may project a maximum of:
 - a. 2.5 m into the minimum Setback from the west Lot line; and
 - b. 1.0 m into the minimum Setback from the south Lot line.
2. The architectural treatment of all Façades of the building shall create a unified building exterior. The building shall include the following design elements to reduce the perceived mass, add architectural interest and provide a sense of human scale:
 - a. building stepback above the 5th storey at the northeast and southeast corners of the building;
 - b. rooftop access and mechanical equipment that is set back from the east side of the building;

- c. articulation of the Façade;
 - d. creation of architectural pattern;
 - e. entrance feature for common residential entrance;
 - f. individual entrances for ground Storey Dwellings and Uses;
 - g. recessed balconies; and
 - h. the use of a variety of exterior building cladding materials and colours.
3. Windows on the east Façade shall be appropriately located to balance privacy and minimize overlook to the adjacent residential property.
 4. Residential Uses shall have a prominent exterior common entrance on the ground Storey that faces a public roadway other than a Lane.
 5. Dwellings on the ground Storey that contain Floor Area adjacent to a public roadway, other than a lane, shall have a separate exterior entrance. Sliding patio doors shall not serve as these entrances.
 6. Commercial and Residential-Related Uses shall each have an individual exterior entrance per ground Storey business premises. This entrance shall face a public roadway other than a lane. Sliding patio doors shall not serve as this entrance.
 7. All mechanical equipment, including roof mechanical units, shall be concealed by screening in a manner compatible with the architectural character of the building, or concealed by incorporating it within the building.
 8. All ground level vents or exhaust systems shall be located a minimum of 2.0 m from the perimeter of any outdoor patio or entrance and placed to the satisfaction of the Development Officer so that it does not create adverse effects related to noise, fumes or safety.

7. Development Regulations for Parking, Loading, Storage and Access

1. Vehicular access to the Site shall be from the abutting Lane.
2. A minimum of 17 vehicular parking spaces shall be provided for all Uses, either in the underground Parking Garage or at ground level abutting the Lane.
3. No off-street vehicular loading spaces shall be required.

4. A minimum of 11 bicycle parking stalls shall be provided inside the building in a secure enclosed area. Short term bicycle parking will be provided in the Yard abutting 83 Avenue.
5. All garbage collection areas shall be accessed from the Lane.

8. Development Regulations for Landscaping and Amenity Areas

1. In addition to the requirements of Section 55 of this Bylaw, the required Landscape Plan shall be prepared by a Landscape Architect registered with the Alberta Association of Landscape Architects (AALA) and shall demonstrate:
 - a. transitions including features such as steps, decorative fences, gates, hedges, low walls, patio areas and planting beds between public roadways, other than the Lane, and primary entrances to the building;
 - b. the use of vertical landscaping features (e.g. hedges, decorative fences, low walls, shrubs or other plant material) between surface parking areas and ground Storey Apartment Housing Dwellings that look onto these areas;
 - c. entry transitions including features such as steps, decorative fences, gates, hedges, low walls, and planting beds between the public roadway and Dwellings that front onto the public roadway;
 - d. clear delineation of all Amenity Areas and common Amenity Areas with vertical landscaping features (e.g. hedges, decorative fences, gates, low walls).

9. Other Regulations

1. Notwithstanding the other Development Regulations of this Provision, the Appendices of this Provision and Section 720.3(2) of the Zoning Bylaw, in the event that the owner/developer does not obtain a Building Permit and commence construction of the principal building under a valid Development Permit within 10 years of the passage of the Bylaw adopting this Provision, development of the Site shall be in accordance with this Provision, except that:
 - a. the maximum Height shall be 23.0 m; and

- b. the maximum Floor Area Ratio shall be 2.5.
2. Prior to the issuance of any Development Permit, except for excavation or signage, a Crime Prevention Through Environmental Design (CPTED) Assessment shall be provided to the satisfaction of the Development Officer to ensure that the development provides a safe urban environment in accordance with the guidelines and principles established in the Design Guidelines for a Safer City (City of Edmonton 1995).

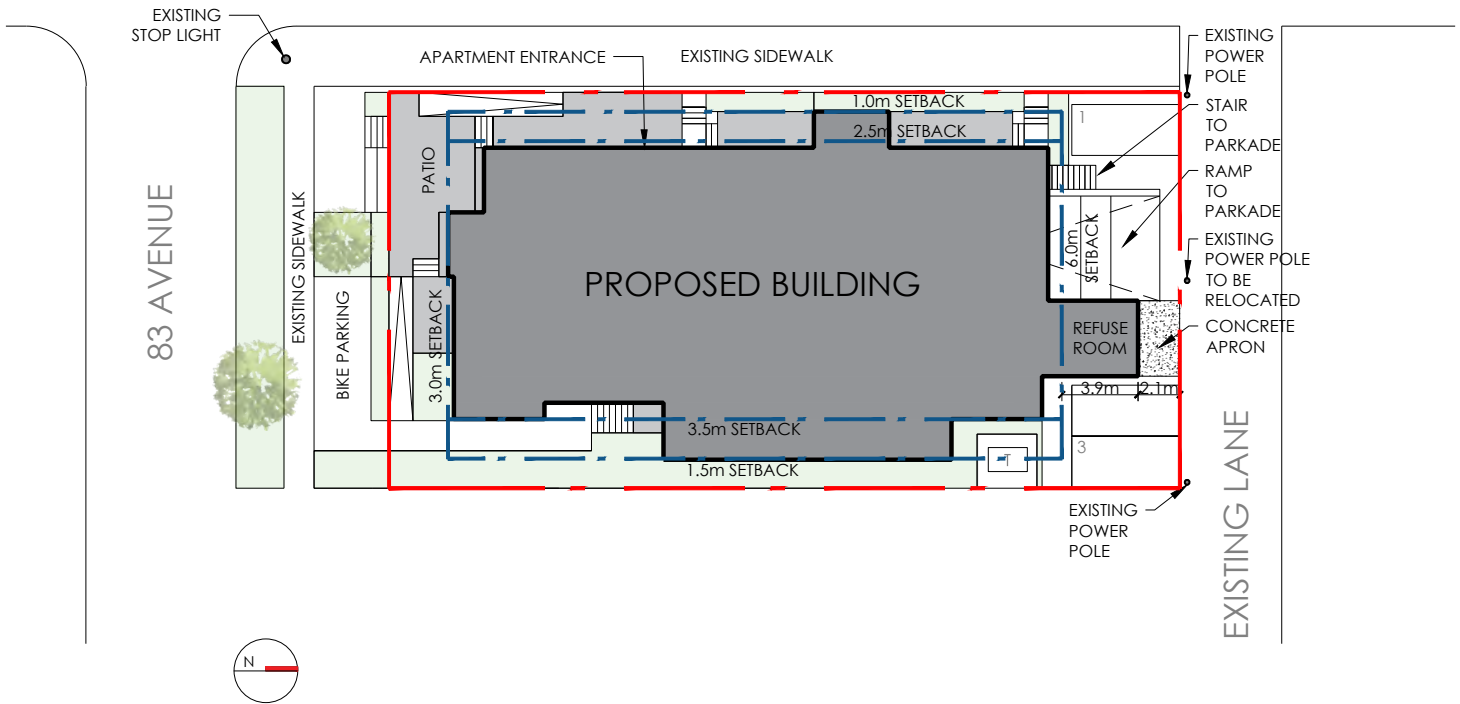
10. Contributions and Improvements

1. Prior to the issuance of a development permit for:
- a. a building that contains 12 or more Dwelling units; or
 - b. a building that contains less than 12 Dwelling units, but is part of a Site with 12 or more Dwelling units in total;
- the Development Officer shall ensure a signed agreement has been executed between the City and the owner, requiring the owner to provide the City, at the time of each development permit approval, the option to purchase up to 5% of the proposed number of Dwelling units (rounded to the nearest Dwelling unit) in each building with Dwelling units, at 85% of market value or the equivalent value as cash in lieu (at the discretion of the owner) to the City.
2. Prior to the issuance of the Development Permit for construction of the principal building, the owner shall enter into an Agreement with the City of Edmonton for off-site improvements necessary to serve the development with such improvements to be constructed at the owner`s cost. The Agreement process includes an engineering drawing review and approval process. Improvements to be addressed in the Agreement include, but are not limited to the following:
- a. Construction of the Lane north of the lot, to a paved residential standard, from the east Lot line to 99 Street NW, to the satisfaction of the Development Officer in consultation with Subdivision and Development Coordination (Transportation).

- b. Repair of any damage to the abutting roadways, sidewalks and/or boulevards resulting from construction of the development, to the satisfaction of the Development Officer in consultation Subdivision and Development Coordination (Transportation). The site must be inspected by Subdivision and Development Coordination (Transportation) prior to the start of construction and once again when construction is complete.

Appendix I - Site Plan

99 STREET

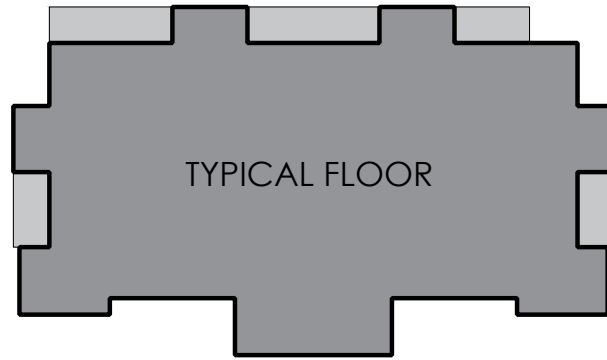


99th Street Apartments
Edmonton, Alberta

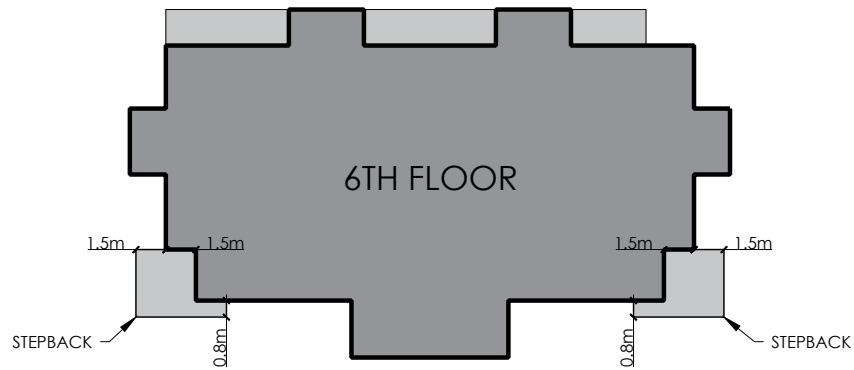
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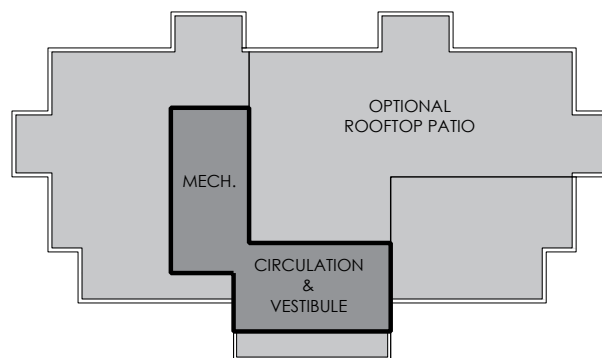
Appendix II



Appendix III



Appendix IV - Roof Plan



Appendix V - West Elevation



Appendix VI - East Elevation

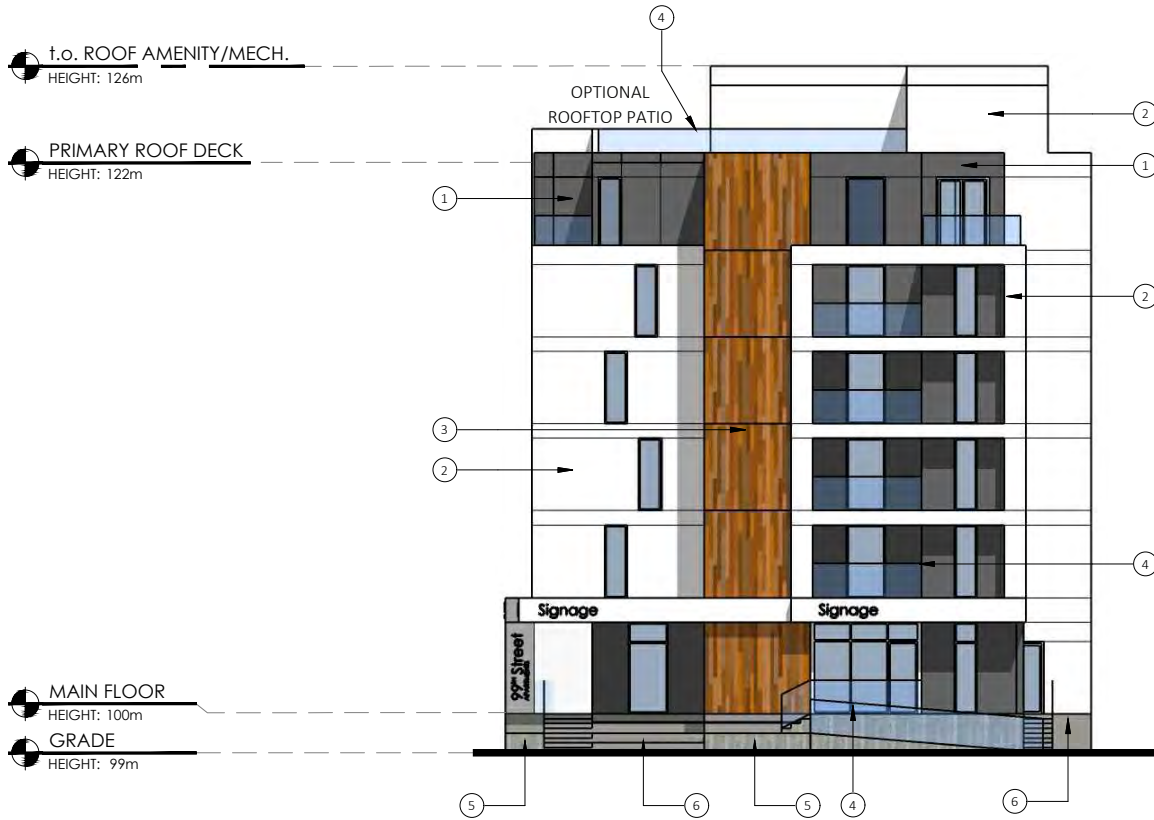


- ① CEMENTITIOUS PANEL: CHARCOAL
- ② CEMENTITIOUS CLADDING: WHITE
- ③ VERTICAL METAL SIDING: WOOD GRAIN FINISH

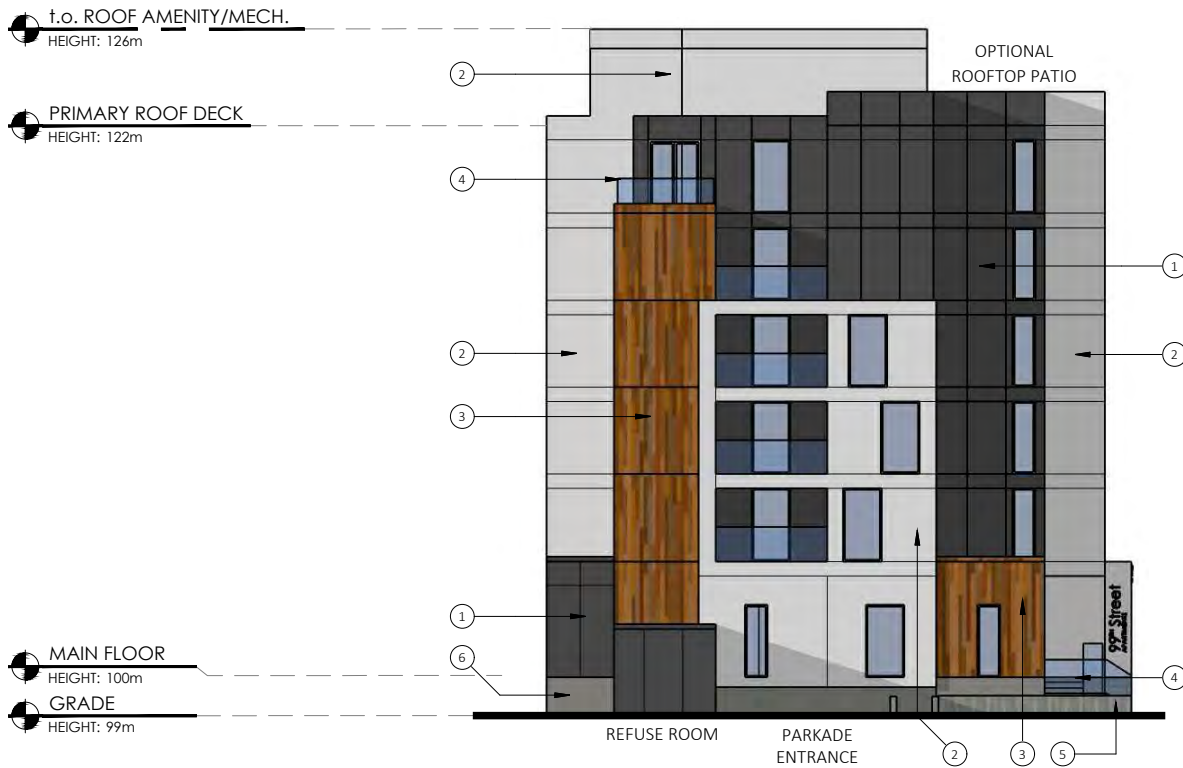
- ④ HANDRAIL: GLASS
- ⑤ PLANTERS: BOARDFORM CONCRETE
- ⑥ CONCRETE



Appendix VII - South Elevation



Appendix VIII - North Elevation



- ① CEMENTITIOUS PANEL: CHARCOAL
- ② CEMENTITIOUS CLADDING: WHITE
- ③ VERTICAL METAL SIDING: WOOD GRAIN FINISH

- ④ HANDRAIL: GLASS
- ⑤ PLANTERS: BOARDFORM CONCRETE
- ⑥ CONCRETE

