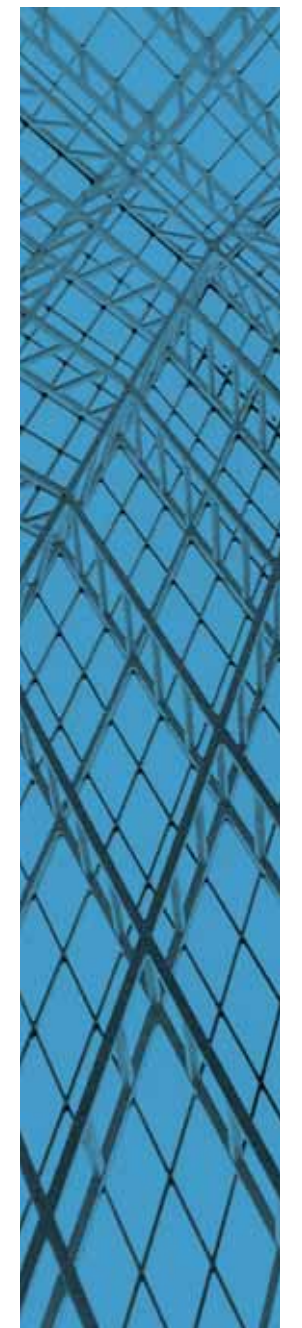


# WELCOME

Edmonton



# WHY ARE WE HERE?

A Land Development Application has been submitted by **Beljan Development**.

City Planning is reviewing the application according to city plans, policies, guidelines, and for technical feasibility with regards to municipal utilities, transportation, and impact to the community.

Today we are requesting your feedback on this proposal.

Staff in Attendance

## City Planning

**Sean Lee**, Planner

**Heather Vander Hoek**, Planner

**Holly Mikkelsen**, Senior Planner

**Greg Ablett**, Senior Transportation Engineer

**Brian Murphy**, Manager, *Parking Assets*

**Roleza Marzan**, Senior Civil Engineer, *LRT Delivery*

**Miles Hunt**, Planning Technician

## Applicant

**Chris Dulaba**, *Beljan Development*

**Dan Belostotsky**, *Otto Capital*

# VIEWS OF THE SITE

View looking northwest from 104 Ave.



View looking northeast from 104 Ave.



View looking southwest from 104 Ave.



View looking southeast from 104 Ave



# WHY IS THIS OPEN HOUSE HOSTED BY THE CITY?

## WHAT IS ZONING?

- Each piece of land has a zone attached to it. Zoning places rules of what can be built and the types of uses on the property (eg: type of building, how high, use of building, etc.). Rezoning is the process of changing those rules.

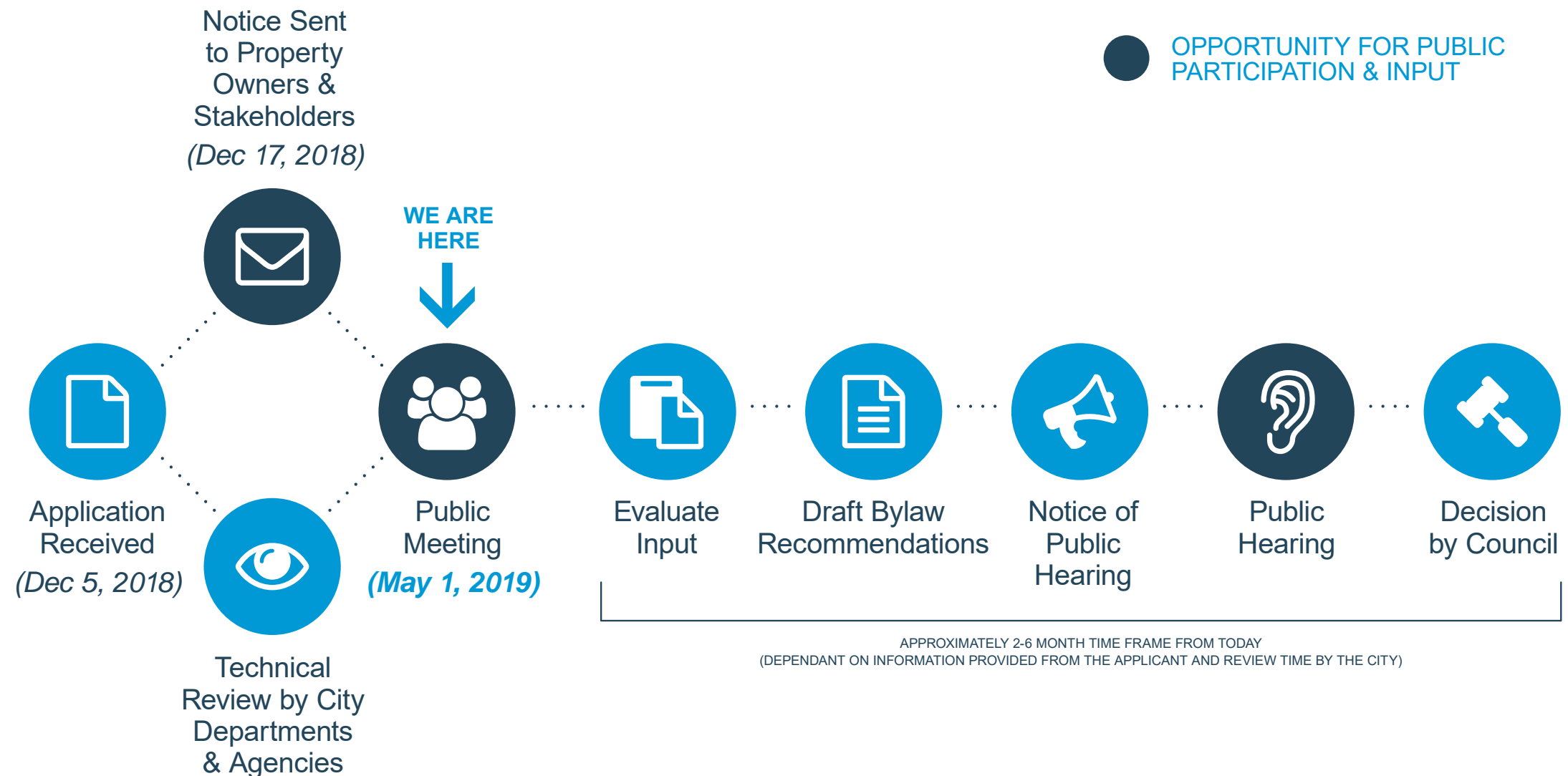
## WHAT IS YOUR FEEDBACK USED FOR?

- To provide local knowledge and inform the City’s planning analysis.
- To help inform conversations with the applicant about making revision(s) to address concerns.
- To inform Council about the nature of the feedback received so that they have a better understanding of the opinions of nearby residents prior to making their decision.

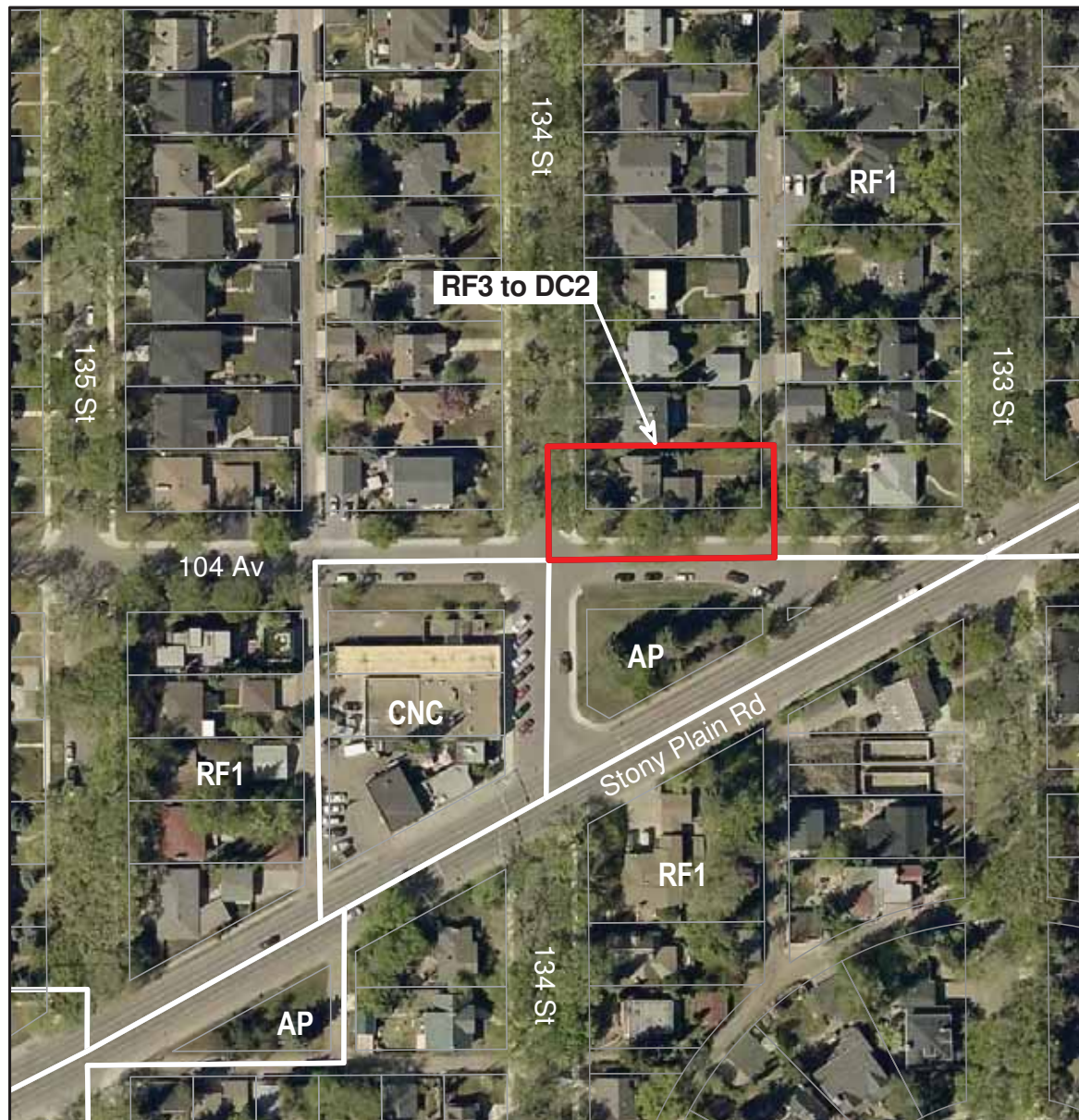
## Public Engagement Spectrum



# REZONING PROCESS CHART



# EXISTING ZONING



## Existing Zoning:

- **(RF3) Small Scale Infill Development Zone**

The purpose of this Zone is to provide for Single Detached Housing and Semi-detached Housing while allowing small-scale conversion and infill redevelopment to buildings containing up to four principal Dwellings under certain conditions, including Secondary Suites and Garden Suites.

## Permitted Uses:

- Apartment Housing
- Duplex Housing
- Garden Suites
- Limited Group Homes
- Minor Home Based Business
- Row Housing
- Stacked Row Housing
- Secondary Suites
- Semi-detached Housing
- Single Detached Housing
- Urban Gardens
- Fascia On-premises Signs

## Discretionary Uses:

- Lodging Houses
- Child Care Services
- Fraternity and Sorority Housing
- Group Homes
- Major Home Based Business
- Religious Assembly
- Residential Sales Centre
- Special Event
- Urban Outdoor Farms
- Freestanding On-premises Signs
- Temporary On-premises Signs

# PROPOSED ZONING

## Proposed Zoning:

### (DC2) Site Specific Development Control Provision

- Provides for direct control over a specific proposed development.

**Maximum Height: 14.0 m**

**Floor Area Ratio: 1.8**

### Change proposed zone to Site Specific Development Control Provision (DC2)

- Bars and Neighbourhood Pubs
- Breweries, Wineries and Distilleries
- Business Support Services
- Cannabis Retail Sales
- Child Care Services
- Commercial Schools
- Convenience Retail Stores
- Creation and Production Establishments
- General Retail Stores
- Health Services
- Minor Alcohol Sales
- Minor Amusement Establishments
- Personal Service Shops, excluding Body Rub Centres
- Private Education Services
- Professional, Financial and Office Support Services
- Restaurants
- Secondhand Stores
- Specialty Food Services
- Veterinary Services
- Urban Gardens
- Urban Indoor Farms
- Fascia On-premises Signs
- Freestanding On-premises Signs
- Projecting On-premises Signs
- Temporary On-premises Signs

#### Development Regulations for Specific Uses

- Each use of Bars and Neighbourhood Pubs, Restaurants and Specialty Food Services shall be limited to 100 Occupants and 120 m<sup>2</sup> of Public Space.
- Secondhand Stores shall be limited to a maximum Floor Area of 275 m<sup>2</sup>.



# PROPOSED ZONING

## South Elevation

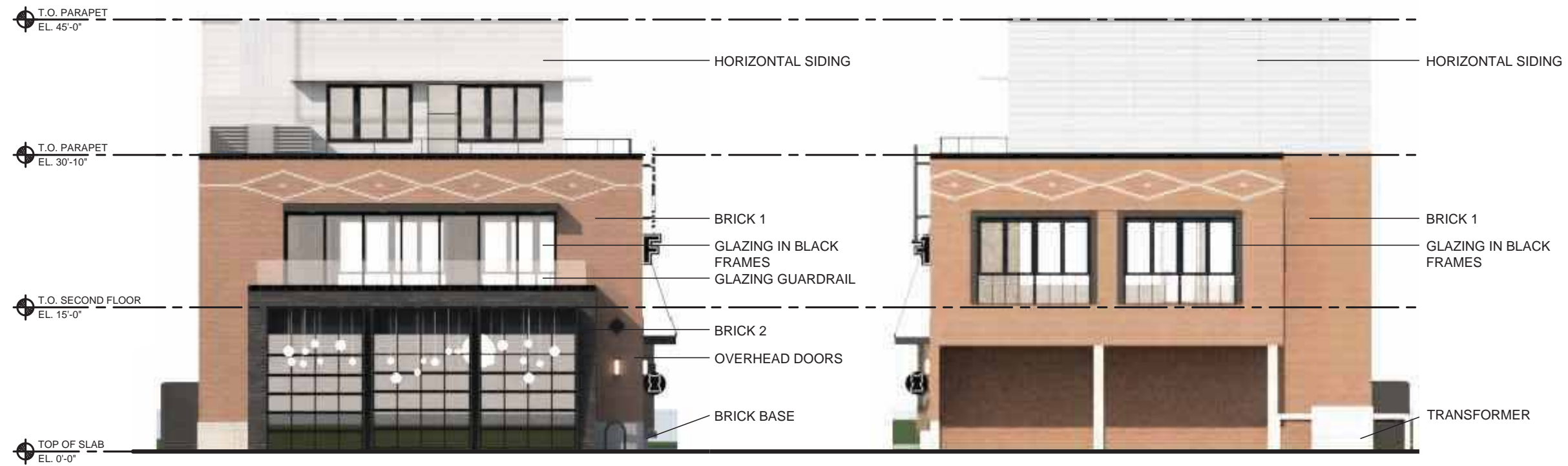


## North Elevation





# PROPOSED ZONING

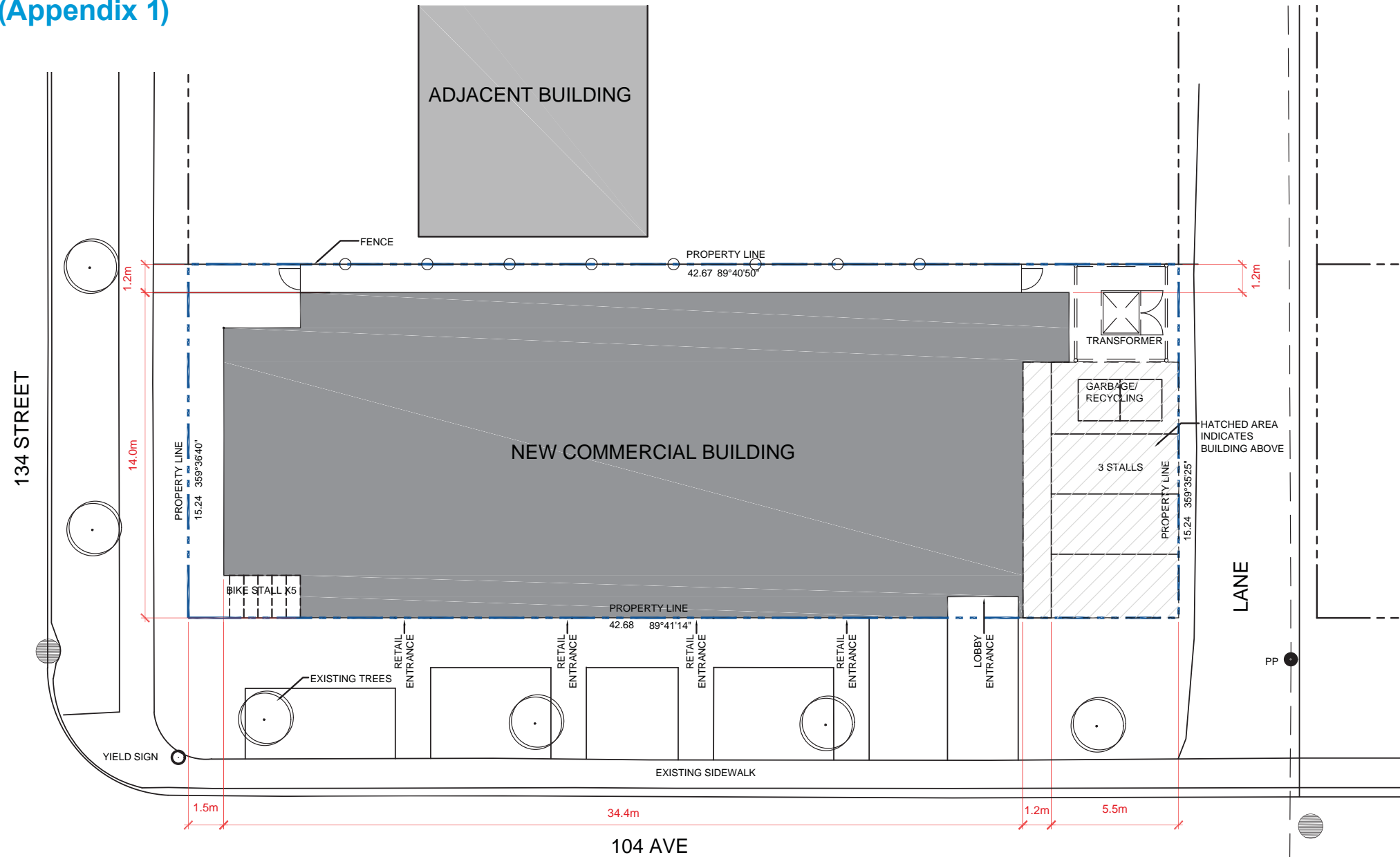


West Elevation

East Elevation

# PROPOSED ZONING

## SITE PLAN (Appendix 1)



# WHAT DO YOU LIKE ABOUT THIS PROPOSAL?

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# WHAT DO YOU NOT LIKE ABOUT THIS PROPOSAL?

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# THANK YOU!

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For more information please visit:

[edmonton.ca/Glenora](https://edmonton.ca/Glenora)

or contact:

**Heather Vander Hoek, Planner**

(780) 423-7495

[heather.vanderhoek@edmonton.ca](mailto:heather.vanderhoek@edmonton.ca)

## Next Steps:

Feedback from this meeting will be compiled in a What We Heard Report. This will be emailed to you if you left your email with us. It will also be included with reports to City Council.

City Planning will complete the review of the application. A Public Hearing date will be scheduled once the review is complete. Notice of the Public Hearing will be published in the newspaper, sent to adjacent property owners, and published on the website. Residents have the opportunity to attend the Public Hearing, and may also speak to the proposal at that time.