

Lot Grading Inspector's Checklist

Inspectors will be looking to ensure that:

- Driveways and sidewalks are completed.
- The site is clean and free of debris and construction materials.
- The grading is uniform and free of ruts, depressions or excess soil.
- Grading slopes away from foundation walls (Diagrams A and C).
- Swales are well defined to convey surface drainage off the lot (Diagrams C, E and F).
- Side yards are graded, even if the adjacent lot is incomplete.
- Steps or decks are properly backfilled.
- Storm or foundation servicing complies with the design requirements. Contact Water and Sewer Servicing to verify the servicing requirements of a property.
- Window wells are installed to final grade elevation.
- Grading matches the top of curb or city sidewalk or the top of the paved lane (clay cap at Rough Grade Stage)

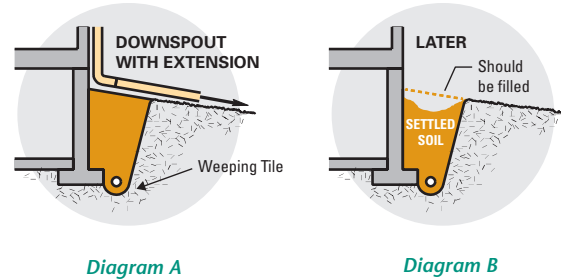


Diagram A

Diagram B

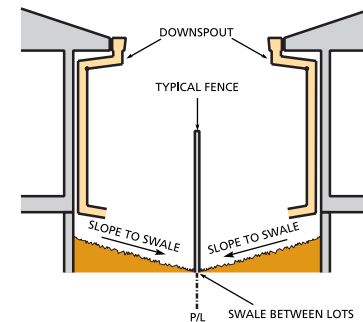


Diagram C

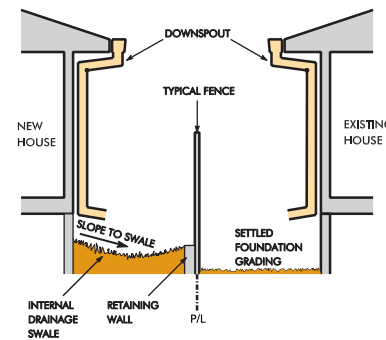


Diagram D

Lot Grading Approval Procedure

Step 1 – Obtain a Lot Grading Certificate

An Alberta Land Surveyor or a professional engineer (acceptable to the City Manager) is hired by the property owner to survey the lot and prepare a lot grading certificate. The surveyor submits the certificate and the applicant's contact information to the City of Edmonton.

Step 2 – Arrange a Lot Grading Inspection (pre-paid at Building Permit Stage)

Upon receipt of the lot grading certificate, an inspector determines if the surface elevations are within acceptable tolerance of the design elevations approved by Drainage Services for the area.

A site inspection follows within five working days (workload and weather permitting) to verify that the property complies with:

- the Drainage Bylaw requirements for surface drainage sewerage system usage, and
- terms of any restrictive covenant easement agreement or utility right of way in which the City has an interest.

House construction (including driveways and walkways) must be complete. A Lot Grading Inspection Report is issued within one working day of the site inspection.

If the grading does not meet the minimum requirements, deficiencies must be corrected and a re-inspection arranged within 60 days. Applicants are sent notification when the grading has been approved.

For More Information

Final Lot Grading - refer to the Lot Grading Inspections Final Grade Stage brochure.

Mature (In-fill) Housing - refer to the Lot Grading Guidelines or Surface Drainage Problems guide.

Flood Prevention Program - refer to the Homeowners Guide to Flood Prevention brochure.

City of Edmonton Drainage Services
5th Floor, Century Place
9803 – 102A Avenue NW
Edmonton, Alberta, Canada T5J 3A3

Lot Grading
(Monday to Friday 8 a.m. – 4:30 p.m.)
780-496-5576
lot.grading@edmonton.ca

Water and Sewer Servicing
(Monday to Friday 8 a.m. – 4:30 p.m.)
780-496-5444 or 780-496-5445
wass.drainage@edmonton.ca

Internet
edmonton.ca/lotgrading
edmonton.ca/floodprevention



Lot Grading Inspections

Residential Properties



Lot Grading

The City of Edmonton Drainage Bylaw 16200 regulates surface drainage on public and private land and includes a schedule of penalties for surface drainage offences. The City approves surface elevations and grades in two stages—rough grading and final grading. If a builder or owner chooses to proceed directly to final grading, they may bypass the rough grading stage.

Rough Grade

(generally the responsibility of the homebuilder)

This stage means shaping the lot approximately 7 to 20 cm below the proposed Final Grade elevations to create a drainage template for final grading and landscaping. Applications for Rough Grade Approval should occur within 18 months of the issuance of the building permit.

Final Grade

(generally the responsibility of the homeowner)

This stage means placing and shaping 7 to 20 cm of topsoil to landscape the lot and create the final surface drainage pattern. Final Grade Approval should occur within 12 months of Rough Grade Approval or within 60 days of the final grading being completed.

Owners of lots adjacent to stormwater management lakes, walkways or ravines must comply with the terms of any easements, rights-of-way, caveats or restrictive covenants registered on title.

Lot Grading Inspectors

Lot Grading Inspectors carry photo identification and are responsible for enforcing the bylaw by:

- inspecting and approving rough and final grading for all new developments, and
- identifying drainage offences in response to complaints from property owners.

Mature (In-fill) Development

Mature (In-fill) housing development is the re-development of an existing residential property. There are special lot grading considerations when carrying out mature housing development:

1. **Create a plan that defines how your lot will convey surface drainage to the street or back lane.**

When re-development occurs in mature areas that do not have a Lot Grading Plan already approved by the City, the owner must submit a lot grading design to the Lot Grading section of Drainage Services. This plan must be approved by Drainage Services prior to the construction of any buildings or alterations of the surface drainage on the property.

2. **Ensure that retaining walls and internal swales are inside the property so there is no impact to an adjacent property.**

A drainage swale is a shallow, sloped channel for the conveyance of storm water and subsurface water onto City right-of-way. Swales should be graded at a minimum slope of 1.5%, with a depth of 10 cm and an unobstructed width of 15 cm. Retaining walls are the most common solution to construct internal drainage swales (Diagram D) but walls must not be supported by an existing common property fence.

3. **Storm or Foundation Servicing**

Drainage of roof or foundation water onto adjacent private property is a bylaw violation. Roof or pumped subsurface drainage should be connected to a storm or foundation service where available. For more information about storm sewer servicing, contact Drainage Services, Water and Sewer Servicing.

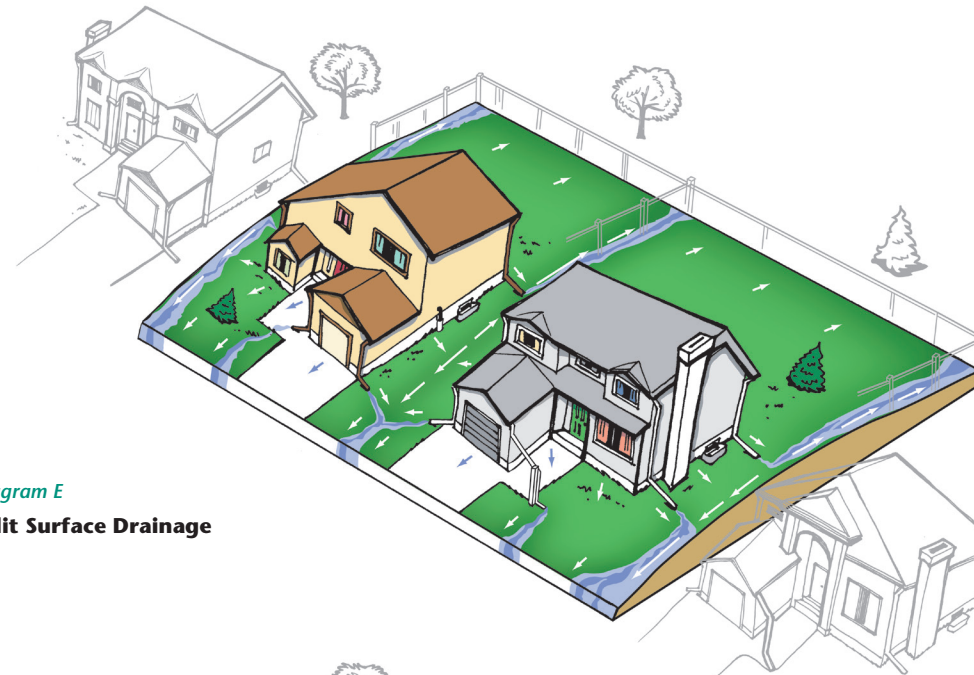


Diagram E

Split Surface Drainage

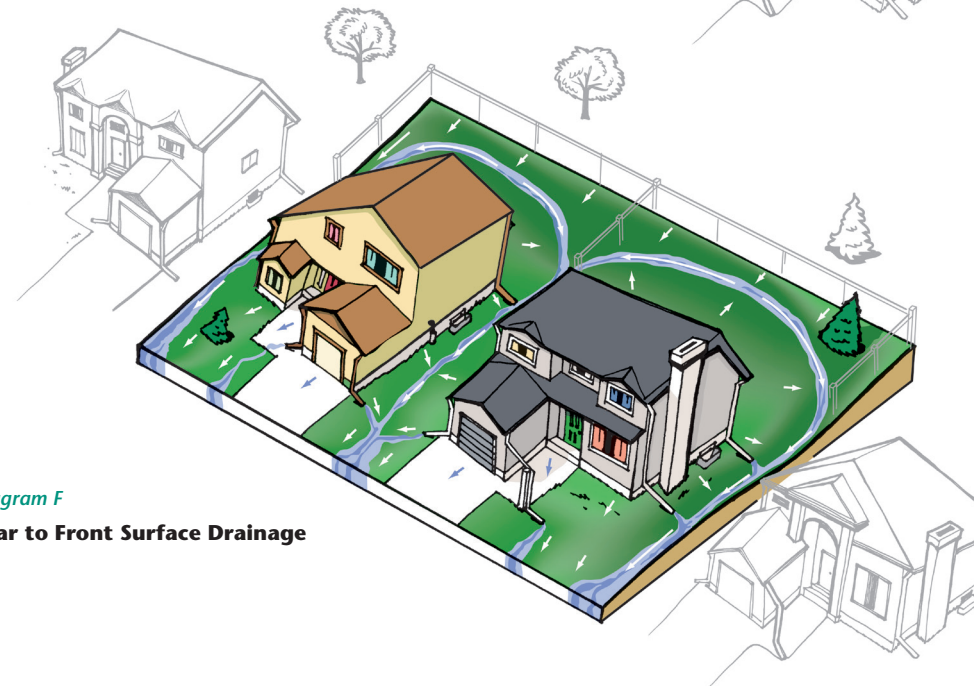


Diagram F

Rear to Front Surface Drainage

Things to Remember

- Property owners do not need to be present for a lot grading inspection.
- Check for settlement adjacent to foundation walls, including areas under decks and steps (Diagram B).
- Grade any drainage swales (Diagrams C, E and F) or internal swales (Diagram D) at a minimum 1.5% slope to convey surface drainage to a City right-of-way.
- Repair settlements, especially under downspouts and sump pump discharges (Diagram B).
- Leave the downspout extensions in the “down position” and directed to discharge to a location where the water will drain to a swale and towards a City right-of-way and not towards a neighbour’s lot.
- Pets should be properly secured and gates should be unlocked to allow for a trouble-free inspection.
- If a re-inspection is needed, the property owner must contact 311.
- Workload and weather can impact inspection schedules.
- Property owners are responsible to maintain proper lot grading after approval has been issued for as long as they own the property.
- The City of Edmonton may at any time require maintenance on the lot grading if alterations or settlements result in surface drainage problems.