

# John Fry Sports Site MASTER PLAN

The City of Edmonton



PREPARED FOR:  
Parks, Asset Management and Public Works  
PREPARED BY:  
Stantec Consulting Ltd.  
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## **ACKNOWLEDGEMENTS**

### **PROJECT TEAM**

Ted Jenkins, City of Edmonton  
Kevin Dieterman, City of Edmonton  
Shelley Kwong, City of Edmonton  
Penny Dunford, Stantec Consulting  
Elaine Betchinski, City of Edmonton  
James Thompson, City of Edmonton  
Neil Kobewka, Stantec Consulting  
Heidi Mapstone, Stantec Consulting  
Diane Fitzpatrick, Stantec Consulting

### **STEERING COMMITTEE**

Debi Anderson, City of Edmonton  
Brad Badger, City of Edmonton  
Paul St. Arnaud, City of Edmonton

### **STAKEHOLDERS**

Leprechaun Tigers Rugby Club  
South Edmonton Elite Baseball Association  
Capital City Softball Association  
Edmonton Ladies Softball Association  
City Parks Operations  
Go Community Centre  
Alberta Volleyball Association

## **EXECUTIVE SUMMARY**

John Fry Park has been and will continue to be an important venue for major regional and national sports events in Edmonton. As such, it is important that the park site generates positive impressions for visitors to our City. The quality of the sport fields is very important, but the functionality of the site and the aesthetics are equally important.

The site is a 27.5ha City level park site in south Edmonton containing a number of ball diamonds, rugby fields, and a City of Edmonton Parks operations yard. Some of the organized sport clubs currently have lease arrangements with the City for preferential use of the site but the general public may also book the fields when available. A 4.6 ha parcel within the site has been identified for a potential future recreation facility.

This study was funded by the Parks Branch of Asset Management and Public Works to address the complete master plan process, and specifically to:

- confirm the feasibility of a concept plan developed in 2006 based on a physical site assessment
- review and refine the concept plan with input from the stakeholders
- prepare an implementation strategy including budget estimates for construction and recommended phasing of the proposed site improvements

The new Master Plan was developed through a physical site review and a series of stakeholders meetings and open houses. Some of the key elements of the plan which will give John Fry Park the appropriate status in Edmonton's park system are:

- a landmark amenity building which is shared between the various sport groups and the public, and which will foster pride and a feeling of ownership in the park.
- a clear demarcation of different uses in the park and clear circulation routes which will contribute towards stress free visits to the site and minimize congestion during major events. Subtle and attractive controls that prevent unauthorized vehicular traffic through the site will control damage to landscaped areas and eliminate the feeling of "abandonment" in the park.
- attractive landscaping which will provide shade on hot days, and can mitigate wind. It will encourage longer visits to the park and will draw visitors to the park for passive recreation.
- a functional trail system will encourage walking and cycling through the park as an alternative to driving.

A five year time frame has been suggested for completion of the park upgrading. Full development will require a partnership between the City of Edmonton and the sport groups who use the site. The City will be responsible for all components that serve the general public and that relate to the parks operation and maintenance; the sport groups will be responsible for components which are specifically related to their own needs. Costs for components which serve both the public and the user groups will be shared. The proposed schedule is flexible and could be tightened with additional funding from the City and / or the sport groups.

The total budget estimate for completion of the John Fry Park upgrading program in 2007 dollars is \$9,800,000. Expenditures in the five phases would be \$1,400,000 for phase one; \$500,000 for phase two; \$1,300,000 for phase three; \$4,700,000 for phase four; and \$1,900,000 for phase five. A more detailed breakdown of the funding allocation for each of the proposed five phases is included in the Implementation strategy section of the report, beginning on page 25.

# INTRODUCTION

## BACKGROUND



The John Fry Sports Site is a 27.5ha City level park site in south Edmonton, located between Parsons Road and 92 Street and between 28 Avenue and 31 Avenue. The site contains a number of ball diamonds, rugby fields, and a City of Edmonton Parks operations yard. Some of the organized sport clubs currently have lease arrangements with the City for preferential use of the site but the general public may also book the fields when available. A 4.6 ha parcel within the site has been identified for a potential future recreation facility.

The adjacent land uses include several light industrial businesses to the north, west and east (zoned IM, IB, or DC2); Billy D's Driving Range and the Alberta Volleyball Association each lease a portion of land owned by the City Transportation Department to the south (zoned PU). See *figure 1 below*

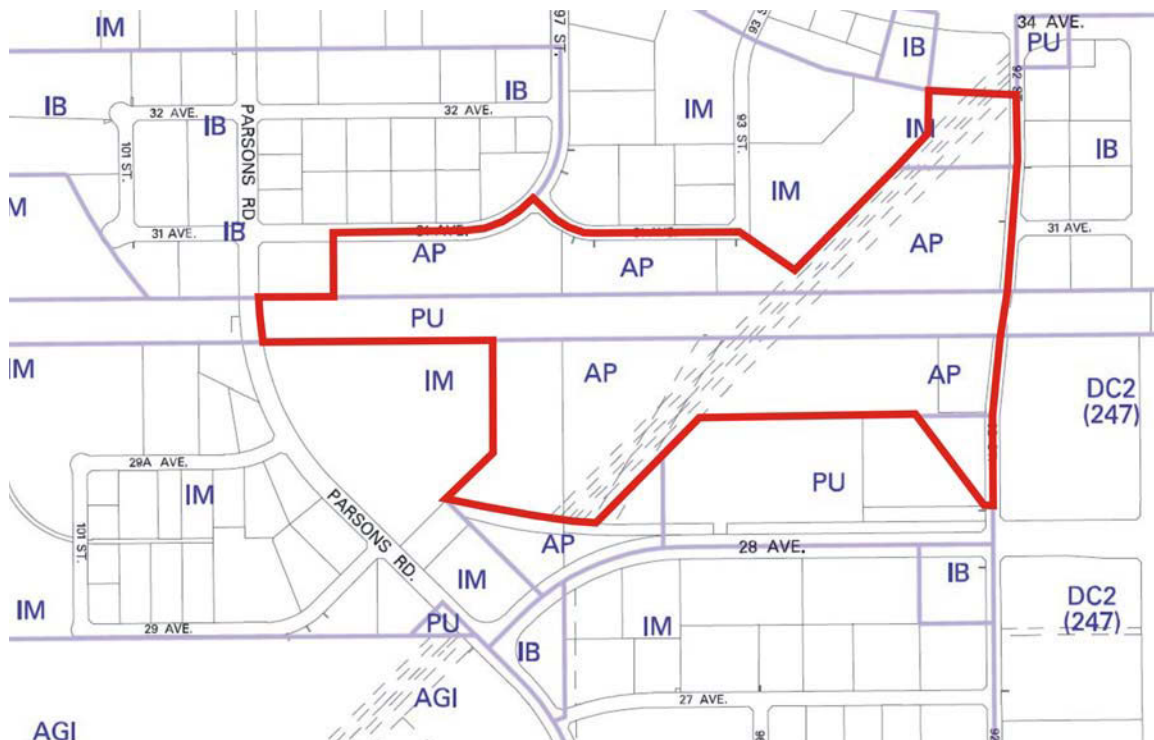


Figure 1 - Area Zoning



The piece of land owned by the Transportation Department is designated for future development of a transit maintenance yard, with an anticipated time line of 10 to 20 years for development. The City of Edmonton Parks Department is currently working with the Transportation Department for a land swap to trade a triangular piece at the southwest corner of the John Fry Park site for a triangular piece at the southeast corner. See figure 2



Figure 2 - Land Swap

Sport groups with an arrangement with the City for preferred use of the site include:

- Leprechaun Tigers Rugby Club
- South Edmonton Elite Baseball Association
- Capital City Softball Association
- Edmonton Ladies Softball Association

The Alberta Volleyball Association does not use John Fry Park but leases a piece of land adjacent to the park from the Transportation Department for sand volleyball courts.

A Master Plan and implementation strategy is required for the site due to the specific needs and expansion desires of current user groups, site drainage issues, and the consideration of using this site for the potential development of the Go Community Centre. (The Go Community Centre is presently negotiating a location at another site). The master plan

process was initiated by the City with stakeholder consultations and the preparation of Needs Assessment reports in the winter of 2005. Development of a Concept Plan followed and was ratified by the stakeholders in June 2006. See figure 3. A summary of the groups needs is included in section 3 of this report with the full needs assessments included in the Appendix 1 – Stakeholder Consultation.

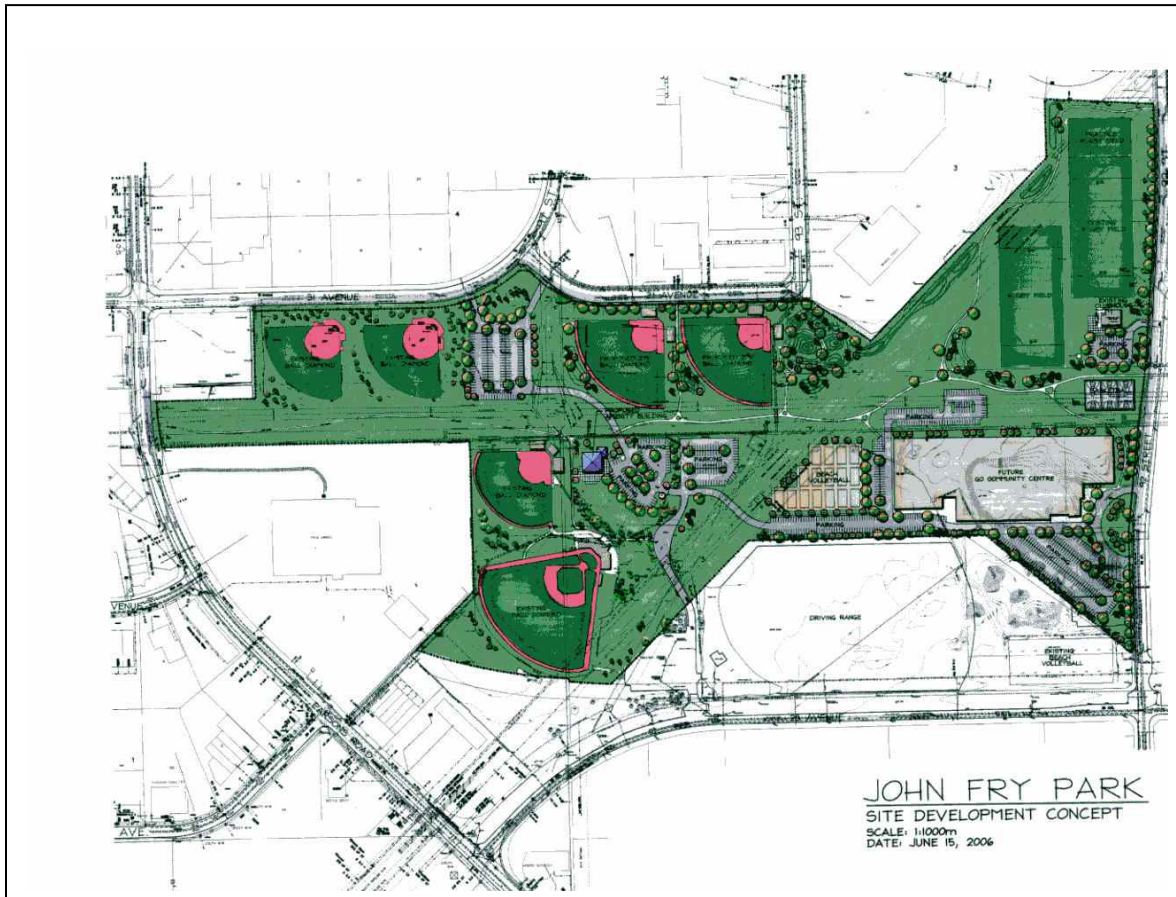


Figure 3 - Concept Plan June 2006

## STUDY PURPOSE

This study is being funded by the Parks Branch of Asset Management and Public Works to complete the master plan process, and specifically to:

- confirm feasibility of the current concept plan
- review and refine the concept plan with input from the stakeholders
- prepare an implementation strategy including budget estimates for construction and proposed phasing of site improvements

## EXISTING SITE REVIEW

Based on several site visits and interviews with site stakeholders in the fall of 2006 and in the spring and summer of 2007, this section summarizes information about the current conditions at the site.

### GRADING and DRAINAGE

The entire site was not graded to base level standard when it was developed. Several site grading and drainage issues were identified in the Concept Plan and reviewed in more detail during this study. These issues are shown on figure 4 and described below.

There are several low areas within and adjacent to the site that do not drain properly. Specific problem areas include: the east end of Billy D's Driving Range, the sand volleyball court area, and the northwest corner of the rugby field area. The photo to the left shows the



low area northwest of the rugby fields which is frequently wet and in major rain events will drain onto the adjacent industrial property; drainage also flows towards this same property from the south. The west portion of the park drains towards a property to the northwest, however, in 2006 a drainage swale and catch basin were constructed to intercept the run-off prior to leaving the site.

Sport fields in the park were constructed at different times and to different standards. Three of the ball diamonds drain well and are usable shortly after rain storms; the other two diamonds do not drain well and remain wet for some time after a rain. The rugby fields also do not drain well, and have some water ponding issues after rain storms.



The park site has been used by Parks operations in the past as a storage site for marginal soils and topsoil. A topsoil pile is located in the north central portion of the site and a pile of marginal material is located to the southeast of the site on Transportation land. A topsoil broker, "Dirt Guy", has been salvaging topsoil through a screening operation from the marginal pile and his tailing piles are also located on Transportation lands (photo to the left). All of these "piles" should be incorporated into the site grading or removed as they are being used as an unauthorized ATV and dirt bike site. Parks has agreed to grade the east portion of the Transportation area in conjunction with the John Fry Park upgrading.



The site is reasonably well serviced by storm water utilities. A 2275mm diameter storm sewer line crosses the site along the south edge of the Altalink R.O.W. and there are existing storm sewer connections to 31 Avenue and Parsons Road. Several catch basins service the central ball diamonds; two service the rugby area and three service the north edge of the site. See figure 4 for Grading and Drainage Issues

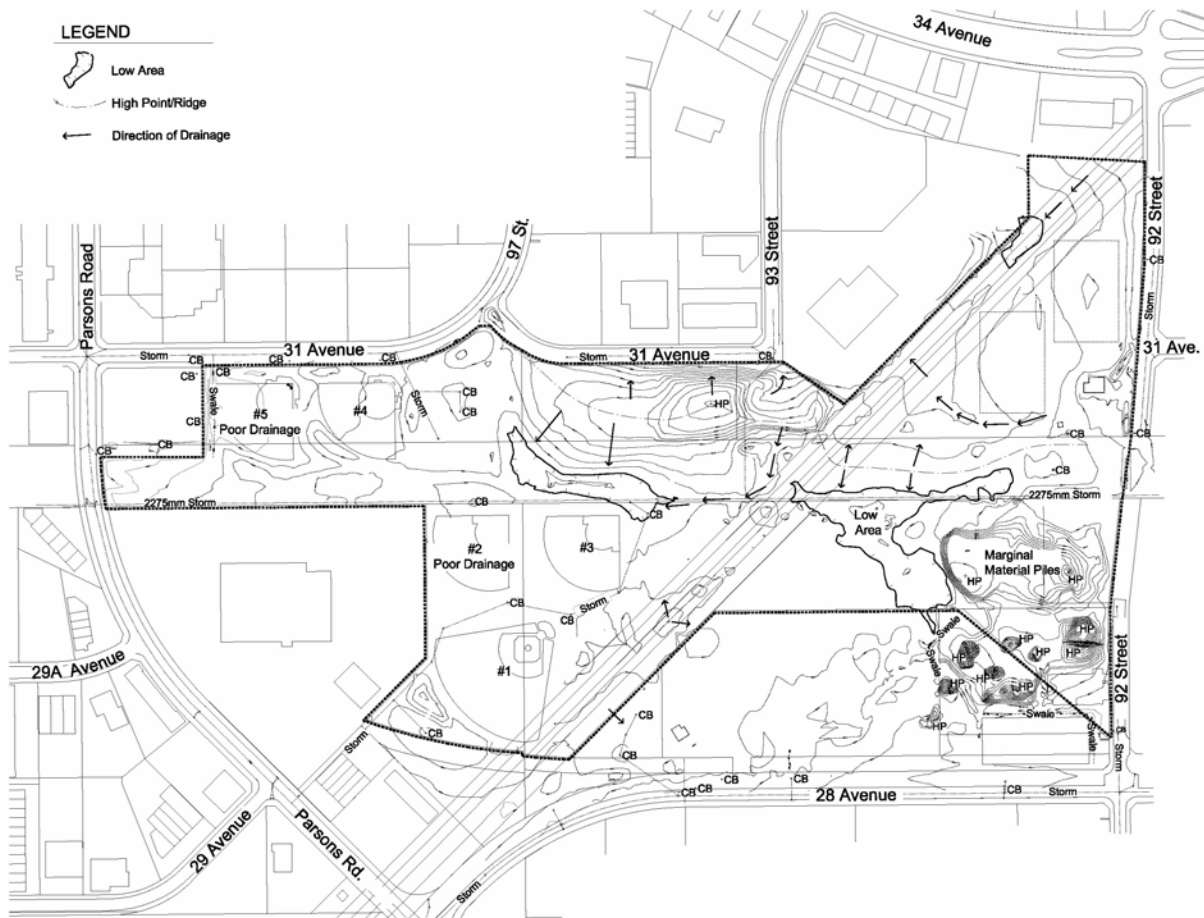


Figure 4 - Grading and Drainage Issues

## UTILITIES



A major underground pipeline utility corridor traverses the site from the southwest to the northeast and a major Altalink power line corridor runs from west to east across the centre of the site. All utility companies restrict development on their right of ways. Plan approval and crossing permits are required from each before any development can occur on or adjacent to their right of ways. Crossing agreements are required within one year of construction of any improvements on or within 30m of a right of way. All utility companies have been provided with copies of the master plan.

There are four pipeline companies with 11 active pipelines in the park site. From north to south in the pipeline corridor, the pipelines are as follows:

**Atco Gas** (formerly N.U.L.) – has two right of ways on site. The north R.O.W. contains a 610mm gas line and a 323mm gas line.

**Imperial Oil** (formerly Nisku Products) – has four pipelines within their R.O.W., a 114mm high vapour pressure line and a 60mm high vapour pressure line (propane), a 60mm oil pipeline, and an 88mm oil pipeline

**Pembina** has one 406mm oil pipeline

**BP Amoco** (formerly Dome) – has two pipelines; a 273mm high vapour pressure line and a 219mm low vapour pressure line (butane)

In addition to these active pipelines, there is an abandoned 73mm gas line – formerly owned by Strathcona

**AltaLink** has several overhead high voltage power lines crossing the site. A series of wooden power poles carry lines along the north edge of their R.O.W. and large metal towers carry lines along the south edge.

**Epcor** also has two power towers which connect to the AltaLink power lines

Contact information and crossing permit application information for each company is included in Appendix 3 – Crossing Agreement Information. *Refer to figure 5 for utility ROW locations*

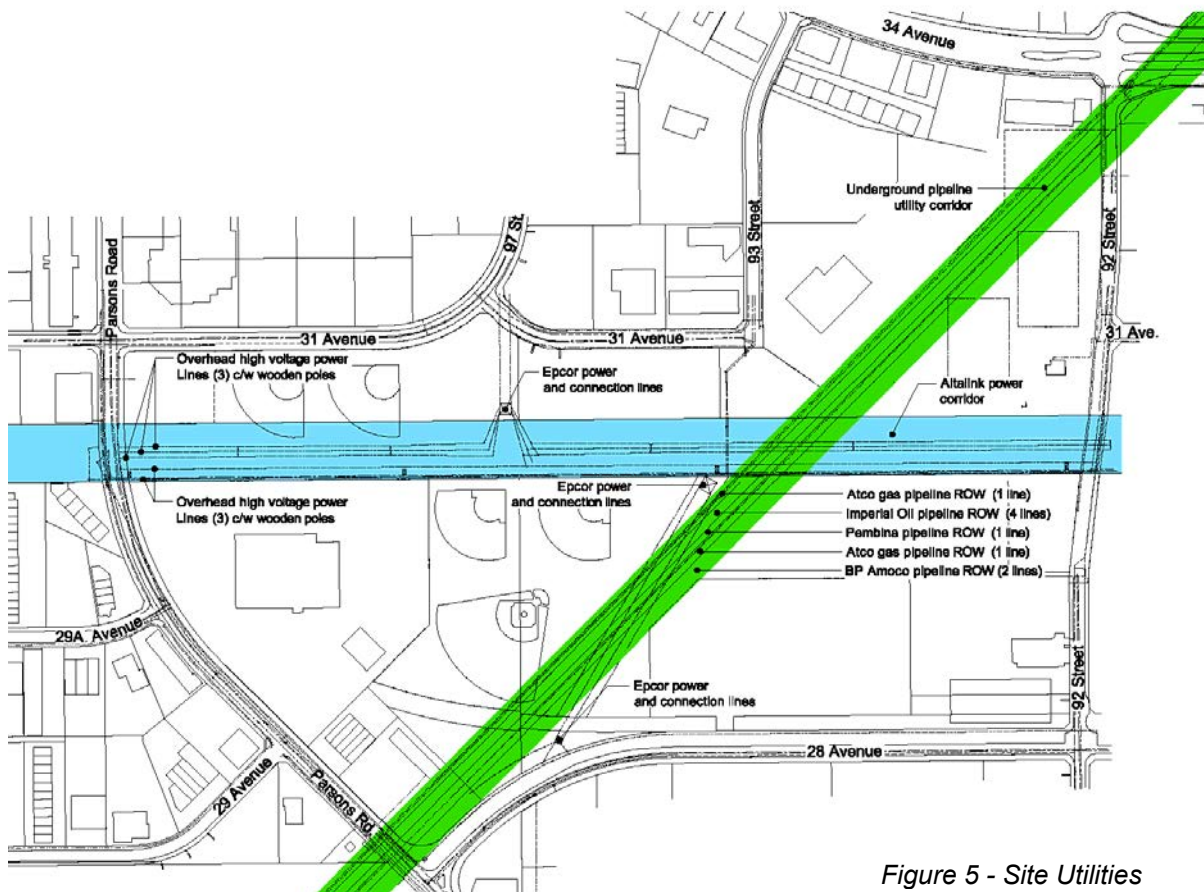


Figure 5 - Site Utilities

## LANDSCAPING



Landscaping of the site was completed with the original ball diamond development and there are many mature trees in the west half of the site and surrounding the ball diamonds. More recent development of the site, however, has not included a landscape component and overall, the site is deficient in landscaping. Currently there are approximately 155 trees on site. The City of Edmonton parks standard planting rate for park development is 70 trees per plantable hectare. With this standard, the total tree requirement

would be 877 trees, implying a shortage of 722 trees. Landscape enhancements are a key component of the upgrading proposals for the park.

The western half of the site is irrigated including the five ball diamonds. Diamonds #1, #4, and #5 have updated irrigations systems, but Diamonds #2 and #3 are on an old manual irrigation system. All systems are operational.

The prime function of this site is the provision of sport fields, however, it also provides passive park space for area businesses. As such, it should be an attractive place for workers to spend time. Through this Master Plan, a balance of the two aspects will be created. *Refer to Figure 6 for an indication of the quantity and locations of existing planting on site*



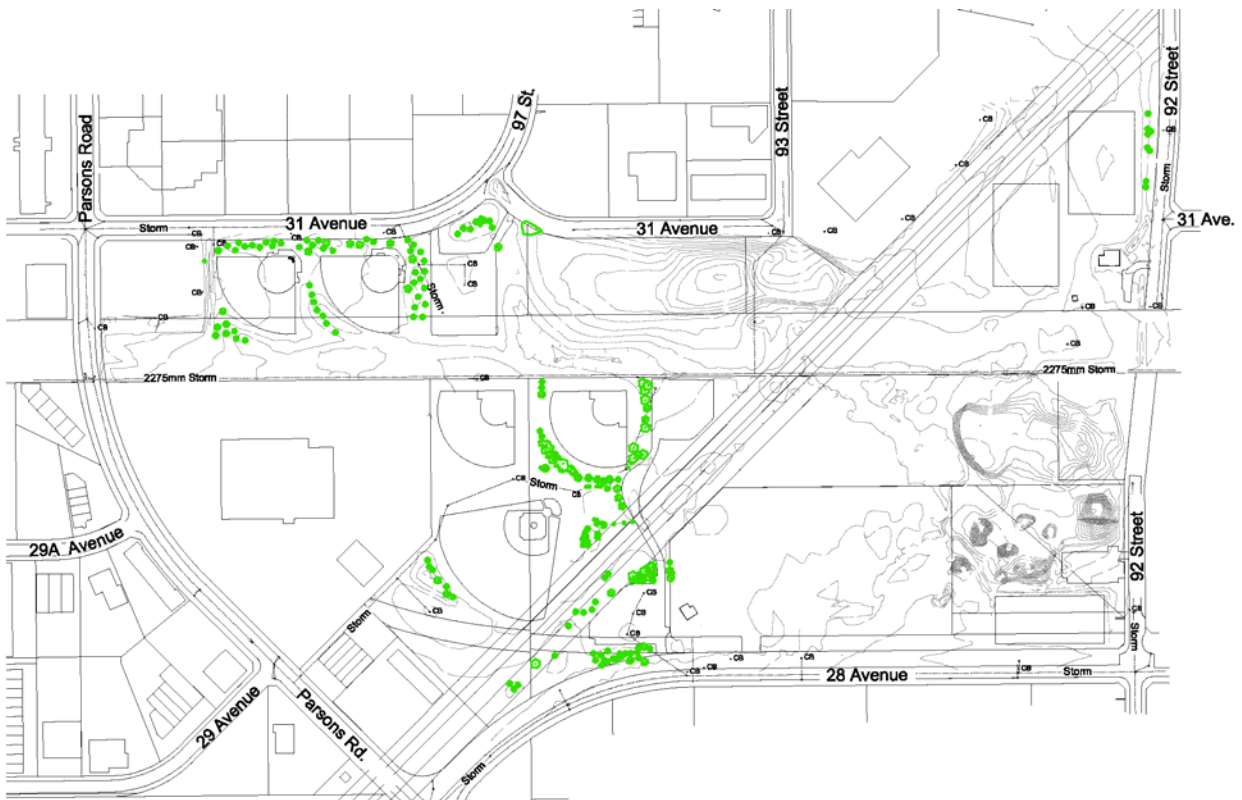


Figure 6 - Existing Site Planting

## ACCESS and PARKING



There are currently three vehicular access points into the site. Users of the northwest diamonds enter the site from 31 Avenue between 93 Street and Parsons Road and use an undefined, gravel parking area (photo to left).

Some rugby users enter the site from 92 Street and utilize a very small paved parking area, but most users park along 92 Street. The Rugby Club may consider upgrades to their parking area in conjunction with other work at John Fry Park.



Users of the three southern diamonds enter the site from 28 Avenue, using the access road adjacent to Billy D's Driving Range. A paved parking lot is currently accessed from this entrance and serves the southern ball diamonds (photo to left). This lot has had painted lines, but they are somewhat faded and not fully effective. This connection must be removed prior to development of the Transportation maintenance site.

In the past, movable concrete curbs restricted vehicles to the parking areas and designated roads; these have been recently removed and unauthorized traffic throughout the park has become an issue. People often drive between the north and south parking lots across the grass, and drive onto the Altalink ROW, accessing it from both the north parking lot and from the rugby parking lot. The Master Plan provides recommendations to improve efficiency and to provide control for unauthorized vehicular traffic on site.



The current number of parking stalls on site is approximately 141 with distribution as follows:

- North parking lot accessed from 31 Ave – 75 stalls
- South parking lot accessed from 28 Ave – 60 stalls
- Rugby Lot accessed from 92 St – 6 stalls

Some walkways have been developed linking Parsons Road with the ball diamonds; however, there is no trail development in the eastern half of the site. The current walks are concrete and in reasonable condition, but are narrow. Completion of the trail system is addressed in the Master Plan.

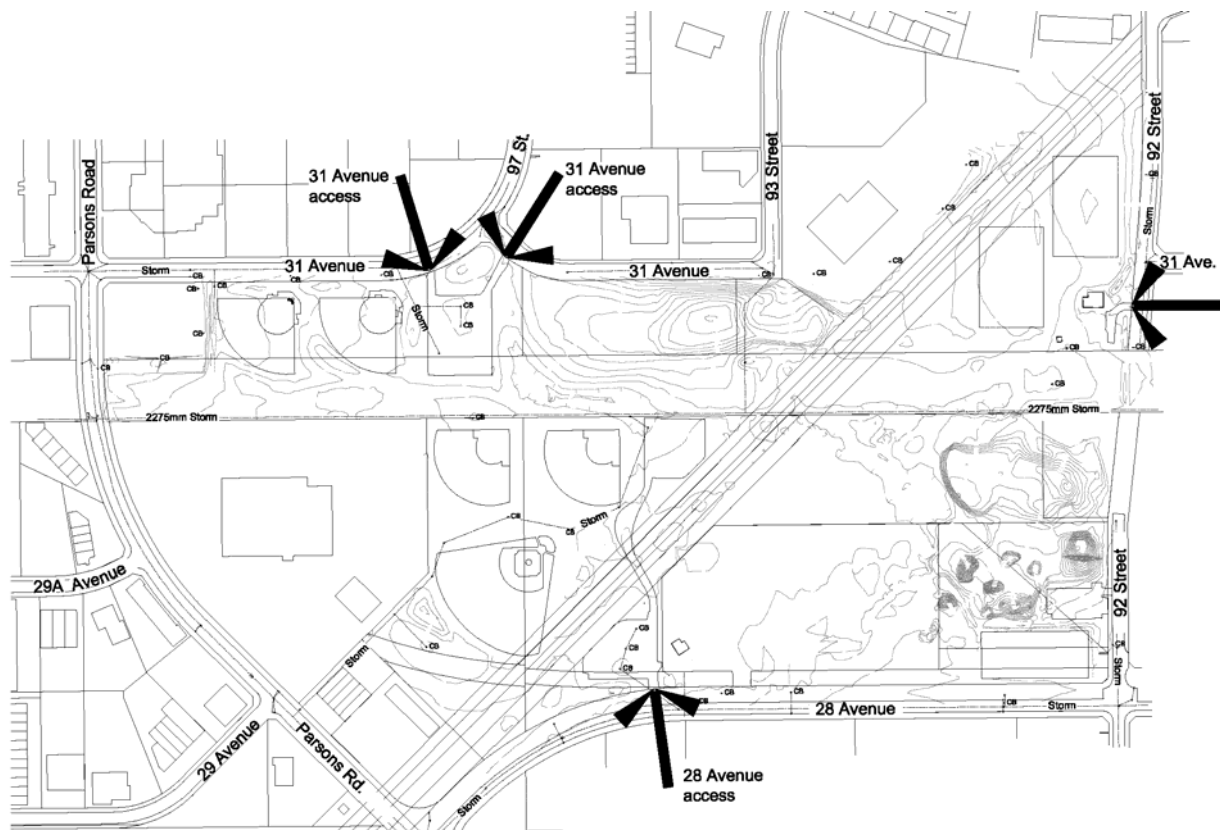


Figure 7 - Existing Site Access



## **SITE SAFETY**

Some incidents of vandalism have been reported by user groups and by the Parks Operations group. A “Crime Prevention Through Environmental Design” (CPTED) assessment was conducted to address improvement of safety, usability and accessibility of the John Fry Park site and is included in Appendix 2.

The basic CPTED principles of Access Control, Natural Surveillance and Territoriality can be implemented to provide a more user friendly environment. Recommendations from this report are as follows and include both physical site improvements and operational improvements. The physical improvements have been incorporated into the final Concept Plan.

- Improve access into and throughout the site through road or trail construction to improve natural passive surveillance and police surveillance, as well as improved access for the users.
- Provide signage at entrance points c/w address – numbers clearly visible for emergency responders. Other signage would include information signage, i.e.) site map, ‘rules of conduct’, phone numbers for reporting problems.
- Provide site lighting for all internal roads, trails and parking areas that are intended for use after hours.
- Adopt a zero tolerance for graffiti.
- Maintain a diligent maintenance program.
- Consider CPTED principles for any proposed new development at the site, including adequate sightlines and access to all new facilities. Clearly define public space, and private space, i.e.) storage facilities.
- Install adequately accessible emergency blue phone locations on the site.
- Replace sub-grade dugouts with surface dugouts
- Create and maintain insider “Home Base Agreements” for all sport groups.

# **PROGRAM DEVELOPMENT**

## **STAKEHOLDER INPUT PROCESS**

All site stakeholders were contacted during the Concept Plan development in 2006 and Needs Assessments were completed by each group. Individual meetings were held with each group in the spring of 2007 to review their needs and to discuss current and future plans. A stakeholder open house was held June 19, 2007 to present the draft master plan. Needs and wants identified by the groups are summarized below. Copies of the 2006 Needs Assessments, stakeholder meeting notes, and a summary chart of the stakeholder feedback results are included in Appendix 1. Group parking needs are addressed separately at the end of this section.

Each of the user groups will receive an executive summary of this report and the final Concept Site Plan. The complete report will be posted on the City website.

## **USER GROUPS NEEDS and WANTS**

### **South Edmonton Elite Baseball Association**

This club promotes elite baseball for 12 – 18 yr olds. They are very happy with the Bob White field, but would use the site more and could host bigger tournaments if there was an additional 90 foot field. They actively use the site from April through September, two to four evenings per week and on weekends and typically host two to three special events per year. They have expressed an interest in pursuing a Home Base Agreement with the City. They have indicated several desires for site improvements:

- More warm-up areas
- Field house for indoor practice / training facility
- Additional field
- Washrooms
- Change rooms
- Storage space
- Office space
- Officials rooms
- Concession space
- Enclosed batting cages and bull pens

### **Capital City Softball Association**

This club promotes softball for all ages. They have hosted several Canadian, Provincial, and Western Canadian championships including the Midget Canadian Championship in 2007. Generally they are happy with the site, stating that their diamonds are in good shape and that John Fry Park is an attractive facility. If they had more diamonds of a larger size, they could host men's championships and bigger events. They use the site daily during events. Specific desires for the site are generally related to the amenity building and are listed below:

- Washrooms old and insufficient, new facility required
- Dressing Rooms
- Office Space
- Storage Space

- Media area
- Concession
- Beer Garden
- Indoor Facility for year round training
- More diamonds c/w lighting, press boxes, seating, dugouts
- More parking
- Picnic Tables
- Public phone

### **Edmonton Ladies Softball Association**

The Edmonton Ladies Softball Association will be celebrating 50 years of operation in 2008. They use John Fry Park from the first Monday in May through the second weekend of August, Monday through Thursday evenings and they use all four softball diamonds for their regular use play. They host a tournament every May long weekend and hosted the Midget Nationals in 2007. They would be interested in pursuing a Home Base Agreement with the City. Specific desires for the site are generally related to the amenity building and are listed below:

- Improvements to drainage at diamonds 2 and 5
- Outfield fencing
- Lighting
- Bleachers
- Officials rooms
- Washrooms
- Multi-purpose room
- Temporary storage space
- Concession space

### **Leprechaun Tigers Rugby Club**

The Leprechaun Tigers Rugby Club is a social organization of male and female players of all ages. They have implemented a number of improvements on the site including a permanent clubhouse and are currently pursuing a Home Base Agreement with the City. They actively use the site from early spring to late fall, and their clubhouse (photo below) is used year round. With 4 teams playing, more than 100 players would be on site at a time.



They host 6 to 7 larger events per year. The site improvement most desired by the Leprechaun Tigers is an upgrade of their two playing fields. Both the grading and turf grass are of insufficient quality. Other desires are less urgent. A concern about vehicular traffic on their playing fields has been resolved with the installation of rail fencing in 2007.

#### **Desirable Site Improvements:**

- Field Upgrades – they are dry and hard
- More space between fields for spectators

- Drainage improvements
- Playground
- Space for motor homes to park
- Additional parking
- New storage shed installed in 2007 to meet storage needs

### **City Parks Operations**

Parks Operations currently staffs John Fry Park with 1-2 people per shift during the summer (May through October) for maintenance of the park. The on site staff regularly maintain the west side of John Fry Park site including the ball diamonds and connecting green spaces but have no direct involvement with the rugby fields or east end of the site.

Maintenance activities include grass mowing, maintenance of the irrigation systems, line painting, watering, cleaning, etc. to a Class B standard. They have office space and washrooms in a central trailer and a garage for grass cutting equipment. Desired site features for their maintenance operations include the following:

- Office
- Separate washrooms for staff and public
- Kitchen space with fridge
- Larger garage with higher overhead door

### **Alberta Volleyball Association**

The Alberta Volleyball Association (AVA) currently has a three year lease with City of Edmonton Transportation Department for use of a site south of John Fry Park for 16 sand volleyball courts. The site is used extensively, from 5-10pm on weekdays throughout the summer (May through August) and all day on weekends. As many as 64 teams could be on site per night, and seven to eight weekend events are scheduled each summer. They would like to have higher quality courts with seating and lighting. Although the AVA is not located on site and is therefore not an official stakeholder, they were invited to participate in the plan process as an adjacent land user.

## **PARKING NEEDS**

Currently there are approximately 141 parking stalls on site with 75 in the north gravel lot accessed from 31 Avenue, 60 in the south paved lot accessed from 28 Avenue and 6 in the small paved lot at the rugby clubhouse, accessed from 92 Street. Sand volleyball court users park along 92 Street, along 28 Avenue and in an informal gravel lot accessed from 28 Avenue via the south portion of 92 Street. Lack of parking was not identified as a serious issue on site, but all groups would appreciate additional parking.

Each group identified parking requirements for regular site use and for special events as follows:

	<u>Daily Needs</u>	<u>Special Event Needs</u>
Rugby	50	300
Capital City Softball	0	500
Elite Baseball	40	100
Ladies Softball	100	300
Parks Operations	2	0

Total current daily needs would be well served by 200 stalls. The largest event requirement is for 500 stalls which could be provided by a combination of permanent stalls and designated overflow parking areas.

### **AMENITY BUILDING NEEDS**

All groups were requested to provide input into appropriate uses for an amenity building. All groups indicated that more and improved washroom facilities were the highest priority and all indicated that they would consider a partnership arrangement with the City for provision of meeting space, office space and storage areas. In summary, the needs stated include:

- Public Washrooms
- Concession space
- Storage
- Multi-purpose room
- Office space
- Officials rooms
- Change rooms

### **PARTNERSHIP ARRANGEMENTS**

This Master Plan process has taken all input into consideration in the final recommendations; however, some expressed wants are beyond the scope of this Plan to accommodate. Partnership arrangements are encouraged with the various groups which can allow improvements to be scheduled sooner than would be scheduled through the normal City budgeting process. Partnership arrangements as discussed with the groups are discussed in the Implementation section.



## **MASTER PLAN**

The final master plan includes many proposed improvements to address specific needs and wants of the sport groups, and also proposes general site upgrades to create an attractive regional sport facility. The intent is not only to provide a functional site for the sport users, but an attractive park setting where the sport participants, their families, spectators, and the general public will feel comfortable spending time. The plan anticipates a future recreation centre in the southeast portion of the site and roadways have been planned to accommodate the new use. *Refer to figure 8 – John Fry Park Master Plan (foldout plan at end of section).*

This plan was reviewed with stakeholders in late June of 2007 and received general support.

## **GRADING and DRAINAGE**

A conceptual grading plan has been completed during this study and will be refined by Parks to complete a portion of the required grading in the fall of 2007. The main focus of grading on site is to correct several drainage issues and to remove piles of marginal material and topsoil. The poorly drained low area at the east end of Billy D's driving range cannot be fully addressed while Billy D's is operating on site in their current alignment, but grades can be adjusted to control the amount of flooding.

The rugby fields will be raised slightly to improve drainage in the area and will absorb some of the excess material from the general site grading. A net surplus of approximately 7,000 cubic metres has been estimated from site grading operations. Once all grading work is completed, the excess material will be hauled away.

One new catch basin has been suggested west of the rugby fields as the area is low and poorly drained currently. Another catch basin is proposed to the northwest of the rugby fields to intercept drainage which is currently directed onto the neighbouring property. This CB will require approval from the pipeline companies as the connecting line will cross the pipeline right of way. In the short term the area around the proposed catch basin will be graded to retain the majority of run-off to prevent it reaching the adjacent property, thus allowing it to infiltrate into the soil and groundwater table below. It is anticipated that this area would gradually naturalize over time into a seasonal wetland if left unmown. This may be sufficient to manage the drainage issue without installation of the new catch basin.

The rim elevations of two existing catch basins should be adjusted.

*Refer to figure 9 – Conceptual Grading Plan (fold out plan at end of section)*

## **SITE CIRCULATION and PARKING**

*Refer to figure 8 – John Fry Park Master Plan (foldout plan))*

### **Roadways**

When the Transportation Department develops the transit site, access to John Fry Park from 28 Avenue will be removed. A new road is proposed to link the north side of the park with the central parking lot and ultimately to the future recreation centre site. This road is proposed as an 8m width paved road.

## **Parking**

The three existing parking lots will be upgraded and one additional parking lot will be added to the site as follows:

### Parking Lot 1 – Existing gravel lot with access from 31 Ave

Proposed upgrades include:

- Expansion to the north
- Fine grading for positive drainage
- Asphalt pavement
- Line painting and concrete curbs

### Parking Lot 2 – New parking lot to be developed adjacent to the new amenity building

Proposed development includes:

- Construction of an asphalt paved parking lot
- Line painting and concrete curbs

### Parking Lot 3 – Existing paved parking lot with current access from 28 Avenue

Proposed upgrades include:

- Repaint lines for improved parking efficiency
- Add concrete curbs

### Parking Lot 4 - Existing Rugby Parking

Proposed upgrades include:

- Fine grading for positive drainage
- Asphalt pavement
- Concrete curbs

### Overflow Parking Area 1 – Proposed overflow parking near 31 Ave

Proposed development includes:

- Fine grading for positive drainage
- Reinforcement to prevent over compaction
- Topsoil and seeding

### Overflow Parking Area 2 – Proposed overflow parking on pipeline ROW

Proposed development includes:

- Fine grading for positive drainage
- Reinforcement to prevent over compaction
- Topsoil and seeding

## **Multi-use Trails**

A 3m width asphalt trail is proposed to link all areas of the site to serve pedestrians, cyclists, wheelchairs, skateboards, and in-line skaters. Current concrete walks at the west side of the site would remain in place until the end of their life span and then would be replaced with 3m asphalt. Crossing agreements will be required from Altalink and all pipeline companies for trail construction.

## **SPORT FIELDS**

*Refer to figure 8 – John Fry Park Master Plan*

### **Ball Diamonds**

The proposed redevelopment of ball diamonds on site remains consistent with the layout developed during the concept plan. Four of the existing five diamonds will remain in place, one diamond will be removed for the amenity building, and two new softball diamonds will be constructed. Following is a summary of proposed upgrades to or new development of the six diamonds.

#### Diamond E1 – Existing Baseball Diamond #1 (Bob White Diamond)

##### Proposed City Funded Upgrades

- Upgrades planned for future tournaments
- Batter's Eye
- Berming for seating along third base

##### Possible User Funded Upgrades

- Batting Cages (relocation of existing by user group)
- Bull Pens

#### Diamond E2 – Existing Diamond #2

##### Proposed City Funded Upgrades

- Drainage Improvements including topdressing of low areas and crowning of shale
- Drainage improvement around dugout
- Update existing irrigation system, as required
- New Surface Dugouts

#### Diamond P3 – Existing diamond 3 to be replaced with proposed new diamond P3 to be developed to same standard as existing diamond #3 (City-Funded)

- 275ft diamond with shale infield
- Irrigation
- Lighting (relocate existing fixtures)
- Bleachers (relocate existing)
- Scoreboard (relocate existing)
- Warning track
- Fencing
- New Surface Dugouts

#### Diamond E4 – Existing Diamond #4

##### Proposed City Funded Upgrades

- New Surface Dugouts

##### Possible User Funded Upgrades

- Removable outfield fencing

#### Diamond E5 – Existing Diamond #5

##### Proposed City Funded Upgrades

- Addition of netting to protect adjacent property from fly balls
- New Surface Dugouts

##### Possible User Funded Upgrades

- Removable outfield fencing

### Diamond P6 – Proposed new diamond

#### Proposed City Funded Upgrades

- 275ft.diamond with shale infield
- Irrigation
- Warning track
- Dugouts (surface type)
- Lighting
- Bleachers
- Fencing
- Scoreboard

#### Possible User Funded Upgrades

- Temporary pitching mound

### **Rugby Fields**

The Leprechaun Tigers Rugby club is working towards a Home Base Agreement with the City and will undertake many of the proposed upgrades themselves.

#### Possible Shared Funded Upgrades

- Fine grading and addition or replacement of topsoil and seeding – including minor relocation of fields/posts and expansion of area for practice
- Irrigation

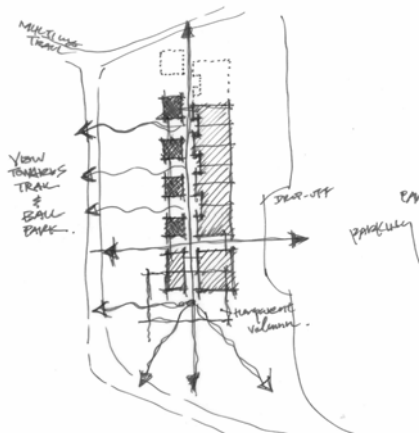
#### Possible User-Funded Upgrades

- Sodding fields instead of seeding
- Clubhouse expansion
- Storage shed
- Upgrade posts

## **AMENITY BUILDING**

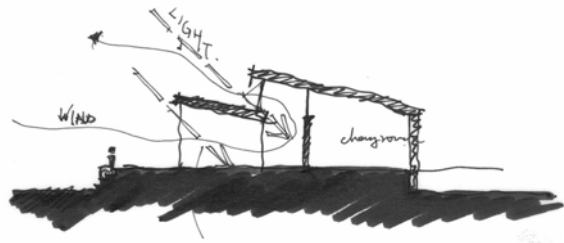
*Refer to figure 8 – Master Plan for building location and to figure 10 - Floor Plan (page 20)*

A central amenity building is proposed to serve a variety of functions. It will provide public washrooms and is proposed to accommodate several expressed needs from site stakeholders. All stakeholder groups, with the exception of the Leprechaun Tigers Rugby Club, have expressed an interest in partnering with the City for development of the building and all would like to have the ability to book meeting space, change rooms, officials' rooms, and all want private storage space.



The design intent is a community friendly and flexible structure. Community space is located along the sunny south side of the building and is designed with a common meeting area and concession seating which can be combined for larger events. The space has views to the south and to the Bob White diamond to the west; sliding doors allow the space to open to the outdoors. The concession service area is adjacent to the open area with customer access from the inside and the outside.

Public washrooms are provided at the south side of the building with access from the common area. The structure would be designed for a LEEDs silver rating as per the City of Edmonton's Ecovision and would include a high standard for day lighting and natural ventilation. A custom designed building with a striking form and attractive materials is proposed in keeping with the function of the park as a host site for major events.



Six team change rooms share three sets of showers and washrooms. Three storage bays are shown along the west wall with interior access from a hallway separating them from the change rooms. They also have exterior garage door access. Two small team meeting areas are shown on this plan; they could be converted to additional storage bays if demand warranted. Patio space is planned along the south and west sides of the building and an open area grassed to the south could accommodate tents for large events.

These photos illustrate the proposed form and material design palette.





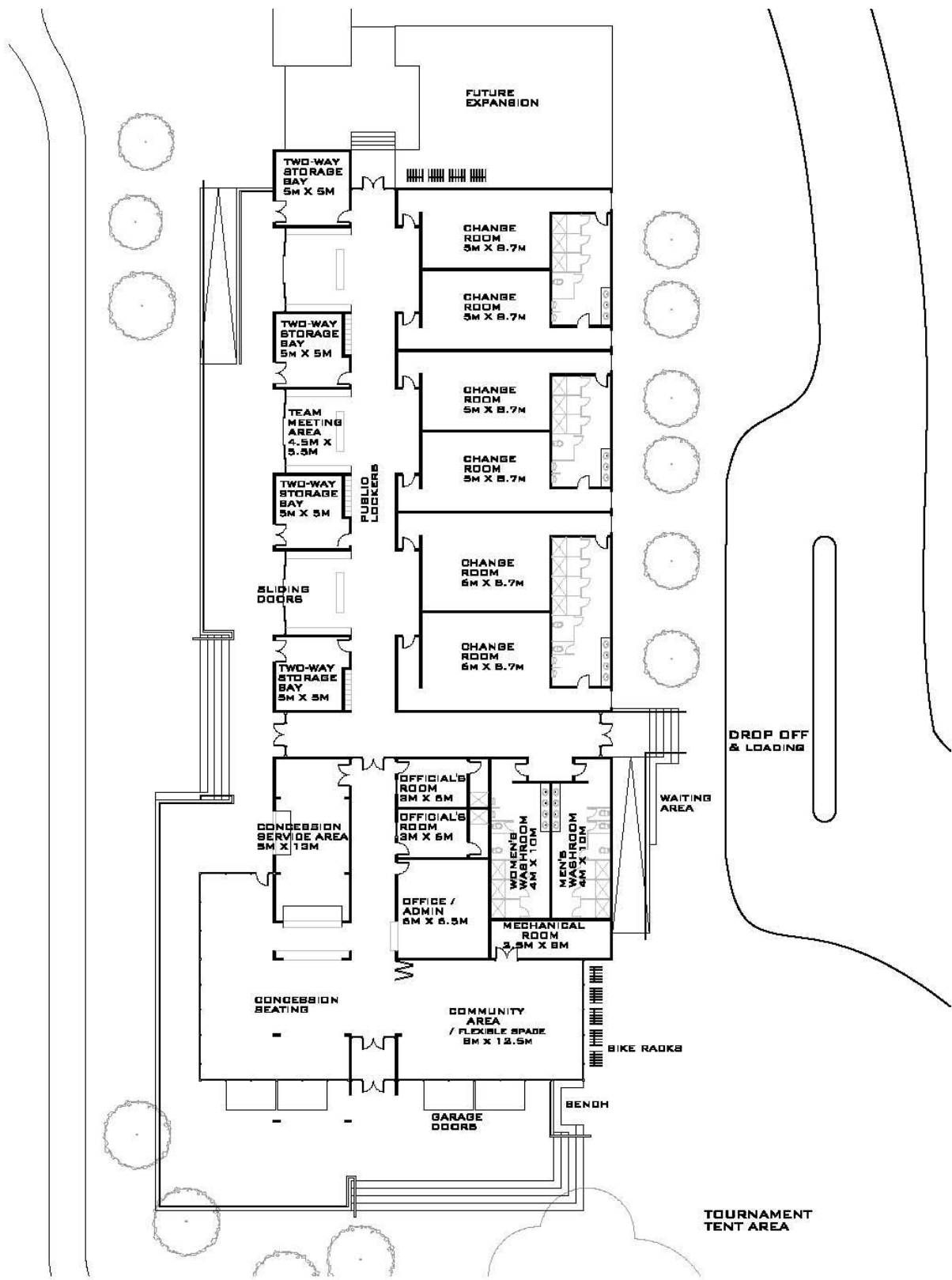


Figure 10 – Amenity Building Floor Plan

A summary of specific building components is listed below:

Proposed City Funded Development

- One set of Washrooms (oversized for capacity)
- Staff Maintenance Room
- Lobby/Common Area
- Patio/BBQ Space

Possible User Funded (Sports Groups) Development

- Change Rooms
- First Aid Room
- Concession Space
- 2 Officials Rooms
- Storage bays of approx. 6m x 6m w/ partitions
- Offices for Community Groups
- Meeting Rooms

Possible User Funded (Operations) Development

- Office Space for 1-2 people
- Equipment Storage (Large Garage space currently 28', need 40')
- Lunch Room / Meeting Room
- Security Lighting (Building and Parking)
- Washrooms (separate if needed by OH&S code)

## **SERVICE BUILDINGS**

Parks operations require a garage for storage of lawn cutting equipment and other maintenance items such as hoses. A 12m by 10m garage has been included in the plan, accessed from the road which links the amenity building with the future recreation facility site.

## **GENERAL SITE IMPROVEMENTS**

The prime function of John Fry Park is the provision of sport fields; however, it also provides passive park space for the sport field users and for area businesses. As such, it should be further developed as an attractive and functional park space. Some basic site improvements will help with the overall functionality at the park such as addressing drainage issues and controlling unauthorized vehicular traffic. Provision of a comprehensive trail system for circulation through the site will encourage walking and cycling between site venues.

The current level of landscaping at the site is below the City standard for parks; additional tree and shrub planting will help delineate different use areas and improve aesthetics. The detailed planting design should include these sustainable design elements:

- stormwater management – the low slope swales and the low area north of the rugby fields should be planted with native, flood tolerant species to slow the rate of run-off and absorb water
- shading – large deciduous shade trees should be planted in islands and along the edges the paved parking lots (particularly the south side) wherever possible to shade the asphalt. They will all intercept rainfall and decrease the amount of run-off from the

parking lot. Deciduous shade trees planted on the south side of the building will also provide some cooling value in the summer but will allow the south sun to shine through in the winter. Heavy planting including evergreen trees on the northwest side of the building will provide some shelter from the cooling northwest winds.

Planting should also be strategically used to help control unauthorized traffic. Planting beds along roads and parking lots will deter most drivers from leaving the designated driving areas and are a much softer approach than the use of extensive bollards or concrete curbs.

Following is a summary of the specific site improvements proposed for the site:

#### Proposed City Funded Development

- Site grading to improve drainage
- Safety measures to protect power fixtures (i.e. guy wires)
- Perimeter Fencing
- Trail construction
- Increased landscaping to base level (70 trees per plantable ha)
- Signage
- Adventure Play Area (hills)
- Site Furniture – Benches, waste receptacles, bike racks,
- Site Lighting
- Flexible open grassed areas (for baseball/softball warm-up or for events)

#### Possible User Funded Upgrades

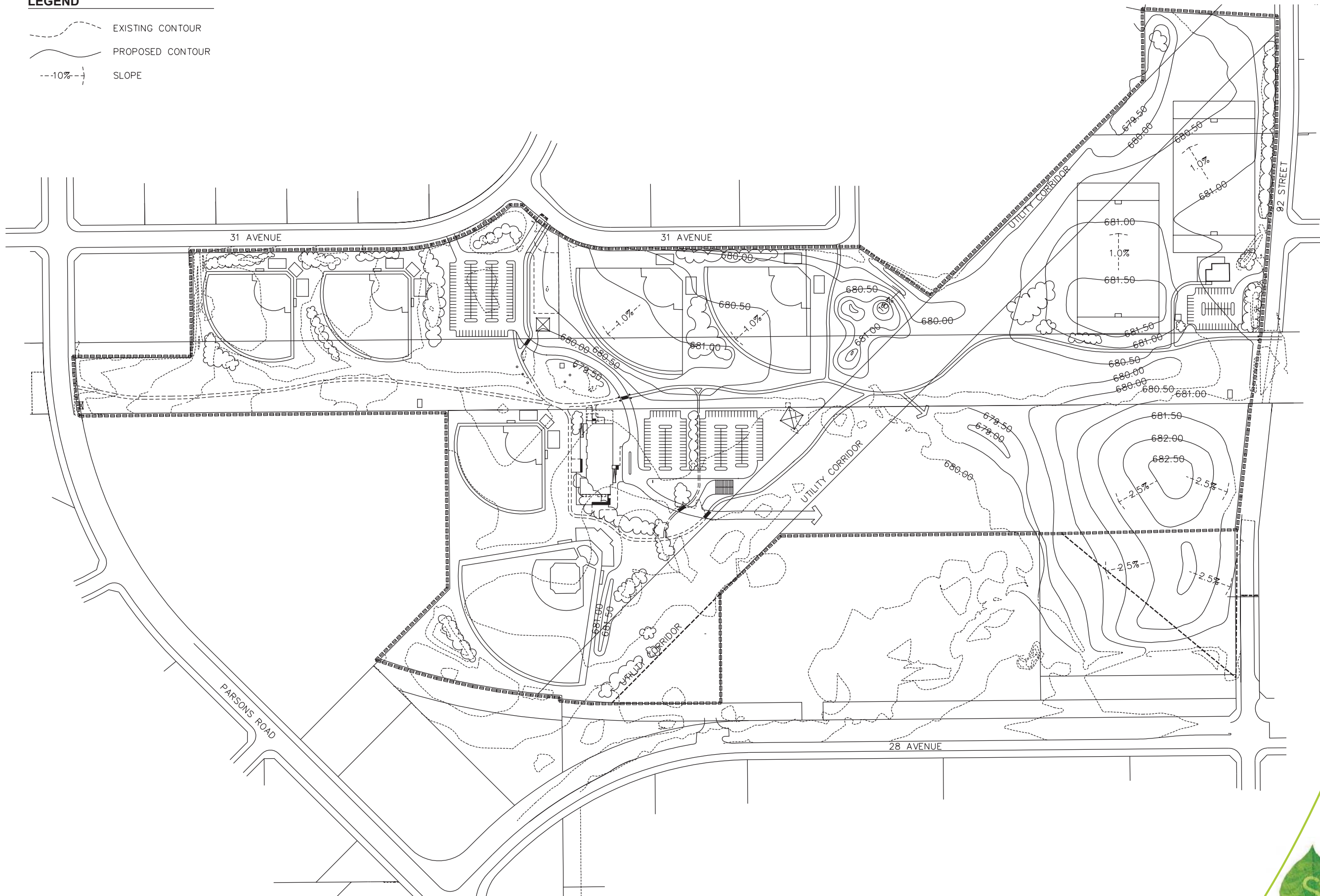
- Power/phone/media outlets
- Power metering





LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SLOPE



SCALE: NTS



FIGURE 9

# IMPLEMENTATION STRATEGY

## ROLES and RESPONSIBILITIES

Full development of John Fry Park will require a partnership between the City of Edmonton and the sport groups who use the site. The City will be responsible for all components that serve the general public, the sport groups will be responsible for components which are specifically related to their own needs. Some components will serve both the public and the user groups and costs for these will be shared. Costs relating to operations and maintenance of the park will be City costs.

## BUDGETS

The budget estimate for completion of the John Fry Park upgrading program is \$9,770,600 in 2007 dollars with a proposed timeline for completion of 5 years. A summary of the estimate showing all components of the park development is included in Appendix 4; the breakdown of costs associated with each phase of development is included in the Implementation strategy following.

Some assumptions have been made in the preparation of the budget estimate as follows:

- Work of a similar nature will be completed together (i.e. asphalt trails). If it is divided into smaller contracts, an additional amount should be added
- Contractors and consultants will complete all work – if work is done by City staff or construction crews or by sport groups, there could be some cost savings

## FUNDING

It is important to continue a close working relationship between the City and the sport groups who use the site. Sport groups have access to many grants that are not available to the City and they can leverage funds, including City money, to increase the total amount available. Some grants will consider the value of volunteer contributions for matching grants.

Many budget items identified in this study would fall under base level development which would typically be the responsibility of the City to complete, but by working with the groups, money that is allocated through the City's budget process can potentially be leveraged to allow improvements to be completed sooner.

There are many grant programs that are available for sport and recreation site development, for operations, and for hosting sporting events. Although the grants directed towards operating expenses or event hosting will not contribute directly to the capital improvements for the park site, they may be used towards space rental in the amenity building, which can help support the building program to ensure that a suitable structure is provided at the site. Provincial and municipal grant programs are briefly described in this section; program guidelines and application forms are included in Appendix 5 – Potential Grant Programs.

**The Community Facility Enhancement Program (CFEP)** is a provincial grant program funded by the Alberta Lottery Fund through Tourism, Parks, Recreation and Culture. It



provides financial assistance to build, repair, renovate or otherwise improve Alberta's extensive network of community-use facilities. Eligible applicants include community non-profit groups or municipalities. Applications can be made any time throughout the year.

**The Community Initiatives Program (CIP)** is a provincial grant program funded by the Alberta Lottery Fund through Tourism, Parks, Recreation and Culture. It supports project-based initiatives in areas such as community services, seniors services, libraries, arts and culture, sports, education, health and recreation. The maximum grant is \$75,000 per project per year. CIP funding is approved on a matching grant basis. The matching requirement may be met in the form of any contribution of money, volunteer labour, services, or donated materials or equipment for the project. If a group can demonstrate significant difficulty in raising matching funds, up to \$10,000 will be considered on a non-matching basis. Eligible applicants include community non-profit groups or municipalities. Applications can be made any time throughout the year.

**The Major Community Facilities Program (MCFP)** is a provincial grant program funded by the Alberta Lottery Fund through Tourism, Parks, Recreation and Culture. It will assist communities to plan, upgrade and develop large community-use facilities and places in order to enhance community life and citizen well-being. Eligible applicants include community non-profit groups or municipalities. Applications can be made any time throughout the year.

**The Development Initiatives Program** is a grant program coordinated by the Alberta Sport, Recreation, Parks, and Wildlife Foundation with current sponsorship from Transcanada Pipelines and Nova Chemicals. The purpose of the Development Initiatives Program is to provide support to Albertans working in the areas of sport, recreation, parks and wildlife for project and program related endeavors. Eligible applicants include community non-profit groups or municipalities. Application deadlines are January 1, May 1 and October 1 each year.

**The City of Edmonton Community Investment Operating Grant program** is a municipal grant program that provides operating assistance to Edmonton's non-profit organizations whose activities result in benefits to the citizens of Edmonton. Organizations are eligible for this grant if their programs and services have a primary mandate to deliver in the social, multicultural or recreation/amateur sport not-for-profit sector, they are based in Edmonton, and they primarily serve Edmontonians.

**The Hosting Program** is a grant program coordinated by the Alberta Sport, Recreation, Parks, and Wildlife Foundation. The purpose of the Hosting Program is to encourage the development of sport, recreation, parks and wildlife programs by providing financial support to communities and associations to assist them in hosting major events thereby promoting economic growth throughout the province. Applications will be accepted for a variety of sporting events from Western Canadian Championships to world events, with grants ranging from \$3,000 to \$20,000.

## IMPLEMENTATION PHASING

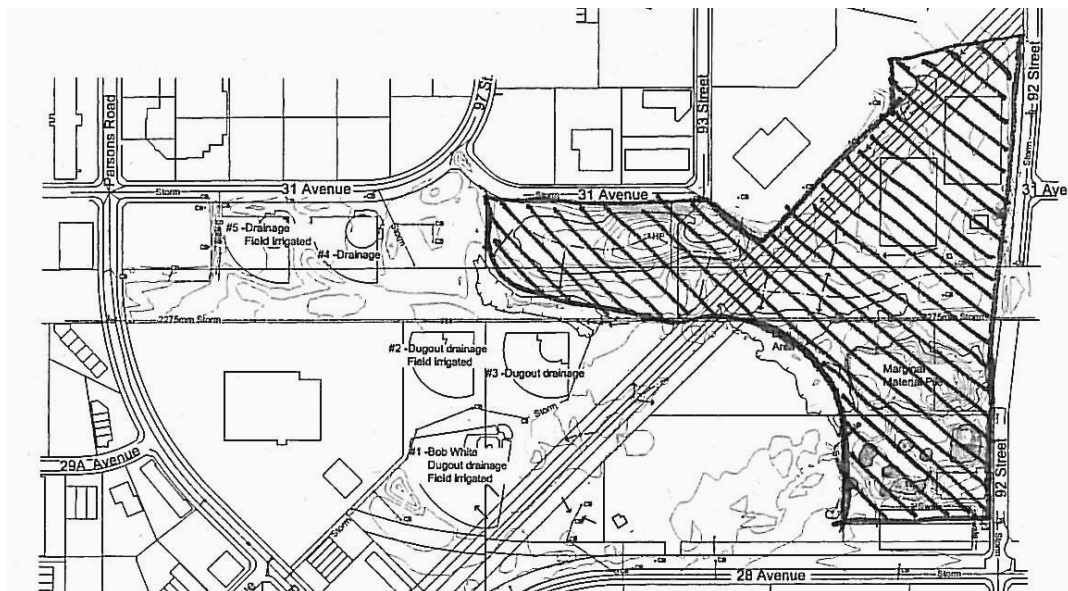
Implementation of all park improvements must be spread out over several years and must be completed sequentially as several components are reliant on the completion of other components. A five year implementation schedule is proposed; this schedule could be shortened or lengthened, depending on funding sources.

### PHASE 1 – 2008 and 2009

The primary focus of the first phase will be to complete the rough grading and work associated with the grading. A new catch basin and storm line would be installed southwest of the rugby fields and the rugby fields would be relocated and raised with new topsoil. Diamonds P3 and P6 would be fine graded, topsoiled, and seeded. The chart below shows the budget estimate for phase one with the breakdown between City funding and group funding. The plan sketch shows the park area to be affected.

Work	Estimate	Group Funded	City Funded
<b>PHASE ONE - 2008-2009</b>			
Phase One Detailed Design*	\$ 166,395.00	\$ 13,500.00	\$ 152,895.00
Miscellaneous Demolition	\$ 10,000.00		\$ 10,000.00
Topsoil Stripping	\$ 66,500.00		\$ 66,500.00
Rough Grading	\$ 456,000.00		\$ 456,000.00
Haul Away Excess Material	\$ 91,000.00		\$ 91,000.00
Storm Sewer and Catch Basin	\$ 50,000.00		\$ 50,000.00
Rugby Fields Base Level	\$ 110,800.00		\$ 110,800.00
Rugby Fields Upgrade to Sod	\$ 90,000.00	\$ 90,000.00	\$ -
Diamond P3 - Topsoil and Seed	\$ 35,000.00		\$ 35,000.00
Diamond P6 - Topsoil and Seed	\$ 35,000.00		\$ 35,000.00
<b>Phase One Construction</b>	<b>\$ 944,300.00</b>	<b>\$ 90,000.00</b>	<b>\$ 854,300.00</b>
Contingency @ 30%	\$ 283,290.00	\$ 27,000.00	\$ 256,290.00
<b>PHASE ONE BUDGET</b>	<b>\$ 1,393,985.00</b>	<b>\$ 130,500.00</b>	<b>\$ 1,263,485.00</b>

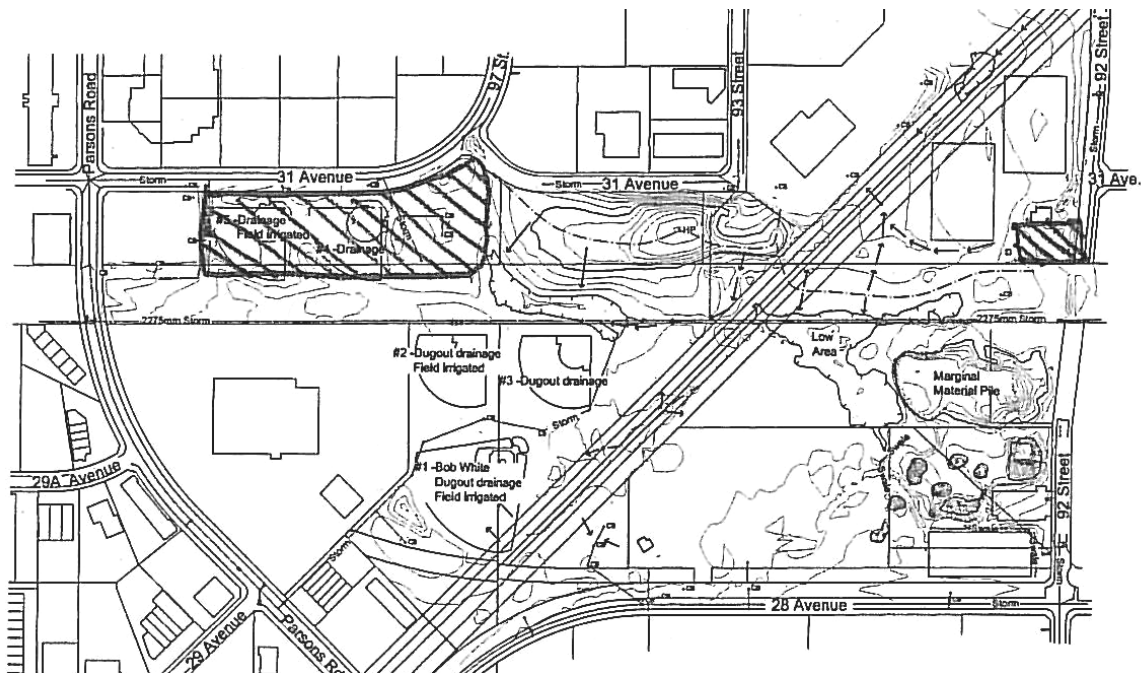
\* includes complete detailed design for diamonds P3 and P6



## PHASE TWO - 2010

Until the grass has matured on the new diamonds, major components of the work cannot be completed, so work would focus on some parking improvements and the minor improvements on diamonds 4 and 5. These would include improvements to parking lot 1, construction of overflow parking area 1, construction of parking lot 4; fencing and dugouts for the diamonds. The chart below shows the budget estimate for phase two with the breakdown between City funding and group funding. The plan sketch shows the park area to be affected.

Work	Estimate	Group Funded	City Funded
<b>PHASE TWO - 2010</b>			
Phase Two Detailed Design	\$ 51,135.00	\$ 10,440.00	\$ 40,695.00
Parking Lot 1 Improvements	\$ 10,500.00		\$ 10,500.00
Parking Lot 1 Paving	\$ 174,800.00		\$ 174,800.00
Overflow Parking 1	\$ 15,000.00		\$ 15,000.00
Parking Lot 4 - Gravel	\$ 63,000.00		\$ 63,000.00
Parking Lot 4 Paving	\$ 61,200.00	\$ 61,200.00	\$ -
Diamond E4	\$ 7,200.00	\$ 4,200.00	\$ 3,000.00
Diamond E5	\$ 9,200.00	\$ 4,200.00	\$ 5,000.00
<b>Phase Two Construction</b>	<b>\$ 340,900.00</b>	<b>\$ 69,600.00</b>	<b>\$ 271,300.00</b>
<i>Contingency @ 30%</i>	<i>\$ 102,270.00</i>	<i>\$ 20,880.00</i>	<i>\$ 81,390.00</i>
<b>PHASE TWO BUDGET</b>	<b>\$ 494,305.00</b>	<b>\$ 100,920.00</b>	<b>\$ 393,385.00</b>

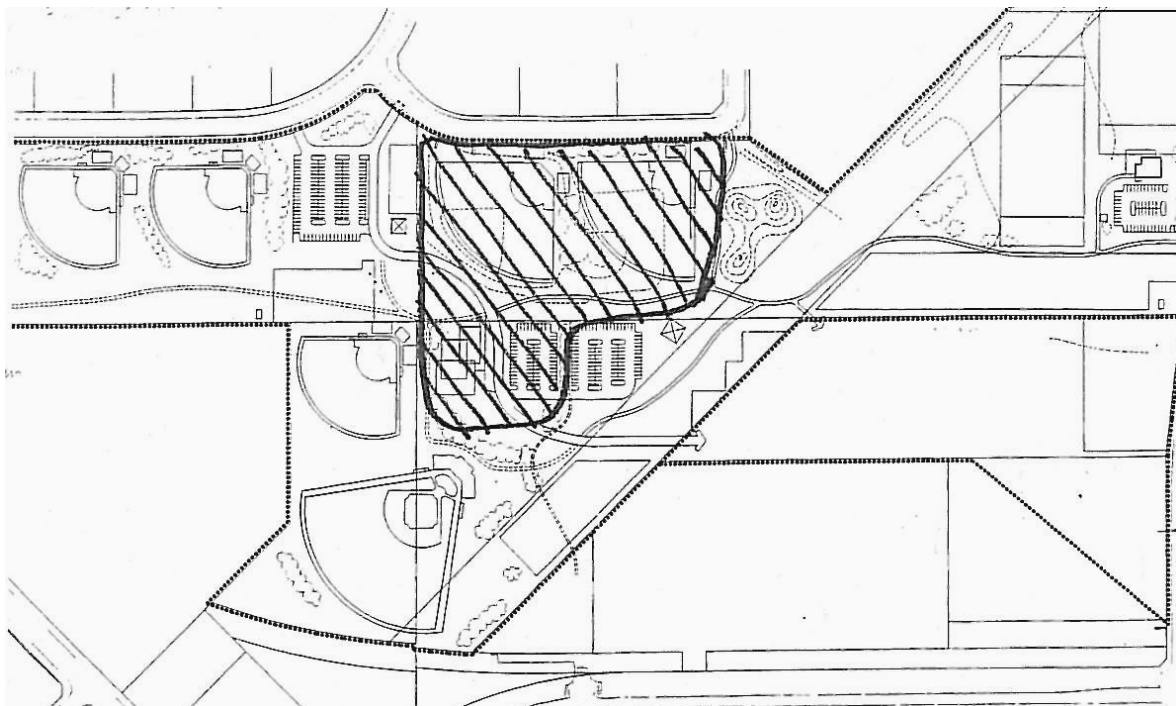


### PHASE THREE - 2011

Assuming that the grass on the new diamonds has matured sufficiently, diamond E3 will be decommissioned and diamonds P3 and P6 will be completed. The work should be sequenced so that the new diamonds are complete prior to decommissioning of diamond E3 and the decommissioning should not be scheduled until late in the season (i.e. August). Once diamond E3 is removed, work on the new road and construction of parking lot 2 can commence. The chart below shows the budget estimate for phase three with the breakdown between City funding and group funding. The plan sketch shows the park area to be affected.

Work	Estimate	Group Funded	City Funded
<b>PHASE THREE - 2011</b>			
Phase Three and Four Detailed Design**	\$ 577,380.00	\$ 213,000.00	\$ 364,380.00
Remove Diamond E3	\$ 5,000.00		\$ 5,000.00
Complete Diamond P3	\$ 80,000.00		\$ 80,000.00
Complete Diamond P6	\$ 85,000.00		\$ 85,000.00
Parking Lot 2 - Gravel	\$ 59,500.00		\$ 59,500.00
Parking Lot 2 - Paving	\$ 59,700.00		\$ 59,700.00
Parking Lot 3 - Existing Lot Improvements	\$ 10,000.00		\$ 10,000.00
Road Removal	\$ 20,000.00	\$ 20,000.00	\$ -
New Road	\$ 245,000.00		\$ 245,000.00
<b>Phase Three Construction</b>	<b>\$ 564,200.00</b>	\$ 20,000.00	\$ 544,200.00
Contingency @ 30%	\$ 169,260.00	\$ 6,000.00	\$ 163,260.00
<b>PHASE THREE BUDGET</b>	<b>\$ 1,310,840.00</b>	<b>\$ 239,000.00</b>	<b>\$ 1,071,840.00</b>

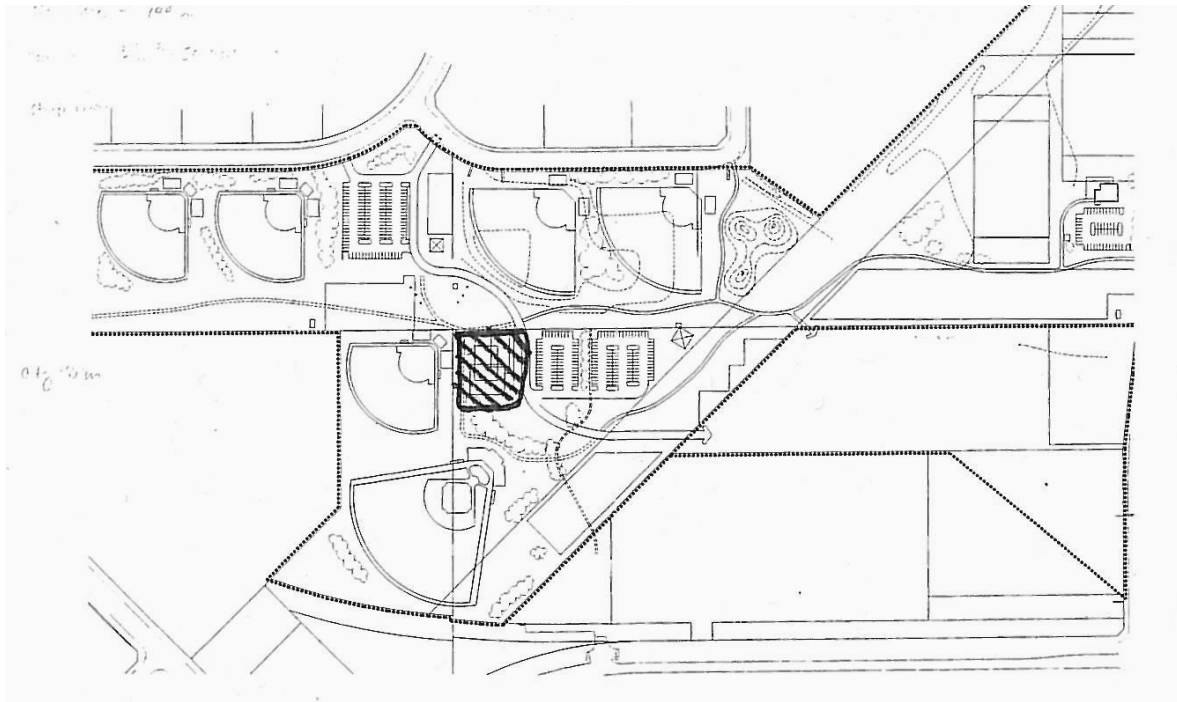
\*\* includes detailed design for Amenity Building



## PHASE FOUR – 2012

This phase is dedicated to construction of the amenity building. The chart below shows the budget estimate for phase four with the breakdown between City funding and group funding. The plan sketch shows the park area to be affected.

Work	Estimate	Group Funded	City Funded
<b>PHASE FOUR - 2012</b>			
Detailed Design for Phase Five	\$ 215,850.00	\$ 750.00	\$ 215,100.00
Amenity Building Base Level	\$ 1,925,000.00		\$ 1,925,000.00
Amenity Building Upscale	\$ 1,400,000.00	\$ 1,400,000.00	\$ -
Patio	\$ 25,000.00	\$ 25,000.00	
Maintenance Building	\$ 100,000.00	\$ 100,000.00	
<b>Phase Four Construction</b>	<b>\$ 3,450,000.00</b>	<b>\$ 1,525,000.00</b>	<b>\$ 1,925,000.00</b>
<i>Contingency @ 30%</i>	<i>\$ 1,035,000.00</i>	<i>\$ 457,500.00</i>	<i>\$ 577,500.00</i>
<b>PHASE FOUR BUDGET</b>	<b>\$ 4,700,850.00</b>	<b>\$ 1,983,250.00</b>	<b>\$ 2,717,600.00</b>



## PHASE FIVE - 2013

Phase five would complete the park. All trail construction, general landscaping, signage, site lighting, the play area and patio at the amenity building would be scheduled. The chart below shows the budget estimate for phase five with the breakdown between City funding and group funding. These items are located throughout the entire park site, so a plan sketch has not been provided.

Work	Estimate	Group Funded	City Funded
<b>PHASE FIVE - 2013</b>			
Overflow Parking 2	\$ 60,000.00		\$ 60,000.00
3.0m width new Asphalt Trail	\$ 243,000.00		\$ 243,000.00
Replace Existing Walks	\$ 261,000.00		\$ 261,000.00
Allowance for gates, barriers, fencing	\$ 35,000.00		\$ 35,000.00
Diamond E2	\$ 10,000.00		\$ 10,000.00
Diamond E1	\$ 5,000.00	\$ 5,000.00	\$ -
Fine grading, topsoil and seeding	\$ 180,000.00		\$ 180,000.00
Trees and Shrubs	\$ 400,000.00		\$ 400,000.00
Storm sewer and CB (if required)	\$ 50,000.00		\$ 50,000.00
Site lighting	\$ 25,000.00		\$ 25,000.00
Adventure Play Area	\$ 75,000.00		\$ 75,000.00
Site Furniture	\$ 30,000.00		\$ 30,000.00
New Entry Sign	\$ 35,000.00		\$ 35,000.00
Wayfinding Signs	\$ 30,000.00		\$ 30,000.00
<b>Phase Five Construction</b>	<b>\$ 1,439,000.00</b>	\$ 5,000.00	\$ 1,434,000.00
<i>Contingency @ 30%</i>	<i>\$ 431,700.00</i>	<i>\$ 1,500.00</i>	<i>\$ 430,200.00</i>
<b>PHASE FIVE BUDGET</b>	<b>\$ 1,870,700.00</b>	<b>\$ 6,500.00</b>	<b>\$ 1,864,200.00</b>



## **SUMMARY**

John Fry Park has been and will continue to be the venue for some major regional and national sports events. As such, it is important that the park site generates positive impressions for visitors to Edmonton. The quality of the sport fields is very important, but the functionality of the site and the aesthetics are equally important. Some of the key elements which will make John Fry Park a gem in Edmonton's park system are:

- A landmark amenity building which is shared between the various sport groups and the public will foster pride and a feeling of ownership in the park.
- Clear demarcation of different uses in the park and clear circulation routes will contribute towards stress free visits to the site and minimize congestion during major events. Subtle and attractive controls that prevent unauthorized vehicular traffic through the site will control damage to landscaped areas and eliminate the feeling of "abandonment" in the park.
- Attractive landscaping will provide shade on hot days, and can mitigate wind. It will encourage longer visits to the park and will draw visitors to the park for passive recreation.
- A functional trail system will encourage walking and cycling through the park instead of driving.

A five year time frame has been suggested for completion of the park upgrading, this schedule is flexible and could be tightened with additional funding from the City and / or the sport groups.

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## **1 STAKEHOLDER CONSULTATION**

2006 Needs Assessments  
Stakeholder Meeting Notes  
Stakeholder Feedback Results Chart



# **John Fry Sports Park**

## Master Plan

Profile gathering and Needs Assessments

Asset Management  
Parks Planning & Design

Community Services Department  
Access to Recreation & Sport  
and  
Social & Recreation Services Branch  
South Service Area

May 2, 2006

# JOHN FRY SPORTS SITE MASTER PLAN

## CAPITAL CITY SOFTBALL ASSOCIATION

(i) April 3, 2006

### i) Background

This group consists of Edmontonians who are interested in promoting the sport of softball for all ages. We host provincial and national championships for minors & adults both male and female. In the past we have hosted the 1992 Juniors Womens Canadian Championship, 1994 Senior Womens Canadian Championship, 1999 Senior Women's Canadian Championship & 2002 Junior Womens Canadian Championship. In 2007 we will be hosting the Midget Girls Canadian Championship. We have also hosted several provincial championships and a Western Canadian Championship.

Most of the time that we use the site is on weekends or towards the end of the softball season when most of the league play has been completed. If there were more diamonds on the site I could foresee us hosting larger provincial championships

Contact information;

Linda Edey, Chairman

lmedey@shaw.ca

Capital City Softball Association

3421 – 37 St.

Edmonton, AB T6L 4Y8

**\* Please advise group of future opportunities to participate in this planning process and send out stakeholder information.**

### ii) Current likes of the Site

- Diamonds themselves are excellent.
- Diamonds 3 & 4 are small but are usually used as warm up diamonds so are OK
- Very green grass, beautiful flowers and huge trees make the facility very attractive.

### iii) Site Factors/Considerations

1. Washrooms are getting very old
2. No concession
3. Would like a facility to be built that would include washrooms, dressing rooms (with showers), office space.
4. Drainage continues to be a problem – when it rains, we know diamond #2 is out for atleast one day.
5. More picnic tables available during an event.

### iv) Needs Assessment

1. Do you see this site working for you in the future? Why? Why not? Yes & No.
  - There must be improvements to the site.
  - The washrooms are getting very old and were only put in as a temporary measure 30 years ago.
  - There is no concession.
  - If a facility was built that would include washrooms, dressing rooms (with showers), concession and some type of office space this facility would be as good as any in the country.
2. What are your current spatial requirements?
  - When we host an event we require a minimum of four diamonds for the duration of the event.
  - If the weather does not cooperate with us then we may require more diamond space to make up the games. The largest week long event that we can host with this number of diamonds is 16. When Edmonton hosted the World Master Games in 2005 we used more diamonds in Leduc for fastpitch that we did in Edmonton.
3. Do you have any spatial requirements to a facility?  
(i.e. access to washroom, storage space, etc...)
  - When hosting a provincial or Canadian Championship we require washrooms,
  - dressing rooms (with showers),
  - office space, storage space,
  - media area,
  - indoor facility for year round training,
  - concession and "Beer Garden".
  - The present diamonds are not adequate to host an elite men's Canadian or Provincial championship.
  - The fence distances are too short.
4. Are you looking at any infrastructural needs, wants, desires due to future expansion? (e.g. parking, lighting, site furniture, etc...)
  - If additional diamonds were built on the site
    - i. additional parking,
    - ii. lighting,
    - iii. press boxes,
    - iv. picnic tables,
    - v. seating and
    - vi. dugouts would be required.
  - The lack of phone lines has always been an issue.
5. Are you planning any major events requiring larger field, space or administration space use? If so, please provide in detail, including proposed dates.
  - The first week of August in 2007 we will be hosting the Midget Girls Canadian Championship.
  - The two lighted diamonds are of adequate size for this championship.
  - The washrooms and dressing rooms are the "sore point" of the facility. We receive many compliments about how lovely the fields and green space areas look but then they always have to throw in the washrooms.
  - We would also require office space for administrative, statistics, medical & media.
  - Dressing rooms are required for the officials. Currently we would use three of the existing dressing rooms for the officials.
  - For all the other championships that we have hosted we have brought in three 20 by 8 foot trailers and parked them behind the baseball diamond. This is the only location where we can get adequate power and phone hook ups.
6. Are there any concerns or issues that you would like to express about the potential developments/redevelopment on the John Fry Park site? None stated



# JOHN FRY SPORTS SITE MASTER PLAN

## LEPRECHAUN TIGERS RUGBY CLUB

(ii) April 3, 2006

### i) Background

Many of our rugby club demographics are outlined in our Program Statement that was submitted to the city in 2003. While the number of our registered players can change from one year to the next, we consist of a mixture of the following:

- Social non-playing members which range in age from 18 to 81
- Senior rugby men and women (generally 18 and over)
- Junior rugby men and women (under 19)

Mini rugby girls and boys (wide range of ages)

Contact information;  
Leprechaun Tigers Rugby Club

Current Executive: President - Cam Wilton – [cwilton@shaw.ca](mailto:cwilton@shaw.ca)  
Treasurer - Kris Lavoie  
VP Mens Rugby - Trevor McGeough  
VP Womens Rugby - Jericho Footz  
Club Secretary - Taylor Walters  
Social Convenor – Andrew Harrison  
Junior Development – Craig Husselby  
VP Facilities – Scott Goos

Contact information for the executive is available on our website: [www.ltrugby.ca](http://www.ltrugby.ca)

Our membership did have a development committee at one time, but there has been some attrition over time due to a lack of activity. For the time being, I think you could include Norm and myself as contacts.

### ii) Current likes of the Site

- The John Fry Park site is ideal for the club. It is reasonable distance from the homes of all their members

### iii) Site Factors/Considerations

1. Make improvements to the playing facilities (fields). Due to the extensive use over the years, the fields have become dangerous for contact sports, particularly during the dry summer months. Fill is needed for their fields (\*David to look into this)
2. Drainage is an issue
3. Playground site or some type of play for kids
4. Fence in their area as quads, trucks, unofficial BMX riding over their fields
5. Vandalism is a problem – demonstrated on a regular basis and ranges (destruction of property, smashed windows, burned storage shed, vehicle damage to field turf, break ins, theft and dumping. Especially in the winter months when members are not present at the site on a

regular basis. They understand that the nature of the developments in the surrounding area make constant surveillance difficult. There does seem to be constant vehicle traffic in the off-road areas and signs posted to prevent such occurrences seem to have limited effect.

6. Need a storage facility on site. ½ size of soccer centre (cost – David to look into this)
7. Has 10 year lease but one for the club house and one for the field
8. Wants to be in a home base agreement (there may be one for the top half of their field)

#### **iv) Needs Assessments**

1. Do you see this site working for you in the future? Why? Why not? Yes
  - a. It is close to members homes
  - b. They have club house on this site.
2. What are your current spatial requirements?
  - They have visiting teams with motor homes
  - Require their current field space
  - When they have 4 teams playing, over 100+ players are on site
  - Parking is not an issue at this time as they use 92 Street however, they can see parking becoming an issue. Purpose parking lot to be expanded
  - Difficult to answer in one question, but based on the large size of our membership, our spatial requirements are considerable.
3. Do you have any spatial requirements to a facility?  
(i.e. access to washroom, storage space, etc...)
  - We do have numerous spatial requirements to a facility. Many of which are accommodated by the clubhouse on site.
  - Storage facility
4. Are you looking at any infrastructural needs, wants, desires due to future expansion? (e.g. parking, lighting, site furniture, etc...)
  - We have a number of future plans and infrastructural needs for the site, which are all outlined in the program statement submitted to the city.
5. Are you planning any major events requiring larger field, space or administration space use? If so, please provide in detail, including proposed dates.
  - None at this time.
6. Are there any concerns or issues that you would like to express about the potential developments/redevelopment on the John Fry Park site?

# JOHN FRY SPORTS SITE MASTER PLAN

## SOUTH EDMONTON ELITE BASEBALL ASSOCIATION

(iii) April 3, 2006

### i) Background

Our Baseball Association provides an “elite” baseball program to all South Edmonton Youth (south of the river) for ages 12 to 18 years of age.

Our program should be the same in the next few years but we will use this site more if there is another 90 ft baseball diamond available.

Contact information;

Organization: South Edmonton Elite Baseball Association

Contact: Ron Chorney – President

Contact: Rod Scammell – Head Coach

### ii) Current likes of the Site

- Diamonds themselves are excellent. We use the Bob White field and we like it a lot.

### iii) Site Factors/Considerations

1. Drainage continues to be a problem – when new grading and drainage patterns
2. Field house for indoor practice
3. Another ball field
4. Facility need for - washroom, dressing rooms, equipment storage, facility to have a snack bar, a club house, and a training facility.
5. Want a Home base agreement

### iv) Needs Assessment

1. Do you see this site working for you in the future? Why? Why not?

Yes, very much so, and it gives our association a chance to host a National Finals Tournament in the next 2-3 years for Midget Nationals.

2. What are your current spatial requirements?

- Indoor Storage facility for our equipment
- Batting cage (it is over the transportation right away, they use this when they can not have the diamond)
- Another diamond right where the pile of wood chips are (so they do not have to use St. Albert to play on) Currently they host an international tournament. The size of diamond is 330 ft

3. Do you have any spatial requirements to a facility?  
(I.e. access to washroom, storage space, etc...)

- A washroom,
- dressing rooms,
- equipment storage,
- facility to have a snack bar,
- a club house, and
- a training facility.
- Home base agreement

4. Are you looking at any infrastructural needs, wants, desires due to future expansion? (e.g. parking, lighting, site furniture, etc...)

See Question No.5

- Parking has not been an issue with the 400 folks even when Softball is playing on diamonds.
5. Are you planning any major events requiring larger field, space or administration space use? If so, please provide in detail, including proposed dates.
- We would like to hold a National Tournament and we would like a Club House and possibly a training facility. 400+ folks attend their current competition.
6. Are there any current issues related to your sport, activity on the John Fry Park site?
- None at this time.

# **JOHN FRY SPORTS SITE MASTER PLAN**

## **EDMONTON LADIES SOFTBALL ASSOCIATION**

**(iv) April 3, 2006**

**i) Background**

Contact information;  
Edmonton, AB T6L 4Y8

**ii) Current likes of the Site**

- 
- 

**iii) Site Factors/Considerations**

- 6.
- 7.
- 8.

**iv) Needs Assessment**

# JOHN FRY SPORTS SITE MASTER PLAN

## ALBERTA VOLLEYBALL ASSOCIATION

(v) April 3, 2006

i) **Background**

This group consists of

Contact information;

ii) **Current likes of the Site**

- 
- 

iii) **Site Factors/Considerations**

- 9.
- 10.

iv) **Need Assessment**



# JOHN FRY SPORTS SITE MASTER PLAN

## CITY OF EDMONTON PARKS OPERATION

(vi) April 13, 2006

### i) Background

This group consists of 30 staff on May - October

Contact information; Darrel Malayko (COE staff)

### ii) Current likes of the Site

- Central to the park

### iii) Site Factors/Considerations

11. Mulch storage site can be moved to another location on this park.
12. Currently the garage holds equipment for grass cutting crews.
13. There are 8 dressing rooms, 2 referee rooms and 2 washrooms, 1 office trailer on site. If there was an amenity building, the garage would need to hold equipment for grass cutting, the office would need to be a good size with a separate washroom for office staff vs. public, kitchen space to hold fridge, microwave. Proper first aid room is also needed. Rollie Mills would be an example of a site building.
14. When major events are held, there is not enough parking. Currently parking for these events are in the overflow, grass, streets and they are short about 100+ stalls.
15. If dressing room trailers are removed, there needs to be washroom plans that holds 2 referee rooms and 8 team rooms as sharing occurs at the moment.
16. A community room would need to serve as a computer room, media room, hosting, storage room during competitions.
17. A concession is needed during big events.
18. Every year there is at least one large event held on this site.
19. Parking is a concern
- 20.

### iv) Conclusions

- Keep Parks operation folks in the loop when designing the site.

# **JOHN FRY SPORTS SITE MASTER PLAN**

## **BILLY D'S DRIVING RANGE & GOLF CENTRE INC.**

**(vii) May 1, 2006**

**i) Background**

- Established in 1983 as Anderson's Longest Yard, the first stand alone Driving Range in the Southside of Edmonton.
- Changed ownership in 1985 and became Billy D's Driving Range and Golf Centre
- A 22 year history of serving South Edmonton's Golf Needs
- Billy D's provides both a practice and learning environment for over 10,000 golfers in South Edmonton, and that number is increasing with the expansion of the South Edmonton corridor.
- Billy D's is the location of Metro Community College Continuing Education for Adults Golf program. Between 400-500 new golfers are introduced or brush up on their golfing skills through our golf instruction programs.
- Billy D's is the location of the University Recreational Golf Instruction program which enlists 300-400 golfers.
- Billy D's provides the perfect learning environment for 2 Jr. and 6 Sr. high schools in the Southside area, approximate 400-500 students per year.
- Is initiating in conjunction with Ross Shepard High school which will provided students with a full 5 credit course in golf. Plans are to expand this program to the major High schools in the city and cultivate golf at the grass roots of the school curriculum.
- Long range plans are to structure University golf Scholarship Program at the University of Alberta. Here graduating high school players can receive a university of Alberta. Here graduating high school players can receive a university degree and develop their golfing talents in Edmonton. Certainly a more affordable alternative to may schools in the United States.
- Currently, Billy D's fits the land usage of this parcel with future LRT plans and gas lines which occupy the north end of the parcel. It is also an excellent outdoor recreational facility that promotes the John Fry Park experience.
- They are a contributor to not only providing hundreds of thousand of dollars to city coffers through lease and taxes. It has also provided an exceptional learning center to cultivate new golfers, who in turn use many of the City of Edmonton Public Golf Courses.
- Billy D's has long been a mainstay in South Edmonton as not only a Driving range, but an excellent learning and recreational centre. Billy D's hopes to continue its long standing service to the public and City of Edmonton.
- Billy D's looks forward to working with the City and The CO centre in making John Fry the best outdoor recreational centre in the city.
- Business is growing . Nearest driving ranges are Bogey Busters (122 Street & Ellerslie Road) and Mill Woods Golf Course. Currently in the first year of a 3 year lease.

Contact information;

Billy D's Driving Range & Golf Centre Inc.  
9656 – 28 Ave  
Edmonton, AB  
(780)461 – 4653

Grey Kellogg (Personal)  
1223 Summerside Drive  
Edmonton, AB, T6X 1C5  
kdaygolf@yahoo.ca

## **ii) Current likes of the Site**

- Good customer exposure – especially within the industrial/commercial area.
- This is a quiet area.

## **iii) Site Factors/Considerations**

- Would like to have additional signage to advertise and direct users to the range
- Vandalism. B & E's.
- Broken windows. Nothing of value left on site.
- Operational alarm system.
- No formal night lighting

## **iv) Needs Assessment**

1. Do you see this site working for you in the future? Why? Why not?

Yes. This is a very good location. There is a 22 year history of a driving range on this site. Current ownership has existed for 13 years. There are 52 stalls.

At the time the Transportation Department is ready to build the LTR rail maintenance yard, the lease with Billy D's will be terminated. At this time, this is not expected to occur for 5-7 years.

2. What are your current spatial requirements?

Access off 28<sup>th</sup> avenue. Parking. Directional signage off 28<sup>th</sup> avenue and 91 street would be helpful.

3. Do you have any spatial requirements to a facility? (i.e. access to washroom, storage space, etc...)

Not at this time. However, when the Go Centre is developed on the site to the north, the driving range will need to be re-oriented. Fencing and netting will be required. A berm will likely need to be built at the end of the range, graded and seeded. Scheduling will be an issue. A two year window will be required to sod the range. Financing will be a dependency.

4. Are you looking at any infrastructural needs, wants, desires due to future expansion? (e.g. parking, lighting, site furniture, etc...)

As the park site is developed to the north Billy D's will need to be re-oriented so that it no longer extends out onto Community Services land (parkland). Currently, the lease is with the Transportation Department as 2/3 of the range sits on Transportation land.

5. Are you planning any major events requiring larger field, space or administration space use? If so, please provide in detail, including proposed dates. - No.

6. Are there any concerns or issues that you would like to express about the potential developments/redevelopment on the John Fry Park site?

There will be significant expenses occurred in reconfiguring the driving range when either the Go Centre or the LRT maintenance yard is developed.

# JOHN FRY SPORTS SITE MASTER PLAN

## GO CENTRE ASSOCIATION

(viii) May 1, 2006

### i) Background

See business plan. Once the facility is developed it is expected to be operational 12 months of the year. Are looking forward to being one of the facilities on the John Fry Park Site. Are looking forward to meeting other park stakeholders and sharing information about the proposed Go Community Centre.

Contact information;  
Jane Styles  
Campaign Director  
Go Community Centre  
#300, 10328 – 81 Avenue  
Edmonton, Alberta T6E 1X2  
Phone (780) 439 – 2224  
Fax: (780) 413 – 7226  
e-mail: jane@gocentre.com

### ii) Current likes of the Site

- Good Location

### iii) Site Factors/Considerations

- Grade
- Drainage
- Adjacent owners
- Overall users of the site
- Directional signage, sponsorship signage, building signage

### iv) Needs Assessment

1. Do you see this site working for you in the future? Why? Why not?

Yes. However, a long strip of land is not as practical as a more rectangular shape. The current proposed drawing is about a year old. This is not necessarily the final design as there are a number of issues to be addressed.

2. What are your current spatial requirements?

- Also looking at 3 outdoor basketball courts.
- Considering different gating options.

- Also want to look at access underneath the Trans Alta Link, especially for parking.
- Are open to looking at alternate access points to the facility (i.e. from the north side).

How does the building support the needs of beach volleyball?

- They have a 3 year lease with 2x1year renewals. Beach volleyball is currently on Transportation Department land. Includes 8 courts and seating room

3. Do you have any spatial requirements to a facility? (i.e. access to washroom, storage space, etc...)

No. Will need to look at a variety of gating options to ensure controlled access to washroom, viewing areas, etc...

4. Are you looking at any infrastructural needs, wants, desires due to future expansion? (e.g. parking, lighting, site furniture, etc...) - No.
5. Are you planning any major events requiring larger field, space or administration space use? If so, please provide in detail, including proposed dates.

These will be contained within the building design.

# JOHN FRY SPORTS SITE MASTER PLAN BUSINESS

(ix) April 12, 2006

## i) Background

This group consists of local businesses around the John Fry Park

Contact information;

1. Boncor building Products Co.  
Lyle Letourneau (Manager)  
463 – 1400/984- 7464  
\* Currently employ 5-6 people, will be expanding over the next years, therefore bringing more people to the park.
2. Powertran Company Ltd  
Randy Diamond, General Manager (437 – 6699)  
9604 – 31 Ave  
Edmonton, AB, T6N 1C4
3. Topco Oilsile Products Ltd.  
Bill Klotz (Northern District Manager)  
Teresa Lee (Accounting Manager)  
\* 30 employees

## ii) Needs Assessment

1. What are your current likes of John Fry Park site?
  - Driving Range will be utilized by employees
  - Park atmosphere, lessens the blow of industry around it
  - Grassy areas to sit and eat lunch
  - Driving range and volleyball nets nearby to use
2. What is your current dislikes of the John Fry Park site?
  - Wood chips fermenting across from our shop and obstructing the view
  - No thorough road access to 28<sup>th</sup> ave
  - The number of questionable meetings which take place in the parking lots during daytime and evening hours
  - Not much for the public to use
3. Are there any concerns or issues that you would like to express about the potential developments/redevelopment on the John Fry Park site?
  - To keep the park fee to it, perhaps develop it more for recreational use by neighboring businesses (ie, picnic area for lunch or a walking track)
  - Will there be enough parking on site if this becomes a busy park.

## Meeting Notes


**Stantec**

### John Fry Sports Site Master Plan

John Fry / FILE 1161 32072

Date: December 14, 2006  
 Place/Time: Stantec / 9:30am  
 Next Meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 David Dorward, GO Centre  
 Debbie Cashion-Kalinowski, City of Edmonton  
 Teresa Miller-Grayston, City of Edmonton  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Shelley Kwong, City of Edmonton  
 Elaine Betchinski, City of Edmonton

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**Item:**
**Action:**
**1.0 Introductions**
**2.0 Review of Current GO Centre Model**
**2.1 General**

- GO Centre group is willing to work with John Fry Park design team to maximize on shared site uses

Info

**2.2 Building Review**

- latest design includes a larger building footprint, extending the building into the new triangular piece of land
- their current plan shows the volleyball courts remaining in their current location on Transportation land and additional parking in the Altalink ROW
- indoor court spaces can accommodate either 30 volleyball or 12 basketball (or combination thereof)

Info

Info

Info

- new building footprint is 223,000sq.ft (4.7 acres in size) Info
- they propose a historic display (ie.Edmonton Grads) in building; it would be a joint project w/ City and Provincial Archives Info
- art displays are a possibility (potential for additional 3<sup>rd</sup> party funding) Info

## 2.3 Site Review

- parking volumes to be confirmed David
- concessions are planned for the building Info
- berming (or other alternative) requested to provide separation between GO Centre and Transportation land parcel Penny

## 2.4 GO Centre's proposed timelines Info

- break ground in spring/summer 2008
- begin building construction in 2009

## 3.0 Discussion of current Go Centre model

### 3.1 Feedback from City and Stantec (based on site constraints)

- timelines for Transportation property do not allow for long-term planning of volleyball courts in current location Info
- submittal of plan to Altalink to review land uses on utility ROWs Penny/  
Felix
- City recommends GO Centre to procure LA services for parking and landscaping David

### 3.2 Ted updated David by reviewing master plan process Info

### 3.3 Kevin provided David w/ a copy of the Gantt Chart Info

### 3.4 Cooperation with other groups:

- Leprechaun Tigers – are they planning to sell clubhouse? Neil



#### **4.0 Additional Action Steps**

- |     |   |                |
|-----|---|----------------|
| 4.1 | Proceed w/ letters to stakeholders                      | Penny/<br>Neil |
| 4.2 | Proceed w/ inquiry to Leprechaun Tigers of future plans | Penny/<br>Neil |

The meeting adjourned at 10:30am.  
The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

**STANTEC CONSULTING LTD.**

Neil Kobewka LAT, AALA  
Landscape Architectural Technologist  
[neil.kobewka@stantec.com](mailto:neil.kobewka@stantec.com)



## Meeting Notes


**Stantec**

### John Fry Sports Site Master Plan

John Fry / FILE 1161 32072

Date: February 7, 2007  
 Place/Time: Stantec / 9:00am  
 Next Meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 Darrell Malayko, City of Edmonton  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Shelley Kwong, City of Edmonton  
 Elaine Betchinski, City of Edmonton

Item:	Action:
<b>1.0 General</b>	
<u>Info Gaps / Questions</u>	
▪ Parks to provide copies (digital) of any additional existing stakeholder agreements and needs assessment information.	Kevin
▪ Parks to confirm stakeholders with Home Base agreements. <b>Darrell confirmed that no Home Base or licensing agreements exist.</b>	Info
▪ Parks to provide lease agreement/boundaries and zoning on parcels.	Kevin
▪ Parks to provide copies of program statements <b>if available.</b>	Kevin
▪ Stantec to update list of provided materials. <b>Neil e-mailed list to City.</b>	Info
▪ John Fry Park is a City Level Park. Development should conform to UPMP.	Info
▪ <b>John Fry Park is an official off-leash area.</b>	Info
▪ <b>Parks Operations has no direct involvement with rugby field or east end of John Fry Park site.</b>	Info
▪ <b>On-site Parks Operations staff regularly maintains west</b>	

**side of John Fry Park site (ball diamonds and connecting green spaces). Maintenance includes line painting, watering, cleaning, etc. to Class B standard** Info

- **Currently, total maintenance costs for John Fry Park provided entirely by City of Edmonton. Moneys are added as available (ie. conservation funds). Capital plan funds are not currently used, except for future amenity building.** Info

## **2.0 Physical Site Review**

### **1.1 Grading / Drainage**

- Parks has addressed physical grading concerns along east boundary of building at northwest corner of site, but litigation still in progress. South boundary will still need to be addressed. All
- Centre of site does not drain. Drainage issue exists at end of driving range. Info
- Rugby fields currently drain toward property to the north, this issue to be addressed. Fields were not constructed to a high standard and should be fine graded. Info
- "Dirt bike" area in southeast corner to be included in grading review, although it is Transportation land. Info
- Grading and Drainage to be reviewed in detail with Operations at next meeting. Info
- **Overall site drains from southeast to northwest.** Info
- **Diamond #1 has good drainage (built for either '78 Commonwealth or '83 Universiad Games), but the dug-outs in Diamonds #2 and #3 fill with water. Diamond #2 has the worst drainage problems.** Info

### **1.2 CPTED Review**

**Stantec to review site for CPTED concerns. Attention to be paid to security lighting and baseball dugouts.** Penny

## **2.0 Concept Plan Review**

### **2.1 Amenity Building**

- Ted and Kevin presented a summary of amenity building parameters. Info
- The Rundle Park Family Centre is a similar facility in terms of size and use. Comparable desired level of architecture would be the amenity building at Jackie Parker Park. Size and layout of proposed change rooms would comparable to those at Ted/  
Kevin

**Rollie Miles Park. Ted / Kevin to provided copy of Rollie Miles floor plans to Penny. Darrell related that space in Rollie Miles is not enough. Goldstick Park facility has good space, but serves a park having less amenities (3 ball diamonds; all built by City).**

- Review available space on John Fry Park for amenity building. Info
- **Penny will check w/ architecture group for a probable cost to build amenity building, based on comparisons w/ other City sites (ie. Rundle Park, Jackie Parker, Rollie Miles).** Penny
- **John Fry Park team to bring a proposal for the amenity building to stakeholders meetings.** All
- Level of architectural detail for the amenity building to include a building footprint. Penny to review possibility of providing an illustrative sketch of building. Penny
- **Park Operations currently staffs site with 1-2 people per shift. No staffing increases are planned. Regular City maintenance crews are not stationed on site.** Info
- **Parks Operations indicated need for doubling of current washroom capacity, first aid room, and umpire rooms w/ private washrooms. Require larger garage (more space, higher overhead door).** All

## 2.2 Utilities

- **Detailed list of pipelines on site provided (in draft report). Penny and Felix to call utility companies re proposed uses on R.O.W.s prior to sending any plans.** Volleyball and basketball areas as shown on Concept Plan may need adjusting, depending on feedback from utility companies. Penny/  
Felix

## 2.2 Drainage solutions:

- Berming along north industrial site. Info
- Sustainable drainage.
- Use marginal material from pile at north end of site for filling the low area and berm construction. It is desirable to use as much material on site as possible.
- Penny proposed new berming concept to contain grading within site and to enhance user interaction (ie. picnic sites, play areas). Concept accepted for further review.

## 2.3 Access and Parking

<ul style="list-style-type: none"> <li>▪ Penny reviewed the road access points shown with an in-house transportation designer, who indicated that they should not be a concern.</li> </ul>	Info
<ul style="list-style-type: none"> <li>▪ To the conceptual parking layout, Penny proposed reducing the amount of formalized (paved) parking and using reinforced grass areas with Grassy Pavers or similar product. Parks was in favour of this approach.</li> </ul>	Info
<ul style="list-style-type: none"> <li>▪ Access from 28 Ave into the site not required. A more efficient use of space for a turn around will be reviewed. Existing access from 28 Ave to Billy D's can remain until area turned over to Transportation. Transit will want an emergency access connection through Go Centre land.</li> </ul>	Info
<ul style="list-style-type: none"> <li>▪ <b>Parks Operations said current day-to-day parking is good, but main concern is overflow parking (no controls in place). Bollards would help to control scope of parking areas.</b></li> </ul>	Info
2.4 Go Centre	
<ul style="list-style-type: none"> <li>▪ <b>Digital copy of new Go Centre plan has not been received.</b> Neil to insert scanned copy into site.</li> </ul>	GO
<ul style="list-style-type: none"> <li>▪ <b>Go Centre must fit within space provided including required parking and ultimate sand volleyball courts</b></li> </ul>	Info
2.5 Other	
<ul style="list-style-type: none"> <li>▪ Winter uses of site briefly discussed.</li> </ul>	Info
<ul style="list-style-type: none"> <li>▪ Problems with fly balls hitting building at northwest corner identified as a field booking concern.</li> </ul>	Info
<ul style="list-style-type: none"> <li>▪ Current space for City maintenance and storage area identified as a short-term use for drought tree chipping. Space does not need to be allocated in future plan. <b>Existing bark mulch pile belongs to Forestry, and will be moved to off-site location.</b></li> </ul>	Info
<ul style="list-style-type: none"> <li>▪ Need to confirm any existing irrigation. Discuss with Operations at next meeting. <b>Entire zone that's maintained by on-site Park staff is irrigated (main 3 diamonds w/ connecting green space between; other 2 diamonds w/ green space around perimeter. Kevin to check w/ Paul St. Arnaud to locate copy of irrigation plan. Diamonds #1,4,5 have updated irrigations systems, but Diamonds #2 and 3 on old hydraulic (manual) irrigation system. All systems still operational.</b></li> </ul>	Kevin
<ul style="list-style-type: none"> <li>▪ <b>Parks Operations has 3 classifications for on-site lawn maintenance: no-cut, 10-14 day cut, daily cut. Can be</b></li> </ul>	Info

**visually differentiated either by vegetation shade on air photo or by vegetation color on-site during warm months.**

- |  |         |
|--|---------|
| ▪ City to confirm terms of lease with Billy D's Driving range. To reorient the range to a westerly direction, major fencing upgrades would be required for safety. Billy D's was made aware of this, as stated in the Needs Assessment report, but future plan requires clarification. | Kevin   |
| ▪ Parks has installed fencing along east side of site. Apparently people are still driving around the fence to access the site through Dirt Guy's access.  | Info    |
| ▪ Fire hydrants located in adjacent streets. Penny to check with architects re fire safety requirements for Amenity Building   | Penny   |
| ▪ <b>Parks Operations to email list of desired/required site improvements.</b>   | Darrell |
| ▪ <b>Lighting needs consideration – park vs. parking lot vs. amenity/staffing security lighting.</b>   | Penny   |
| ▪ <b>John Fry Park to have hard surfacing (no shale, gravel, etc.)</b>   | Info    |

### 3.0 Stakeholder Input Review

- |  |       |
|--|-------|
| ▪ Stantec has had contact with all stakeholders. Comments from questionnaire summarized and reviewed. Information placed in simple chart format. <b>Neil provided updated contact information for stakeholder groups to Parks.</b> | Info  |
| ▪ Meeting between Parks, Stantec, and Go Centre held in December. <b>Content and schedule for meetings with other stakeholders to be determined at next meeting.</b> Penny provided draft of stakeholder meeting agenda.           | Penny |

### 4.0 Draft Report

- |  |             |
|--|-------------|
| ▪ Penny provided a draft of the first few sections of the report for review and comment. | Ted / Kevin |
| ▪ <b>Stantec to include budget numbers for field upgrades in report.</b>                 | Penny       |

## **5.0 Schedule Review**

Info

- Penny provided revised schedule charts with one additional week added to the schedule for completion at the end of April.

The meeting adjourned at 10:15am.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

**STANTEC CONSULTING LTD.**

Penny Dunford CSLA  
Senior Associate  
pdunford@stantec.com



## **Agenda**



**Stantec**

### **John Fry Sport Site – Stakeholder Meetings**

#### **Edmonton Ladies Softball Association**

Date: February 21, 2007  
 Place / Time: Stantec / 3:00pm  
 Next meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 Elaine Betchinski, City of Edmonton  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 Al Schwartz, ELSA  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Shelley Kwong, City of Edmonton

<b>Item:</b>	<b>Action:</b>
<b>1.0 Introductions</b>	
<b>2.0 Review of Current Site</b>	
2.1 Parking	Info
<ul style="list-style-type: none"> <li>for normal use, there are no problems w/ parking capacity (two parking lots)</li> <li>gravel parking lot needs curb stops</li> <li>for Nationals, additional parking is used along asphalt path/road (to south) and 31 Avenue (to north); shuttle buses also operate to/from Coast Terrace Inn</li> </ul>	
2.2 Overall Site	Info
<ul style="list-style-type: none"> <li>ELSA agrees w/ COE Operations' analysis of ball diamonds (re: grading and improvements)</li> <li>ELSA requires minimum of four diamonds for regular use (Monday thru Thursday)</li> <li>Diamond #2, especially around 2<sup>nd</sup> base, could use crowning of shale</li> <li>first two diamonds to "rain out" are Diamonds #2 and #5 (#2 is the worst drainage)</li> </ul>	

- Diamond #4 has good drainage
- no game play allowed on fields, by COE Operations, until water (irrigation) turned on

### **3.0 Discussion of Future Plans**

#### **3.1 Midget Nationals**

Info

- 2007 Midget Nationals to be held July 29-Aug.5
- fence requirements @ 210'

#### **3.2 Proposed Agreements**

ELSA/City

- ELSA used to have Home Base agreement @ Clark Field; was relocated, for building of Commonwealth Stadium, to John Fry
- Further discussion required between ELSA and City

### **4.0 Discussion of Concept Plan**

#### **4.1 General**

Info

- space allocation required for beer tents

#### **4.2 Temporary Fence**

Info

- operational issues of fence – conflicts w/ irrigation; requires additional storage
- ELSA has potential for money grant to supply and install

#### **4.3 Parking**

Info

- ELSA approved the proposed parking concept

#### **4.4 Lighting**

- diamonds #1,2,3 are currently lit
- one of new (proposed) fields will require lighting; ELSA expressed potentials for sharing cost of lighting w/ City
- City to provide cost of lighting second diamond to ELSA

Info

Info

City

#### 4.5 Ball Diamonds

- small bleachers currently on Diamonds #4,5; bleachers required on new diamonds (P3 and P6), with priority on “P3”; bleachers to be new, but can be of same quality Info
- ELSA requested to leave new diamonds @ 275’, due to potential for additional users (men’s softball from Winterburn) Info
- City to provide cost of proposed dugout revisions to ELSA for potential cost sharing City

#### 4.6 Amenity Building

Info

- ELSA needs year-round access
- temporary storage rooms required (for during tournaments); no other storage area required, except for temporary fencing
- ELSA wants food concession to be present
  1. Ted proposed a volunteer-run concession (shared between user groups)
  2. Al suggested only one group to run concession year-round (ie. private operator; one stakeholder; COE)
- no first aid room required, since ELSA plans to continue supplying their own first aid tent
- small officials’ room required (no separate washrooms needed)
- ELSA currently shares office w/ Alberta Softball (cost - \$350 per month @ 3160-33Ave., contact - Scott @ Alberta Softball); no need to relocate
- more washrooms required
- ELSA’s list of priorities for an amenity building:
  - #1 – washrooms
  - #2 – concession

- #3 – officials room
- #4 – multi-purpose room

## **5.0 Next Steps**

- 5.1 Stantec to advise of next meeting, but likely to be at time of final presentation of John Fry Sports Park Master Plan. Stantec

The meeting adjourned at 3:50pm.  
The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

**STANTEC CONSULTING LTD.**

Neil Kobewka LAT, AALA  
Landscape Architectural Technologist  
neil.kobewka@stantec.com

## **Agenda**


**Stantec**

### **John Fry Sport Site – Stakeholder Meetings South Edmonton Elite Baseball Association**

Date: February 21, 2007  
 Place / Time: Stantec / 3:50pm  
 Next meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 Elaine Betchinski, City of Edmonton  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 Don Chase, SEEBa  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Shelley Kwong, City of Edmonton

---

<b>Item:</b>	<b>Action:</b>
<b>1.0 Introductions</b>	
<b>2.0 Review of Current Site</b>	
2.1 Parking – no concerns w/ current parking	Info
2.2 Overall Site	Info
<ul style="list-style-type: none"> <li>would like more warm-up areas</li> <li>need enclosed batting cages and bull-pens (w/ 4 sides and top meshed)</li> <li>baseball field drainage is good</li> <li>bleachers are in good condition</li> <li>baseball field is currently irrigated</li> <li>bleachers, scoreboard and press box were upgraded as part of last round of site improvements; in good condition</li> </ul>	
2.3 Space Requirements	Info
<ul style="list-style-type: none"> <li>overall need for more baseball diamonds</li> <li>no major events currently held, since would require 3-4 diamonds to host tournaments</li> </ul>	

- Midgets use John Fry, but no room presently available for game play by other leagues (ie. Bantam)
- field sizes = PeeWee (12-15yrs old) – up to 230';  
Bantam – 275-290'

### **3.0 Discussion of Future Plans**

#### **3.1 Proposed Agreements**

SEEBA /  
City

- SEEBA would like to have a Home Base agreement; further discussion required

### **4.0 Discussion of Concept Plan**

#### **4.1 Amenity Building**

Info

- more washrooms a priority
- two change rooms would be nice, but not priority
- interested in having/sharing office space (SEEBA currently has no office)
- officials room requested
- equipment space needed (currently pay \$2500/yr for approx. 10'x10' space)

#### **4.2 Additional baseball field spaces**

Info

- no space on John Fry Park for additional baseball fields
- baseball fields unique from softball in that they require a pitching mound for game play
- cooperative multi-use of fields between softball and baseball discussed (ie. P6)
- multi-use difficult to achieve, since temporary pitching mounds not currently accepted by Baseball Alberta

## **5.0 Next Steps**

- 5.1 Stantec to advise of next meeting, but likely to be at time of final presentation of John Fry Sports Park Master Plan. Stantec

The meeting adjourned at 4:20pm.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

**STANTEC CONSULTING LTD.**

Neil Kobewka LAT, AALA  
Landscape Architectural Technologist  
[neil.kobewka@stantec.com](mailto:neil.kobewka@stantec.com)





## **Agenda**


**Stantec**

### **John Fry Sport Site – Stakeholder Meetings**

#### **Capital City Softball Association**

Date: February 21, 2007  
 Place / Time: Stantec / 4:20pm  
 Next meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 Elaine Betchinski, City of Edmonton  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 Linda Edey, CCSA  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Shelley Kwong, City of Edmonton

<b>Item:</b>	<b>Action:</b>
<b>1.0 Introductions</b>	
<b>2.0 Review of Current Site</b>	
2.1 Background Information	Info
<ul style="list-style-type: none"> <li>CCSA is a group of people primarily focused on promoting game of softball</li> <li>CCSA hosts larger tournaments (in 2007, Midget Nationals – July 29 thru Aug.5)</li> <li>CCSA has access to monetary funds</li> <li>historical note – Diamond #2 was 1<sup>st</sup> diamond in Edmonton to receive shale</li> </ul>	
2.2 Overall Site	Info
<ul style="list-style-type: none"> <li>diamonds #1,2,3 fenced as one unit; control fencing requires changes (fencing of diamonds vs. entire site)</li> <li>CCSA currently supplies three 20' trailers for event use</li> </ul>	
2.3 Midget Nationals	Info
<ul style="list-style-type: none"> <li>CCSA requires 4-5 diamonds for tournament</li> </ul>	

### **3.0 Discussion of Concept Plan**

#### **3.1 Amenity Building**

Info

- CCSA would need full use of building during events
- concessions wanted
- washrooms required
- two official rooms (men's and women's) w/ washrooms and showers
- common room requested
- 4-6 change rooms requested
- office/storage space requested (need approx. 10'x 20')

### **4.0 Next Steps**

- #### **4.1**
- Stantec to advise of next meeting, but likely to be at time of final presentation of John Fry Sports Park Master Plan.

Stantec

The meeting adjourned at 5:00pm.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

**STANTEC CONSULTING LTD.**

Neil Kobewka LAT, AALA  
Landscape Architectural Technologist  
neil.kobewka@stantec.com

## **Agenda**



**Stantec**

### **John Fry Sport Site – Stakeholder Meetings**

#### **Leprechaun Tigers Rugby Club**

Date: March 7, 2007  
 Place / Time: Stantec / 4:00pm  
 Next meeting: To be announced  
 Attendees: Kevin Dieterman, City of Edmonton  
 Elaine Betchinski, City of Edmonton  
 Neil Kobewka, Stantec  
 Cam Wilton, LTRC  
 Kyley Moisey, LTRC  
 Kris Lavoie, LTRC  
 Neil Forsyth, LTRC  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Ted Jenkins, City of Edmonton  
 Shelley Kwong, City of Edmonton  
 Penny Dunford, Stantec

<b>Item:</b>	<b>Action:</b>
<b>1.0 Introductions</b>	
<b>2.0 Review of Current Conditions</b>	
2.1 Overall Site	Info
<ul style="list-style-type: none"> <li>• drainage issues exist between rugby fields and at southeast corners of both fields</li> <li>• guide wire from power pole (on central east side of east field) is potential safety hazard for athletes</li> <li>• two catch basins exist in Altalink ROW, south of rugby fields; funds were contributed by LTRC in 1980s ('87 or '88?) to construct</li> <li>• security issues exist on site (ie. break-ins), primarily on north end of fields</li> <li>• additional parking required</li> </ul>	
2.2 Clubhouse	Info
<ul style="list-style-type: none"> <li>• LTRC outgrowing current size of clubhouse</li> </ul>	

- shed is required to store equipment (ie.20' x 20'); shed may be erected by LTRC this year

### **3.0 Discussion of Future Plans**

#### **3.1 LTRC's Future Site Development Plans**

Info

- LTRC would like a parking lot on Altalink ROW
- 5-7 year plan focuses on fields and posts
- 10+ year plan focuses on clubhouse (increasing to two buildings) and playground/play area (w/ consideration for proximity to clubhouse)
- no lighting of fields required
- bleacher stands not a priority
- LTRC wants to relocate goal posts and upgrade to steel posts; posts currently one meter from edge of ROW
- in coordination w/ field upgrades, LTRC wants to adjust field locations to create more width between fields and allow for more buffer from ROW
  - west field - move ten meters south, one meter west
  - east field - move ten meters south, one meter east

#### **3.2 Proposed Agreements**

Info

City/LTRC

- LTRC would like to assist w/ site developments
- Elaine discussed parameters of Home Base agreement:
  - most of site no longer MR designation
  - time and energy commitments would require further negotiation
  - parking lot would be included in lease agreement

#### **4.0 Discussion of Concept Plan**

##### **4.1 Feedback from LTRC**

Info

- proposed parking is ok (require 50 regular stalls; 4 handicap stalls)
- amenity building not likely to be used by LTRC

#### **5.0 Discussion of Project Timing**

##### **5.1 Field upgrades schedule, as proposed by LTRC**

Info

- east field can be upgraded at any time; would involve stripping, regrading (keeping relocation in mind), seed or sod, and upgrading of posts
- wait couple of years
- upgrade west field (same process as east field)
- Cam Wilton mentioned cost benefits of upgrading both fields at same time

##### **5.2 Crossing agreements**

Info

- LTRC would prefer City to arrange or help w/ crossing agreement process

#### **6.0 Next Steps**

##### **6.1 City to provide grading concept of rugby fields to LTRC.**

City/  
Stantec

##### **6.2 Stantec to advise of next meeting, but likely to be at time of final presentation of John Fry Sports Park Master Plan.**

Stantec

The meeting adjourned at 5:00pm.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

**STANTEC CONSULTING LTD.**

Neil Kobewka LAT, AALA  
Landscape Architectural Technologist  
[neil.kobewka@stantec.com](mailto:neil.kobewka@stantec.com)



## **Agenda**


**Stantec**

### **John Fry Sport Site – Stakeholder Meetings**

#### **Alberta Volleyball Association**

Date: March 12, 2007  
 Place / Time: Stantec / 3:00pm  
 Next meeting: To be announced  
 Attendees: Kevin Dieterman, City of Edmonton  
                   Neil Kobewka, Stantec  
                   Terry Gagnon, AVA  
                   Ian Allan, AVA  
 Absentees: Shelley Kwong, City of Edmonton  
 Distribution: Meeting attendees  
                   Ted Jenkins, City of Edmonton  
                   Elaine Betchinski, City of Edmonton  
                   Penny Dunford, Stantec

---

**Item:**
**Action:**
**1.0 Introductions**
**2.0 Review of Current Site**
**2.1 Background Information**

Info

- volleyball demographics show approx 80% of Edmonton adult users are from south side of river
- beach volleyball court layout, as per AVA
  - court size = 8'x16' (for both adult and youth)
  - between courts = 18' (six meter) buffer required from end line to end line; 15' (five meter) buffer required from side line to side line
  - structure = 12-18" ideal depth of sand + landscape fabric + (ideally) gravel w/ weeping tile for area drainage

**2.2 Beach Volleyball Courts**

Info

- current usage = 5-10pm weekdays; all day on weekends  
                       = 64 teams/night (2-4 teams)  
                       = May through August  
                       = 7-8 weekend events

- currently have three-year lease for present location
- AVA wants courts to remain somewhere on John Fry site
- currently use Sea-can (8'x8'x32') to store equipment, located on site during season

### **3.0 Discussion of Future Plans**

#### **3.1 AVA plans for beach volleyball courts**

Info

- develop feature courts w/ seating (either bleachers or berm seating)
- develop staging area w/ potential lighting

#### **3.2 Proposed Agreements**

AVA / City

- AVA agreed that permanent storage is required; open to partnering w/ City (ie. funds and energies) for development of amenity building

### **4.0 Discussion of Concept Plan**

#### **4.1 Feedback from AVA**

Info

- indoor volleyball courts (along w/ all associated parking, amenities, etc.) currently included in GO Centre plan
- beach v-ball courts were never included in original GO Centre plan
- AVA concerned w/ lower number of beach v-ball courts in concept; for weekend tournaments, ten courts are not enough
- AVA needs at least two feature beach v-ball courts
- no storage area in GO Centre plan for beach v-ball equipment (16 nets, balls, etc.)
- beach v-ball storage area required, since hauling loose equipment over large distances not practical
- beach v-ball sand containment required (ie. wind protection, min. 6" raised edge)



## **5.0 Next Steps**

- 5.1 Stantec to advise of next meeting, but likely to be at time of Stantec  
final presentation of John Fry Sports Park Master Plan.

The meeting adjourned at 4:00pm.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

### **STANTEC CONSULTING LTD.**

Neil Kobewka LAT, AALA  
Landscape Architectural Technologist  
[neil.kobewka@stantec.com](mailto:neil.kobewka@stantec.com)



## Meeting Notes


**Stantec**

### John Fry Sports Site Master Plan

John Fry / FILE 1161 32072

Date: April 16, 2007  
 Place/Time: CN Tower, 10<sup>th</sup> Floor / 12:00pm  
 Next Meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 Paul St. Arnaud, City of Edmonton  
 Debi Anderson, City of Edmonton  
 Brad Badger, City of Edmonton  
 Elaine Betchinski, City of Edmonton  
 James Thompson, City of Edmonton  
 Shelley Kwong, City of Edmonton  
 Lynn Woywitka, City of Edmonton  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 Absentees: N/A  
 Distribution: Meeting attendees

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Item:	Action:
<b>1.0 Introductions / Project Introduction</b>	
<b>2.0 General</b>	
<ul style="list-style-type: none"> <li>Penny reviewed John Fry master plan process, providing updates of current schedule status.</li> </ul>	Info
<ul style="list-style-type: none"> <li>John Fry team has met with all stakeholders for input. Neil presented a brief summary of the updated stakeholders' feedback.</li> </ul>	Info
<ul style="list-style-type: none"> <li>Ted brought up concerns over expansion of the GO Centre (ie.parking). As building footprint increases, amenities (ie.beach v-ball) are being pushed out. Land usage on Altalink ROW remains in question (ie.parking, basketball courts). Concerns agreed with by Directors, and Master Plan will continue to label land parcel as "Proposed GO Centre", but no detail to be shown.</li> </ul>	Info
<ul style="list-style-type: none"> <li>Paul provided comment, from community/taxpayer groups, for desired balanced usage of green space vs. facilities (in district parks).</li> </ul>	Info

- Directors identified that John Fry is one of Edmonton's premiere baseball/softball parks, and will be treated as such in development/funding considerations. Info
- Due to upcoming 2008 World AAA Youth championships, E1 field will be upgraded (grading, irrigation). For information only, and not in scope of this Master Plan. Info
- Ted discussed zoning of John Fry w/ Peter Alexander. In consolidation process, all John Fry areas will be rezoned as parkland. Info
- Peter confirmed w/ Ted that park boundary, as currently shown, is correct. Land parcel on southwest boundary of John Fry is zoned as AP, but it is not owned by the City. Info
- John Fry Master Plan report will likely require caveat disclaimers and utility notes/contacts. Info
- Directors confirmed that John Fry is classified as a "City Wide Park" Info

**3.0 CPTED Review**

Stantec to review site for CPTED concerns.

Penny

**4.0 Concept Plan Review****4.1 Grading**

- Penny reviewed the proposed site grading concept. Info
- Grading concepts indicates need for a couple additional catch basins. Info
- More cut than fill is predicted for John Fry site, therefore removal of material is likely. Info
- Penny raised awareness that two catch basins, key to site drainage in the southwest part of the John Fry site, are included in the proposed land swap with Transportation. Further discussion/negotiation will be required between Parks and Transportation. Ted/  
Kevin
- Digital concept grading plan can be made available for John Fry user groups in mid-May. Info

## **4.2 Parking**

- |  |                |
|--|----------------|
| ▪ Directors indicated that number of planned parking stall should be based on regular usage numbers. | Info           |
| ▪ Stantec to provide costing options for permanent parking areas. Options for granular and paved.    | Penny/<br>Neil |
| ▪ Master Plan to provide costs for overflow parking options, but implementation to be determined.    | Penny          |
| ▪ Redevelopment of LTRC parking lot is enhanced.   | Info           |

## **4.3 Amenity Building**

- |   |                   |
|---|-------------------|
| ▪ Further discussion required on contributions for levels of development and funding (Parks vs. Operations vs. other User Groups).  | Info              |
| ▪ At stakeholders meeting, John Fry team to present draft of new City standards model for amenity buildings. Potentials available for grandfathering and unique negotiation arrangements. | Parks/<br>Stantec |
| ▪ Suggestion to invite interested parties, at stakeholders' meeting, to remain afterwards for a focus group meeting on the amenity building.  | Info              |
| ▪ At stakeholders meeting, show maximum building envelope of amenity building. Explain that envelope may shrink if funding not available for building features.                           | Parks/<br>Stantec |
| ▪ Shelley mentioned that attention should be given to health code guidelines (ie.first aid room).   | Info              |

## **4.4 Overall**

- |  |      |
|--|------|
| ▪ Stantec presented the proposed Master Plan notes that incorporate the results of stakeholder and John Fry team meeting input to date. The notes include the levels of upgrade/development, as well as levels of funding responsibilities. The Directors provided feedback/clarification on these notes, as well as confirmation of City funding commitments. | Info |
| ▪ Directors indicated that Master Plan should identify the proposed level of upgrade/development, along w/ costing. Future steps, by the City, will be to determine the source for required funding.   | Info |

- |  |                |
|--|----------------|
| ▪ John Fry Master Plan to recommend soil testing/analysis.                       | Info           |
| ▪ Stantec to provide pricing for soil analysis of existing John Fry soils.       | Penny/<br>Neil |
| ▪ Stantec to provide recommendation for LTRC shed location.                      | Penny          |
| ▪ Directors approved inclusion in concept of 3m wide asphalt trail through site. | Info           |

## **5.0 Stakeholder Input Review**

- |  |      |
|--|------|
| ▪ All stakeholder meetings have occurred (ELSA, SEEBA, CCSA, LTRC, AVA).   | Info |
| ▪ Neil provided a brief summary of stakeholder feedback. Summarization chart of stakeholders' needs is available upon request. | Info |

## **5.0 Schedule Review**

- |  |      |
|--|------|
| ▪ Proposed stakeholder meeting/presentation planned for the third week of April. | Info |
| ▪ Master plan completion planned for second week of May.                         | Info |

The meeting adjourned at 2:15pm.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

## **STANTEC CONSULTING LTD.**

Neil Kobewka, LAT, AALA  
Landscape Architectural Technologist  
neil.kobewka@stantec.com

## Meeting Notes


**Stantec**

### John Fry Sports Site Master Plan

John Fry / FILE 1161 32072

Date: May 28, 2007  
 Place/Time: Stantec / 10:30pm  
 Next Meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 David Tymchak, City of Edmonton  
 Derek Stuart, AltaLink  
 Alan Lucas, AltaLink  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 Felix Eisler, Stantec  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Debi Anderson, City of Edmonton  
 Elaine Betchinski, City of Edmonton  
 Shelley Kwong, City of Edmonton

Item:	Action:
<b>1.0 Introductions / Project Introduction</b>	
<b>2.0 General</b>	
<ul style="list-style-type: none"> <li>Felix noted that Atco is currently doing minor repairs in the southwest corner of the baseball diamond.</li> </ul>	Info
<ul style="list-style-type: none"> <li>Penny reviewed the proposed John Fry master plan.</li> </ul>	Info
<ul style="list-style-type: none"> <li>AltaLink indicated that an adjacent business, located on the northwest corner of John Fry, is looking to expand their building structure to the south.</li> </ul>	Info
<ul style="list-style-type: none"> <li>Lines on the John Fry site were designed for previous agricultural use, not roads. All clearances will require review, and relocations or raising of lines may be required. AltaLink indicated that they will not incur costs associated with line modifications, due to proposed John Fry development.</li> </ul>	Info
<ul style="list-style-type: none"> <li>AltaLink will require all clearance for roads and parking. If the John Fry team can provide road/surface elevations to AltaLink. AltaLink can provide line height info.</li> </ul>	Info
<ul style="list-style-type: none"> <li>No license agreement for John Fry currently exists between AltaLink and City.</li> </ul>	Info

- |   |         |
|---|---------|
| ▪ Agreements with AltaLink require the City to provide signage (w/ specifics to no 'kite flying').  | Info    |
| ▪ AltaLink have not been contacted by the GO Centre group. They are currently looking at alternative sites for the Go Centre and there is a possibility that they will use the land in John Fry Park.   | Info    |
| ▪ AltaLink owns the E/W corridor through the site including all E/W towers. The N/S connector lines belong to Epcor.  | Info    |
| ▪ All crossing agreements are good for one year, so it is recommended not to apply until closer to construction. However, they will review plans to provide comment and information on line heights and acceptable development. Neil to forward copy of current plan to Al Lucas. | Kobewka |
| ▪ City is to keep AltaLink updated w/ plans for John Fry, as much as possible, to accommodate long-term planning.   | Info    |

### **3.0 Concept Plan Review**

#### **3.1 Grading**

- |  |      |
|--|------|
| ▪ The grading plan for the site will address drainage problems on the Altalink ROW. Swales are allowed on the ROW if required. The current drainage patterns will be maintained with cross drainage between the park areas and the Altalink ROW. | Info |
|--|------|

#### **3.2 Parking**

- |   |      |
|---|------|
| ▪ AltaLink has concerns w/ parking lot on R.O.W., because of lower power line clearances.   | Info |
| ▪ Height restrictions would be required for the proposed overflow parking areas, using both signage and physical overhead barrier. Access for maintenance/replacements must be maintained for Altalink. | Info |

#### **3.3 Overall**

- |  |      |
|--|------|
| ▪ No basketball courts allowed in AltaLink R.O.W.  | Info |
| ▪ AltaLink desires 25m clearance between adjacent buildings and R.O.W.   | Info |
| ▪ Beware of line swing-out setback/clearance, especially at midpoint of power line (ie. building height of potential GO Centre). | Info |



- |   |      |
|---|------|
| ▪ AltaLink will allow trails on R.O.W. License agreement would be required.   | Info |
| ▪ Normal below-ground irrigation system is allowed, as long as water is not hitting the lines. AltaLink needs to know location of lines and accessibility, but no specific agreement is required.   | Info |
| ▪ AltaLink will require lighting info (ie. light standards for ball diamonds).  | Info |
| ▪ Check fence heights, and make sure metal fences are grounded.   | Info |
| ▪ Master Plan should show height restriction requirements and RV restrictions.  | Info |
| ▪ Master Plan should note that an agreement between Parks and AltaLink is required, for maintenance of AltaLink corridor.   | Info |
| ▪ Barriers should be provided to protect towers. Landscape barriers would be acceptable (ie. berm/trees), w/ minimum 10m setback around towers for access.  | Info |
| ▪ If Parks wants to develop permanent facilities on the ROW a lease agreement will be required. Purchase of the required land could be considered, but typically Altalink would prefer a lease arrangement. Altalink has considered agreements with Parks in the past whereby the land would be leased to Parks in exchange for maintenance of the ROW. Further meetings with Parks are required to confirm an agreement. | Info |

## **5.0 Schedule Review**

- |   |         |
|---|---------|
| ▪ Proposed stakeholder meeting/presentation planned for the week of June 18th. Invitations to be sent out asap. | Kobewka |
|---|---------|

The meeting adjourned at 12:00pm.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

## **STANTEC CONSULTING LTD.**

Neil Kobewka, LAT, AALA  
Landscape Architectural Technologist  
[neil.kobewka@stantec.com](mailto:neil.kobewka@stantec.com)

**Stantec**

May 28, 2007

John Fry Sports Site Master Plan

Page 4 of 4

## Meeting Notes


**Stantec**

### John Fry Sports Site Master Plan

John Fry / FILE 1161 32072

Date: June 19, 2007  
 Place/Time: Stantec / 4:00pm  
 Next Meeting: To be announced  
 Attendees: Ted Jenkins, City of Edmonton  
 Kevin Dieterman, City of Edmonton  
 Penny Dunford, Stantec  
 Neil Kobewka, Stantec  
 Linda Edey, CCSA  
 Don Chase, SEEBA  
 Jim Plakas, AVA  
 Cam Wilton, LTRC  
 Kris Lavoie, LTRC  
 Kyley Moisey, LTRC  
 Neil Forsyth, LTRC  
 Absentees: N/A  
 Distribution: Meeting attendees  
 Shelley Kwong, City of Edmonton

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Item:	Action:
<b>1.0 Introductions / Plan Presentation</b>	
<b>2.0 General</b>	
<ul style="list-style-type: none"> <li>Penny reviewed the proposed John Fry master plan.</li> <li>Differentiate plan labeling between softball and baseball or use generic label of 'ball field'.</li> </ul>	Info Info
<b>3.0 Comments from Stakeholders</b>	
<b>3.1 Grading</b>	
<ul style="list-style-type: none"> <li>East rugby field - northwest corner of is too low and center of field is crowned too high.</li> <li>Rugby fields can be graded at 1.5%, as long as elevations don't vary too greatly.</li> </ul>	Info Info
<b>3.2 Parking</b>	
<ul style="list-style-type: none"> <li></li> </ul>	

### **3.3 Amenity Building**

- |   |      |
|---|------|
| ▪ CCSA - More washroom stalls required (than shower stalls); 6 washrooms recommended. | Info |
| ▪ CCSA - Larger officials' rooms w/ showers required for tournaments.                 | Info |
| ▪ SEEBBA requires maximum of 2 change rooms; CCSA requires 6 change rooms.            | Info |
| ▪ Storage space is good.  | Info |
| ▪ Common area is good for meetings.   | Info |

### **3.4 Overall**

- |   |         |
|---|---------|
| ▪ Removable fencing required on P3, P6, and E2 (not E4 and E5).                                 | Info    |
| ▪ E4 and E5 have no existing lighting.  | Info    |
| ▪ LTRC shed to be built on the existing concrete pad.   | Info    |
| ▪ LTRC season from beginning of May thru end of Sept.   | Info    |
| ▪ Timing for rugby field construction – sooner the better.                                      | Info    |
| ▪ LTRC working on a 10-year irrigation plan for rugby fields.                                   | Info    |
| ▪ Rugby fields as-built sizes = 70x120m + end zones. LTRC to provide as-built plans to Stantec. | LTRC    |
| ▪ Stantec to provide cost comparison of sod vs. seed for rugby fields.                          | Stantec |
| ▪ AVA can break beach volleyball into 2 pods.   | Info    |
| ▪ AVA concerns include court drainage, windbreaks, and storage for equipment.                   | Info    |
| ▪ City to ask GO Centre for official statement of intent.                                       | Parks   |
| ▪ Other potential uses for GO Centre site might be baseball.                                    | Info    |

### **4.0 Schedule Review**

-

## **Stantec**

June 19, 2007  
John Fry Sports Site Master Plan  
Page 3 of 4

The meeting adjourned at 7:00pm.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

### **STANTEC CONSULTING LTD.**

Neil Kobewka, LAT, AALA  
Landscape Architectural Technologist  
[neil.kobewka@stantec.com](mailto:neil.kobewka@stantec.com)

June 19, 2007

John Fry Sports Site Master Plan

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John Fry Sport Site - Feedback Results

	Alberta Volleyball Association	Leprechaun Tigers Rugby Club	Capital City Softball Association	South Edmonton Elite Baseball Association	Edmonton Ladies Softball Association	Edmonton Parks Operation	Go Centre Association*
Has anything changed in your plans which would affect your approval of the current concept plan?	NO	plan not reviewed	NO	Add pitching mound to smaller field	NO	NO	
Do you have an Home Base or lease agreements?	have 3-year lease for current location	no Home Base, but 10-year lease (1 for clubhouse, 1 for field)...duration remaining?	NO	NO	NO	NO	YES
Do you want a Home Base or lease agreement?	open for partnering w/ COE (funds & energies)	YES		YES	YES	n/a	
Program statement submitted to City		YES					
When and how often group actively uses site.							
Duration of time	May to end of August	field = snowmelt-snowfall clubhouse = all year	July and/or August	April thru September	1st Monday of May thru to 2nd weekend of August	May thru October	all year
How often during the week	full week	full week	daily (only during championships)	2-4 week nights (varies) + weekends	Mon. - Thurs. (Diamonds #2,3,4,5)	full week	full week
Time of day	Mon.-Fri. = 5-10pm weekends = all day	weekdays = 5:30-9:30pm weekends = 10:30-5:30pm clubhouse also weekend evenings	daytime (during championships)	week nights = 5-10pm weekends = days + evenings	6-10pm	7am-11pm	all day
Number of events and when they held	7-8 weekend events (from May thru Aug.)	6-7 larger events per year	one event per year (July & Aug.)	2-3 special events per year	annual = every May long weekend (Fri. evening - Sun. aft); this year = Midget Nationals (July 29-Aug 5)		
Approximate numbers of users							
For a normal use day or evening, typically how many people from your group would be onsite?	130-260	100	special events only	80-100+	150/night (120 players)	1-2 staff per shift	600
Approximately how many vehicles?	100+	50	special events only	40+	100+	1 to 2	150+
Number of people and vehicles on site for special events	Events such as Provincials people = 250+ vehicles = 200+	people = up to 600 vehicles = up to 300	people = 600-1000 vehicles = 400-500	people = 200-400 vehicles = 80-100	May long weekend (500 people, 300 vehicles); Midget Nationals (1000 people, 600-800 vehicles)		people = 2600 vehicles = 650
Desirable uses for Amenity Building.							
If you mentioned storage, of office space as a need for your group, could you provide actual space requirements for these uses.	n/a	amenity building not likely to be used; current clubhouse - additional shower facilities, office space (for 2 desks), additional storage req'd (1/2 size of clubhouse)	need FULL use of bldg during events; concessions; storage req'd = approx. 200sq.ft.; office req'd = approx. 200sq.ft.; 4-6 dressing room (w/ showers); washrooms (priority); 2 officials rooms (M&W) w/ washrooms & showers; common room; media area; phone lines	office space desired (no specified size); 2 dressing rooms (not priority); more washrooms (priority); officials room; equipment storage (10'x10'); snack bar	need year-round access; only temporary storage rooms req'd (during tournaments); no office space req'd; concession (priority); washrooms (priority); no first aid room req'd; small officials room (no separate washrooms req'd); multi-purpose room	double current number of washrooms; storage for grass cutting equipment; office w/ separate staff & public washrooms; kitchen space; first aid room; 2 officials rooms w/ separate washrooms; 8 team rooms; common room w/ media & storage capabilities; concession; larger garage (more space, higher overhead door)	n/a
Preferred method of communication	email	email / phone	email	email / phone	email / phone	email / phone	
Additional Comments		Club size expanding. Would like to buy a property and/or longer lease agreement. Want a Home Base Agreement. More parking required (current use include 92St). Request playground/play area for kids.	Would increase use if more diamonds available. Diamonds #3,4 used as warm-up diamonds. Require minimum of 4-5 fields during event. Currently supply 3 - 20' trailers for event use.	Would like indoor facility (field house/ clubhouse) for expansion of baseball winter training. Need indoor storage facility. Really like using Bob White field. Want a Home Base Agreement. Need space for batting cages and bull-pens (meshed 4 sides & top); batting cage currently on Transportation land.	Require minimum 4 diamonds for regular use (Mon-Thurs).	Parking short by approx 100+ stalls. Garage currently stores grass-cutting equipment.	Will need to look @ gating options to ensure controlled access to washroom, viewing areas, etc. Areas for signage. *The Go Community Centre group was included in stakeholder consultations as the John Fry Park site was an optional location for their facility.

## **2 CPTED REPORT**





## **JOHN FRY PARK CPTED ASSESSMENT**

CPTED (Crime Prevention Through Environmental Design) is based on the premise that “the proper design and effective use of the built environment can lead to a reduction in the incidence and fear of crime and an improvement in the quality of life.”

October 29, 2007

## CPTED

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This assessment is based on the principles of CPTED (Crime Prevention Through Environmental Design). The three main principles of CPTED are **Natural Surveillance**, **Natural Access Control** and **Territoriality**.

**Natural surveillance** is a design concept that is directed primarily at keeping intruders under observation through the normal and routine use of the environment. **Access control** is a strategy used to deny access to a location through all but areas under natural surveillance and thereby create a perception of risk in offenders. **Territoriality** is all about claiming ownership of one's own property and thereby defining changes from public space to semi-private to private space.

The enclosed CPTED assessment and recommendations are not intended to make the site "criminal-proof." They will, however, reduce the probability of criminal activity taking place if properly applied and maintained. The physical environment can be manipulated to produce behavioral effects that will reduce fear and incidence of crime.

Crime prevention, like all management responsibilities will require constant upgrading and attention to further keep abreast of the changing operational needs of the site.

Implementation of the enclosed recommendations should not be fragmented. Many times the incorporation of one phase depends upon the implementation of other recommendations and failure to utilize the systems approach can breach all elements of the system.

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## **Purpose**

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Stantec Consulting Ltd. has been retained by the Edmonton Parks department to prepare a Master Plan and Implementation Strategy for the John Fry Sport field site. This CPTED assessment will be submitted as part of the overall submission.

## **Tools**

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The following CPTED assessment tools were used in this review of John Fry Park

- Site visits
- Review of land use and land use of surrounding areas
- Review of Master Plan with Landscape Architect.

## **Observations and Recommendations**

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Site visit #1 occurred June 21, 2007 at 11:00 a.m.

General impressions include the following. The existing site is mostly a large, empty, open space. There were no people using the site at this time of the day. A couple of vehicles came and went in the parking lot. The adjacent Billy D's Driving Range had several users. There is minimal planting on the site.

Tire tracks on the site suggest that this area is being used to test drive 4-wheel drive vehicles from nearby automobile dealerships and/or that connection through the site is limited.

Site visit #2 occurred July 19, 2007 at 6:00 p.m.

General impressions include the following. The existing site was highly defined into areas of high use and areas of no use. The majority of the site to the east was not used at this time and consisted of large open spaces with little planting. The areas around the ball diamonds were heavily used, as was the Driving range. Lighting seemed focused around these high use areas and there was no lighting in other areas.

## **SIGHTLINES**

As this is an open site, the sightlines are clear for the most part. There is one berm between diamonds 1, 2 and 4, 5 that does not allow uninterrupted sightlines. Planting does not create any issues. The solid/in-ground dug-outs provide a potential concealment area. The large bleachers create a slightly blocked view into and out of the ball diamond area.

Surrounding the site are mixed-use areas including, warehouse space, Billy D's Driving Range, sand volleyball area. Little natural surveillance is provided from these surrounding areas.

### ***Recommendations***

Additional trails and traffic access into the site would allow for additional surveillance, formal and informal, to activities occurring on the site. Increasing on-site activities with varying times of high use would also bring more people/eyes closer to areas to encourage natural surveillance. Solid, in-ground dug-outs should be replaced with above-ground chain link/transparent dug-outs.

## **LIGHTING**

The extent of existing lighting is limited. The ball diamonds and the area around the park maintenance and change room facilities are lit. There is no lighting on pathways or in parking areas.

### ***Recommendations***

Any proposed interior roads and pathways should be lit, allowing users to safely use this facility until 11:00 p.m. when the park closes. Pathway lighting needs to provide visibility to recognize a face at 15m. Areas not intended for nighttime use should not be lit. All areas intended for nighttime use should be lit to City of Edmonton standards. Maintain lamps in fixtures. Burned bulbs should be replaced within 24 hours.

## **SIGNAGE**

There is currently minimal signage on the site.

### ***Recommendations***

- Address signs should be located at each vehicular entrance, with the address prominently displayed so that it can be easily seen by emergency responders - refer to City of Edmonton Addressing Bylaw #9668.
- The site should have signage clearly stating hours of operation, rules of conduct and consequences (including fines).

- There should be signage stating how maintenance problems are to be reported; (i.e. to whom vandalism or burned out lights should be reported).

## **ISOLATION**

Because of this site being located in an otherwise industrial area, it is primarily occupied by groups using the ball diamonds and rugby field between 5:00 p.m. – 10:00 p.m. throughout the spring and summer months and on weekends for tournaments.

### ***Recommendations***

Encourage increased use of the site through provisions of additional recreational opportunities. Improve scheduling of space to allow for more people to be using the space at the same time. Create spaces and circulation networks that encourage use of the site. Parking should be located nearest the most highly used areas.

## **GRAFFITI**

Some benches and picnic tables, and most vertical surfaces had graffiti on them, including the baseball dugouts.

### ***Recommendations***

All graffiti should be cleaned up within 24 hours of occurring. Wall-to-wall identical color matching is the most effective way to reduce the odds of recurrence. Having an art mural (not graffiti-like) painted on surfaces that are prone to graffiti has been shown to prevent further graffiti. In areas where graffiti is a problem, consider the use of low pressure sodium lights. This monochromatic light source distorts color rendition, and is also known to cause headaches, thereby discouraging loitering, however this is only possible in areas where lighting is not required for appropriate site uses.

## **OWNERSHIP, MAINTENANCE & MANAGEMENT**

### ***Recommendations***

A clear understanding of the division of maintenance and operational responsibilities is important. Home Base agreements with user groups can provide an improved sense of ownership. Ensure space is maintained. All maintenance issues and vandalism need to be reported and dealt with promptly and consistently. If prompt attention is not given to maintaining a property, it can contribute to a sense of fear for the users and to re-occurrence of inappropriate behaviors.

The Broken Window Theory states that if a property is allowed to remain in a state of disrepair, you invite additional damage and more serious crime by giving the impression that you do not care and will allow criminal activity to continue.

## **ACCESSIBILITY**

There is currently no clear indicator of where all the entrances and exits to the site are located or which areas in this site can be accessed from which vehicular entrance. Fencing, gates and signage would benefit the overall accessibility to the site.

### ***Recommendations***

The addition of more pathways and parking would bring more people into and through the site. It would also provide alternative directions of travel and avenues of 'escape'. More pathways would increase natural surveillance, keeping any potential criminals under observation simply through normal and routine use of the site. Pedestrian and bicycle access to and throughout the site would be beneficial to connect various areas of the site.

Ensure that all pathways are clearly defined and well lit. Tree planting should consider keeping sightlines open for trail users allowing them to see their surroundings.

All pathways, parking and washroom facilities should take into account all users, including physically disadvantaged and wheelchair users.

## **SECURITY**

Vandalism has been reported to be a problem. The nature of the surrounding development makes constant surveillance difficult.

### ***Recommendations***

It is possible that neighboring warehouse sites have hired drive-by security companies that patrol their sites each night. Perhaps a contract could be entered into with the same for a nightly drive-by visit. The addition of a payphone or an emergency Blue Phone would benefit users by providing direct access to police and give an added sense of safety and security for the users.

## **Buildings and Storage**

Any buildings or storage facilities need proper target hardening, (i.e. locks, laminate glass w/ security film on all glass). Lighting and opportunities for natural surveillance should also be taken into account when locating and designing all buildings. The amenity buildings will be used by regular visitors to the site, and will become the focal point of this site's cohesion. Familiarity with the buildings and site will encourage territoriality for regular users. All buildings should be signed

similarly to all vehicular and pedestrian entrances. This will provide cohesion and a comprehensive identity to the overall site.

## Conclusion

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This CPTED assessment was conducted to address improving safety, usability and accessibility of the John Fry Park site. The basic CPTED principles of Access Control, Natural Surveillance and Territoriality can be implemented to provide a more user friendly environment.

***A summary of recommendations follows:***

- Improve access into and throughout the site through road or trail construction to improve natural passive surveillance and police surveillance, as well as improved access for the users.
- Provide signage at all entrance points and ensure the municipal address is clearly visible for emergency responders. Supplementary information signage should include the following information: hours of operation, site map, 'rules of conduct', phone numbers for reporting problems, etc.
- Provide site lighting for all internal roads, trails and parking areas that are intended for night time use.
- Adopt a zero tolerance for graffiti.
- Maintain a diligent maintenance program.
- Consider CPTED principles for any proposed new development at the site, including adequate sightlines and access to all new facilities. Make clear distinctions between public space and private space.
- Install adequately accessible emergency blue phone on the site.
- Replace sub-grade dugouts with surface dugouts
- Create and maintain insider "Home Base Agreements" for all sport groups.

None of the recommendations offered are compulsory under law, but this report can be made public under an application through the Freedom of Information and the Protection of Privacy

**JOHN FRY PARK  
CPTED REPORT**

Act (FOIP). This report does not address issues of responsibility concerning a civil litigation action. You should consult a lawyer familiar in this area for this type of advice.

It is intended that this CPTED assessment will offer suggestions to assist in making some improvements for the John Fry Park site. If any additional information on this review is required, please contact Diane Fitzpatrick at [diane.fitzpatrick@stantec.com](mailto:diane.fitzpatrick@stantec.com) (780)917-8587 or Shawna Cochrane at [shawna.cochrane@stantec.com](mailto:shawna.cochrane@stantec.com) (780)969-2158.

**CPTED Practitioners:** Diane Fitzpatrick, LAT  
Consultant, Stantec Consulting Ltd.

Shawna Cochrane,  
Intern Architect, Stantec Architecture Ltd.



### **3 CROSSING AGREEMENT INFORMATION**

## **CROSSING AGREEMENT INFORMATION**

Crossing Agreements must be obtained for each utility company for any work that will occur on or adjacent to their rights of way. Crossing agreements are typically valid for a period of one year, so applications should be made during the detailed design phase, several months prior to the anticipated construction.

Following is a list of contact information for the various companies, current to November 2007.

### **PIPELINES**

#### **ATCO Pipelines**

9<sup>th</sup> Floor, 10035 – 105<sup>th</sup> Street  
Edmonton, AB, T5J 2V6

CENTRAL SWITCHBOARD:

Ph: (780) 420 8957

Fax: (780) 420 7411

Ms. Erin Gibson, Land Administration (Ph: 780 420 7710 / 420 3464)

Mr. Allan Toledo, P.Eng. Senior Project Leader ( Ph: 420 3441)

Mr. Jerry Towle, Pipeline Crossing Inspector Ph: Cell @ (780) 940 0704, Fax: (780) 468 8241

#### **BP CANADA ENERGY COMPANY**

C/O IBM Canada Limited

240 – 4<sup>th</sup> Avenue, SW

Calgary, AB

T2P 4H4

Ms. Sally Gribben Surface Rights Administrator Ph: (403) 355 9387; Fax: (403) 237 8254

Mr Don Grossberndt, Director of Stakeholder Relations (Ph: 403 233 1677)

Mr. Ken Gerrard, Field Representative (Red Deer, AB) Ph: (403) 342 6464; Fax: (403) 346 9944

#### **IMPERIAL OIL, Products & Chemicals Division**

Edmonton Field Office

2002 – 4<sup>th</sup> Street

Leduc, AB. T9E 7W4

Mr. R.M. (Rich) Lamont, Right-Of-Way Coordinator Ph: (780) 955 6178 / Cell @ 699 0648;

Fax: (780) 955 6156

Mr. Kevin Klein, Crossing Inspector Ph: (780) 955 6109, Fax: (780) 955 6156

**PEMBINA PIPELINE CORPORATION**

#2000, 700 – 9<sup>TH</sup> Ave., SW  
Calgary, AB, T2P 3V4

**CENTRAL SWITCHBOARD**

Ph: (403) 231 7500  
Fax: (403) 237 0245

Ms. Leigha Parsons, Land Administrator (Ph: 403 231 7461)  
Ms. Wendy Cotton, Land Administration (Ph: 403 231 7456)  
Mr. Don Carter, Field Representative (Ph: 780 467 6464, Ext. 427)  
Mr. Paul Tetreau, Field Representative (Ph: 780 467 6464)

**POWERLINES****ALTALINK MANAGEMENT LTD.,**

26315 – Twp Td 531 – zone 1  
Acheson AB T7X 5A3

**CENTRAL SWITCHBOARD (Calgary)**

Ph: (403) 267 3400  
Fax: (403) 267 3404

Ms. Marion Kirk, Land Clerk (403) 267 3477

ALTALINK Management Ltd., St. Albert:

Mr. Derek Stuart, Land Agent (Ph: (780) 948 4124)  
Mr. Jim Mirka, Field Representative (Ph: Cell @ 975 3014)

**EPCOR Power Distribution**

12116 – 107<sup>th</sup> Avenue  
Edmonton, AB, T5G 2S7

Mr. Wilf, Behr, P.Eng., Senior Distribution/Transmission Eng  
Ph: (780) 412 3962; Fax: (780) 448 3243

Ms Irena Brice, P.Eng. Approvals Ph : (780) 412-7751, Fax : (780) 412-3147  
Mr Logi Balarsingam Approvals Ph : (780) 412-3692

## **4 BUDGET ESTIMATE**



**Stantec**

November 16, 2007

## John Fry Sportfield Park Redevelopment Budget Estimate

Item	Estimated Cost	Description
<b><u>1.0 DEMOLITION, GRADING &amp; DRAINAGE</u></b>	<b><u>\$723,500.00</u></b>	
1.1 Demolition	\$10,000.00	Miscellaneous removals,
1.2 Topsoil Stripping	\$66,500.00	Diamonds 3&6, rugby fields, parking, overflow parking @ \$3 / m2
1.3 Rough Grading	\$456,000.00	76,000 m3 @ \$6
1.4 Haul away excess material	\$91,000.00	7,000 m3 @ \$13/m3
1.5 Storm Sewer Allowance	\$100,000.00	2 new CBs; adjust rim elevations of existing CBs
<b><u>2.0 ROADS, PARKING, TRAILS</u></b>	<b><u>\$1,282,700.00</u></b>	
2.1 Road Removal	\$20,000.00	
2.2 New Road	\$245,000.00	rural standard paved @ \$70/m2
2.3 Parking Lot 1 Improvements	\$10,500.00	Expand to north @ \$35/m2, level existing
2.4 Parking Lot 1 Paving	\$174,800.00	Asphalt surfacing & line painting @ \$32/m2, curb stops @ \$75
2.5 Parking Lot 2 - Gravel	\$59,500.00	New parking lot to gravel standards @ \$35/m2
2.6 Parking Lot 2 - Paving	\$59,700.00	Asphalt surfacing & line painting @ \$32/m2, curb stops @ \$75
2.7 Parking Lot 3 - Improvements	\$10,000.00	Curb Stops @ \$75 and line painting
2.8 Parking Lot 4 - Gravel	\$63,000.00	New parking lot to gravel standards @ \$35/m2
2.9 Parking Lot 4 Paving	\$61,200.00	Asphalt surfacing & line painting @ \$32/m2, curb stops @ \$75
2.10 Overflow Parking 1	\$15,000.00	seeding
2.11 Overflow Parking 2	\$60,000.00	seeding
2.12 3.0m width new Asphalt Trail	\$243,000.00	900m @ \$270 / lin.m
2.13 Replace Existing Walks	\$261,000.00	replace narrow concrete with 3m asphalt @ \$290/m
<b><u>3.0 BUILDINGS</u></b>	<b><u>\$3,450,000.00</u></b>	
3.1 Amenity Building Base Level	\$1,925,000.00	550m2 public space @ \$3500 / m2 including servicing (range = \$1,375,000 to \$2,000,000)
3.2 Amenity Building Upscale	\$1,400,000.00	400m2 sport group space @ \$3500 / m2
3.3 Patio	\$25,000.00	100m2 @ \$250 / m2
3.4 Maintenance Building	\$100,000.00	Basic Garage
<b><u>4.0 SPORTFIELDS - BASE LEVEL*</u></b>	<b><u>\$368,800.00</u></b>	
4.1 Diamond E2	\$10,000.00	drainage and irrigation improvements, surface dugouts
4.2 Remove Diamond E3	\$5,000.00	remove and salvage
4.3 Diamond P3	\$115,000.00	Relocate existing diamond 3 - same standard
4.4 Diamond E4	\$3,000.00	surface dugouts
4.5 Diamond E5	\$5,000.00	Netting, surface dugouts
4.6 Diamond P6	\$120,000.00	New construction
4.7 Rugby Fields	\$110,800.00	Rough grade, Topsoil and Seed - relocated
<b><u>5.0 SPORTFIELD - ENHANCED LEVEL**</u></b>	<b><u>\$103,400.00</u></b>	
5.1 Diamond E1	\$5,000.00	relocate batting cages, bull pens
5.2 Diamond E4	\$4,200.00	removable outfield fencing
5.3 Diamond E5	\$4,200.00	removable outfield fencing
5.4 Rugby Fields	\$90,000.00	irrigation, sod
<b><u>6.0 SITE AMENITIES</u></b>	<b><u>\$810,000.00</u></b>	
6.1 Fine grading, topsoil and seeding	\$ 180,000.00	
6.2 Trees and Shrubs	\$ 400,000.00	
6.3 Sportfield Lighting	\$0.00	included in sportfields cost
6.4 Site Lighting	\$25,000.00	parking lots and amenity building site
6.5 Adventure Play Area	\$75,000.00	
6.6 Allowance for gates, barriers, fencing	\$35,000.00	T-Bollards, bollards, gates, safety measures for power fixtures
6.7 Site Furniture	\$30,000.00	Picnic tables, benches, waste receptacles, blue phone
6.8 New Entry Sign	\$35,000.00	north entry
6.9 Wayfinding Signs	\$30,000.00	site map, directional signage
<b>ESTIMATED CONSTRUCTION</b>	<b>\$6,738,400.00</b>	
Contingency @ 30%	\$2,021,500.00	
Fees and expenses @ 15%	\$1,010,700.00	
<b>SUGGESTED BUDGET</b>	<b>\$9,770,600.00</b>	GST not included