

DC2 SITE SPECIFIC DEVELOPMENT CONTROL PROVISION

1. GENERAL PURPOSE

To provide for a comprehensively planned, high quality, mid- and high-rise Apartment Housing development designed with a pedestrian friendly character and streetscape that is compatible in mass and scale with surrounding development.

2. AREA OF APPLICATION

This DC2 Provision shall apply to 0.552 ha of land consolidated from Lot 1A, Block 4, Plan 122 1538, and that portion of road closed under Bylaw 15673 located north of 101 Avenue NW, and east of 79 Street NW as shown on Schedule “A” of the Bylaw adopting this DC2 Provision, Forest Heights.

3. USES

- a. Apartment Housing
- b. Convenience Retail Stores
- c. Lodging Houses
- d. Minor Home Based Business
- e. Personal Service Shops
- f. Residential Sales Centre
- g. Specialty Food Services
- h. Fascia On-premises Signs
- i. Projecting On-premises Signs

4. DEVELOPMENT REGULATIONS

4.1 GENERAL

- a. Development shall be in general accordance with Appendices 1-8 and 24 of this Provision, to the satisfaction of the Development Officer.
- b. The maximum number of residential units shall not exceed 300 dwelling and sleeping units.

- c. The maximum Floor Area Ratio shall not exceed 6.0 .
- d. The maximum building Heights will be in general conformance with Appendices 2 and 5 to 8 and shall not exceed:
 - i) 22.5 m for building area adjacent to 101 Avenue
 - ii) 65.0 m for building area set back from 101 Avenue.
- e. The Height will be determined as per Section 52 of the Zoning Bylaw. Average grade has been determined by calculating the average of the elevation at the corners of the Site prior to construction, and identified as 658.46 on Building Elevation Appendices 5 to 8.
- f. The minimum required Setbacks shall be applied as illustrated on Appendix 2, Building Heights and are as follows:
 - i) 4.0 m adjacent to the south property line (abutting 101 Avenue).
 - ii) 3.0 m adjacent to the west property line (abutting the park).
 - iii) 5.5 m adjacent to the east property line (abutting the cemetery).
 - iv) 4.0 m adjacent to the north property line (abutting the park).
 - v) The main entry canopy may extend to the property line.
 - vi) The parkade walls shall not exceed the Setback identified by the “Line of Parkade Below”.
- g. Commercial use classes shall be limited to 200.0 m².
- h. Amenity Areas shall consist of:
 - i) A minimum Amenity Area of 7.5 m² per dwelling unit shall be provided on the site. Notwithstanding Section 46.3(a) of the Zoning Bylaw, Amenity Area may include a communal Amenity Area, patios, and

balconies with a minimum depth of 2.0 m. Balconies that form part of the roof because of the stepbacks will not have a minimum depth.

- ii) A minimum of 800 m² of indoor common Amenity Areas shall be located inside the building and shall include furniture and fixtures that accommodate small social gatherings and/or active recreational pursuits (such as tables and chairs, kitchen facilities, exercise or play equipment), and provide access to other common areas within the building and to any outdoor communal Amenity Area. If some units are provided as “assisted living spaces” that meet the requirements of Sections 93 and 94 of the Zoning Bylaw, the indoor common Amenity Areas shall be increased as per these sections.
- i) Outdoor common Amenity Areas consisting of but not limited to a gazebo area, patios, roof terraces, and walkways as generally identified on Appendices 1 and 2, shall be provided to a minimum size of 500 m² and shall be included in the Landscape Plan.
- i. All mechanical equipment, including roof mechanical equipment units, shall be concealed by screening in a manner compatible with the architectural character of the building or concealed by incorporating it within the building. Mechanical systems shall not be located within a required setback, and shall not be located adjacent to any outdoor Amenity Area.
- j. Crime Prevention through Environmental Design (CPTED) principles shall be used to design public and private spaces and facilities, focusing on natural surveillance and access control.
 - i) The Development Officer shall require that a Crime Prevention Through Environmental Design (CPTED) Assessment of the proposed development be completed by a Qualified Professional Security Consultant, or similar qualified third party, and provided prior to the issuance of a Development Permit. The required CPTED Assessment shall specify areas of non-compliance of the proposed development plans with CPTED principles, and solutions to the issues identified.
 - ii) The development Officer may confer with the Edmonton Police Service for their recommendation.

- iii) The Development Officer may include recommendations of the CPTED Assessment that, in the Development Officer's opinion, have implications for land use impacts including, but not limited to exterior illumination, landscaping, screening, signs and access as condition(s) of the Development Permit.
- iv) The development shall comply with Section 58, General Performance Standards for a Safe Physical Environment.
- v) The Development Officer shall further consider Crime Prevention Through Environmental Design Criteria by ensuring:
 - a. The exterior of the building has ample glazing facing the street to allow natural surveillance;
 - b. The applicant shall demonstrate that exterior lighting is in accordance with the minimum safety standards prescribed by the Illuminating Engineers Society;
 - c. Landscaping along the frontage of 101 Avenue NW, extending around the western frontage to the Gazebo as shown on Appendix 4, shall be low-growing shrubs or deciduous trees with a high canopy at maturity. All foliage shall be kept trimmed back to prevent loss of natural surveillance.

5. LIGHTING

- a. A Lighting Plan shall be required and provided to the satisfaction of the Development Officer.
- b. The Lighting Plan shall show pedestrian scale lighting and lighting underneath the front entrance canopy at a minimum as provided in Appendix 3, and other exterior lighting.
- c. The Lighting Plan shall indicate on site walkway and pedestrian level lighting around the perimeter of the building, which provides consistent illumination of all pedestrian pathways, sidewalks, public road frontages, outdoor common areas, and patios.

- d. Pedestrian level lighting is required at all vehicle and pedestrian access points and entrances to the site.
- e. Pedestrian level lighting will be required along 101 Avenue NW and active residential frontage.
- f. The applicant shall demonstrate that lighting complies with the Illuminating Engineers Society standard specified under Appendix 24: Light Pollution Reduction.
- g. Lighting shall comply with Section 51.

6. SIGNAGE

- a. Signs shall comply with the regulations found in Schedule 59B for Apartment Housing. Parking for visitors, passenger drop-offs, loading areas and commercial customers shall be clearly signed.

7. LANDSCAPING

- a. A Landscape Plan shall be provided notwithstanding Section 55.4.6 and Section 55.8.3 of the zoning Bylaw, in general accordance with Appendix 4:
 - i) The Development Officer shall ensure that the Landscape Plan include, in addition to the requirements of Section 55.3.1, the following components as generally illustrated in Appendix 4, Illustrative Landscape Concept:
 - a) All Setback areas, or any portions of them, must be unobstructed and undisturbed below grade in order to provide an adequate growing environment (soil composition, depth, etc.) for the maturation of required Landscaping.
 - b) Soil above underground parking facilities shall be of sufficient depth to accommodate required landscaping, including trees, shrubs, flower beds, grass and ground cover. All top of parkade areas as identified in the Illustrative Landscape Concept shall consist of soft landscaping.
 - c) Access point(s) to the adjacent park site shall be determined at the Development Permit stage and be provided in a location(s) suitable to

Parks Planning and the Development Officer. The access shall be designed so that grades of the subject site match the park grades (i.e. any required steps will be contained on site). Access points shall also include garbage receptacles on site.

- d) The Landscape Plan must identify any retaining walls needed for re-grading the site and they shall not exceed 1 m in height relative to adjacent park land. Where retaining walls are required, they shall be fully contained on site and designed in a manner that would be in keeping with the North Saskatchewan River Valley and Ravine System (i.e. river stone rock base).
- e) The landscape design shall respect the existing fencing and vegetation along the eastern property line on the abutting property through detailed identification of these elements on the Landscape Plan.
- f) Landscaped Setback Areas shall be designed to demarcate public space along the 101 Avenue NW road frontage and private space consistent with the boundaries of the ground floor units behind the space. These areas shall be set back a minimum of 1.5 m from the property line at 101 Avenue, and 1.5 m from the property line abutting the park, as generally illustrated on Appendix 1.
- g) Suitable soft landscaping screening/demarcation shall be provided between common outdoor Amenity Areas and individual Amenity Areas.
- h) A wrought iron 1.0 m ornamental fence (with post accents compatible with building columns) shall be located around the edge of the site, within the property along 101 Avenue NW and the park, as illustrated on Appendix 1. Fencing along 101 Avenue NW shall be set back at least 1.5 m from the property line, as generally illustrated on Appendix 1, in order to create a unified landscaped setback area (between the sidewalk and the fence) that demarcates semi-private space and contributes to the pedestrian experience. Gates shall be provided for all access points as identified on Appendices 2 and 3.
- i) Landscaping, fencing, screening, signage, barriers, or other ancillary structures, generally shall not obstruct views in to the site or out from

the site to public areas, streets, or parks. Field of view shall be unobstructed between 1.0 m and 2.0 m as measured from ground level. Along 101 Avenue NW, field of view shall be unobstructed between 0.5 m and 2.0 m as measured from ground level. Any landscaping along 101 Avenue NW shall be low-growing shrubs or deciduous trees with a high canopy at maturity, and all foliage shall be kept trimmed back to prevent loss of natural surveillance.

- j) The Landscape Plan shall also include off-site improvements along 101 Avenue NW and within the Park;
- k) Off-site landscaping shall include additional plantings to the satisfaction of Parks Planning:
 - 1. In the adjacent park land in locations where retaining walls are required.
- l) The Development Officer shall require that a Landscape Plan be provided and stamped by a certified Landscape Architect.

8. PARKING, ACCESS, LOADING AND STORAGE

- a. Loading and Garbage Areas shall be provided to the satisfaction of Transportation Services and Waste Services, as generally identified on the Site Plan, Appendix 1.
- b. Loading, storage, and garbage collection areas shall be concealed from view from adjacent sites and public roadways in accordance with the provisions of Section 54. The garbage collection area shall be designed in consultation with Waste Management Services and Transportation Services.
- c. Vehicular and bicycle parking shall be located to the satisfaction of the Development Officer and Transportation Services, including:
 - i. A minimum of 4 loading spaces shall be provided at grade.
 - ii. A minimum of 18 weather-protected bicycle spaces shall be provided.
 - iii. 343 parking spaces shall be provided underground.

- a) Notwithstanding iii) above, the total amount of parking may be further reduced by a rate of 2.75 parking stalls to a total of 55 stalls, if an on-site car share program is provided by the Developer. Of the remaining parking spaces, up to 20 stalls shall be designated for car share uses. 1 car share vehicle shall be provided per designated stall to a maximum of 20 car share vehicles on site.
- b) Notwithstanding iii) above, the total amount of parking may be further reduced by 55 stalls if the parking spaces are sold independent of the residential unit (parking unbundling).
- c) Notwithstanding iii) above, the total amount of parking may be further reduced by up to 55 stalls if 70 units are provided as “assisted living spaces” that meet the requirements of Sections 93 and 94.a i, ii, iii, iv, vii, and viii of the Zoning Bylaw. 15 parking spaces shall be designated for staff parking. If fewer than 70 units comply, the respective Zoning Bylaw parking rate for Section 93 and 94 units shall apply.
- d) Visitor parking shall be provided underground at a rate of 1 stall per 7 dwelling or sleeping units.
 - i) Surface parking stalls provided (4) shall be for loading and short term visitor parking only.
 - ii) Underground Visitor Parking shall be located conveniently in close proximity to the parkade entrance and shall be properly signed and controlled.
- d. Access to the site shall consist of one all directional access from 101 Avenue on the southeast side of the property as per Appendix 1, Site Plan.
- e. The Parking Garage shall comply with Section 54.7.

9. URBAN DESIGN REGULATIONS

Development in this Provision shall be in accordance with the following design regulations, as illustrated in the Appendices, to the satisfaction of the Development Officer.

9.1 BUILDING FORM

- a. The Building (with varying Heights as identified) shall be sited as per Appendices 1 and 2, Site Plan and Building Heights.
- b. The building façade shall be punctuated at varying intervals with indentations as illustrated on Appendix 1, Site Plan and Appendix 2, Building Heights.
- c. The maximum building length for the portion along 101 Avenue NW shall not exceed 60 meters.
- d. Building design shall use techniques that include façade articulation, active frontages, variable materials and colours, in order to avoid long monotonous building facades and to create an interesting streetscape.
- e. The high-rise portion of the building must be designed to include a discernable base and podium by use of different architectural elements and treatments, materials, and colors, to break up vertical massing and provide human scale development, including but not limited to the following:
 - i) Ground floor columns (including ground floor private amenity areas) shall be finished in a high quality material consistent with the base of the building;
 - ii) The first two storeys shall feature stone wrap for a minimum 70% of non-glazed portions of each frontage, as generally illustrated in Appendices 5-8;
- f. Intermediate heights and setbacks shall be in general conformance with Appendices 2 and 5-8.

9.2 ARCHITECTURAL TREATMENT

- a. A minimum of three colors, textures, and materials is required.
- b. Exterior finishing materials shall provide visual interest, and be durable and of high quality, including but not limited to natural stone, brick, acrylic stucco, metal, and glazing, and is to be consistent with treatment on all faces of the building. Vinyl siding and artificial stone is prohibited as a finishing material for the buildings.
- c. Colour schemes shall tie building elements together and enhance the architectural form of the building.
- d. The ground floor portion of the façade abutting 101 Avenue NW and along the public park areas shall only contain glazing that is transparent, non-reflective, untinted, and unobscured. Blank walls or non-transparent surfaces shall not exceed 20% of the building frontage at grade, where fronting on to 101 Avenue NW.
- e. A variety (style and placement) of windows with trim shall be utilized in order to create vertical and horizontal differentiation and visual interest.
- f. The parkade entrance and any exposed portion of it shall be finished in a material compatible with the base of the building (no exposed concrete) creating a unified exterior.

9.3 BUILDING RELATIONSHIP TO THE STREET

- a. All ground floor dwelling units abutting public streets and parks shall be developed as active residential and shall feature individual external front door entrances (not sliding doors). Ground floor entries shall be distinguished from balconies above through the use of different architectural elements (unenclosed porches/verandas), building materials, colours, and landscaped yards.
- b. Common areas and communal amenity areas on the ground floor which front 101 Avenue NW shall provide active frontage and direct access to the patio area and 101 Avenue NW, as shown on Appendices 1 and 4.

- c. All ground floor commercial units which front 101 Avenue NW shall be developed as active commercial and shall feature individual external front door entrances (not sliding doors), and direct public access to the patio area and to 101 Avenue NW.
- d. Projections into Setbacks and Separation Spaces shall comply with Section 44, except that the verandas, eaves, associated stairs and balconies above may project into Setbacks or Separation Spaces as identified in Appendices 1 and 2, provided such projections do not exceed 3.0 m into such Setbacks or Separation Spaces.

9.4 SUSTAINABILITY PRACTICES AND TARGETS

- a. The design and implementation of this development shall apply techniques to reduce consumption of water, energy, and materials consistent with best practices in sustainable design. Sustainability targets shall include Sustainable Sites, Water Efficiency, Energy and Atmosphere, Materials and Resources, and Indoor Environmental Quality. The minimum design targets shall be as listed on Appendix 24, Sustainable Strategies and Targets.
- b. Supplementary Sustainability targets based on the Green Building Rating System LEED™, Canada NC 2009 or newer as applicable at the time of development, shall be provided as a report to be submitted by the Owner or applicant with all chosen supplementary targets along with the application for the development permit. These targets shall aspire to a LEED silver rating, and may indicate additional targets in excess of the Silver standard score to provide for flexibility at the implementation stage.
- c. Demonstration of compliance at the Development Permit application shall be provided with letters from an accredited third-party professional in LEED to the satisfaction of the Development Officer. Acceptable letter formats shall include the LEED™ letter templates included in the Green Building Rating System LEED™, Canada NC 2009 or newer as applicable, or any other format acceptable to the Canadian Green Building Council LEED™.

10. IMPROVEMENTS AND CONTRIBUTIONS

- a. The Owner shall enter into an agreement with the City of Edmonton for off-site improvements necessary to serve the development. The agreement process includes an engineering drawing review and approval process. The agreement must be executed prior to the release of drawings for Building Permit review. Improvements to be addressed in the agreement include, but are not limited to the following:
 - i) Removal and reconstruction of a 2.1 m monolithic sidewalk including reconstruction of the existing curb, on the north side of 101 Avenue NW.
 - ii) Construction of a minimum 7.5 m wide all-directional curb return access for the access on the north side of 101 Avenue NW.
 - iii) The bus stop located east of the site on 101 Avenue shall require upgrade.
 - a. The owner or applicant may select the upgrade to include the installation of a shelter with light and heating, and time-lock door, beyond the standard shelter. If provided, the owner or applicant shall provide \$12,500 to the City of Edmonton to provide for the first five (5) years' operation and maintenance of the shelter.
 - b. Per a. above, if the owner or applicant selects the heated shelter and provides the amount for operations and maintenance, the required amount to be provided in trust to the City of Edmonton under 10. d. Public Realm Improvements shall be reduced by \$65,000.
 - iv) The existing accesses to 101 Avenue must be filled in with the construction of the curb and gutter, and boulevard restoration.
 - v) Repair of any damage to the abutting roadways and or sidewalks resulting from construction of the development, to the satisfaction of the Transportation Services. The site must be inspected by Transportation Services prior to construction and once again when the construction is complete.
 - vi) Construction of a new service control valve to provide water service to the site and upgrading of the water main located within 77 Street and a portion of 101 Avenue NW from a 150 mm water main to a 300 mm water main to provide adequate fire flow, to the satisfaction of EPCOR Water.

- vii) The existing hydrant H2994 must be relocated adjacent to the proposed access to the lot, to the satisfaction of EPCOR Water.
- viii) The existing power pole adjacent to the proposed access if not removed must be relocated to the satisfaction of EPCOR Power and Transportation Services.
- ix) Restoration of road closure area within the adjacent park site, to the satisfaction of Parks Planning.

b. AFFORDABLE HOUSING

Prior to the issuance of a Development Permit, the Development Officer shall ensure that a signed agreement has been executed between the City and the Owner, requiring the Owner to provide the City as a condition of Development Permit approval, the option to purchase 5% of the proposed number of residential units at 85% of the market price; or the ability to acquire units on the basis of a future approved Council policy on Affordable Housing.

c. SITE CONSTRUCTION PLAN

Prior to the issuance of a Development Permit, the applicant shall submit a site construction plan to minimize the noise and off-site impacts to adjacent properties. This plan shall be to the satisfaction of the Development Officer, Parks Planning, and Transportation Services, and shall address items such as construction hours, duration and access routing for construction vehicles. No construction access will be allowed from the adjacent park site.

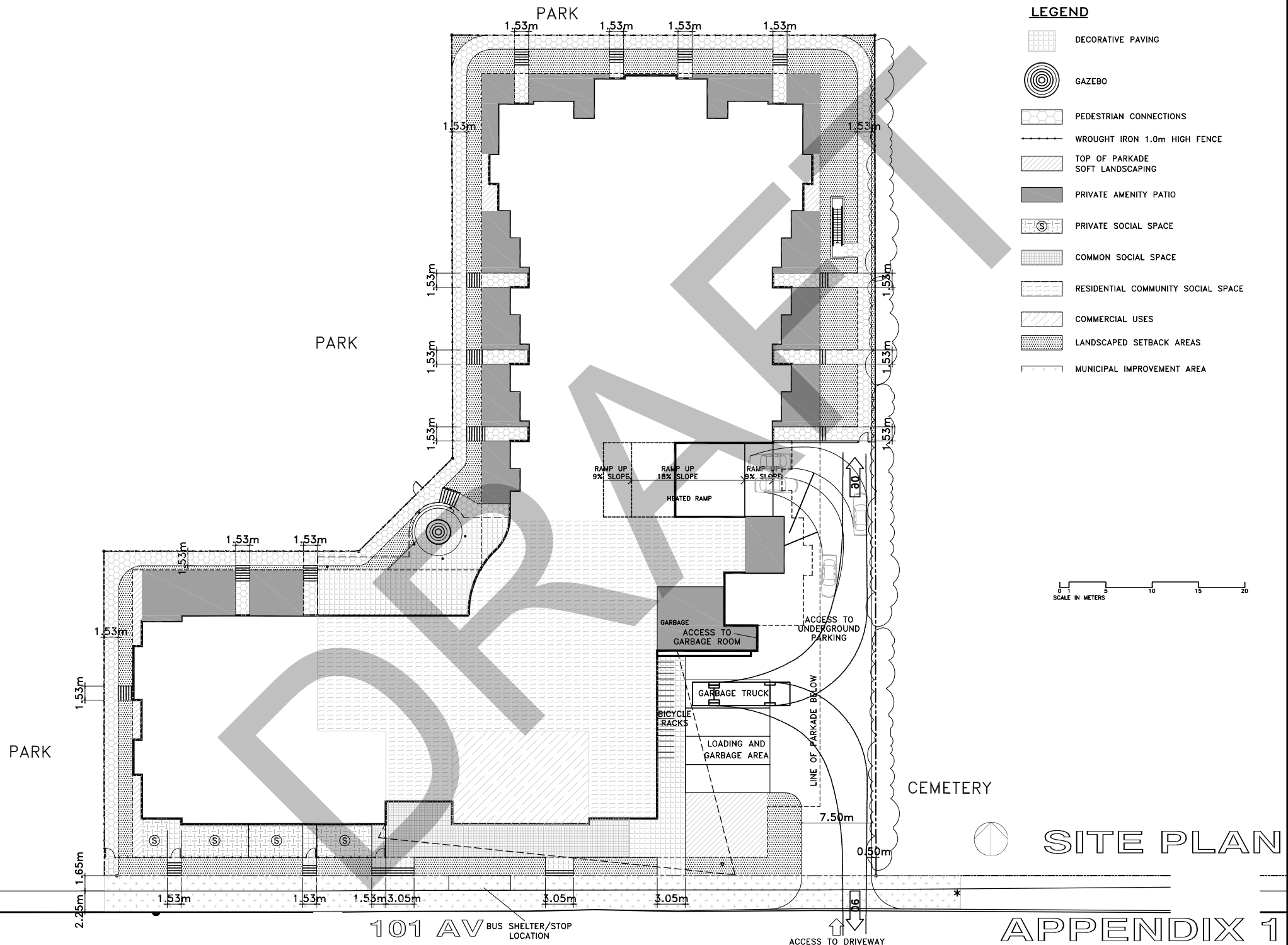
d. PUBLIC REALM IMPROVEMENTS

As a condition of any Development Permit, and prior to the release of drawings for Building Permit review, the Owner shall contribute \$300,000 in trust for the commission of City of Edmonton public facility enhancements within the Forest Heights and Terrace Heights neighbourhoods. This amount may be reduced by \$65,000 if the conditions of 10. a. iii) are met.

The public facility enhancements shall be determined in consultation with appropriate City Departments (such as Community Services, Sustainable Development) to determine programming needs and requirements. The enhancements may include, but not be limited to:

- a community garden;
- interim uses and programming for brownfield sites or other undeveloped environmentally contaminated sites;
- supplements to available City grant funding to manage brownfield sites to the community benefit;
- an outdoor patio with barbeque;
- reconstruction of pathways and trails within or serving Community League sites or parks with developed amenities;
- new public signage for advertising community events; and/or
- benches along trails or pathways;

located within the Terrace Heights and Forest Heights neighbourhoods.



SITE PLAN

APPENDIX 1

12-28-15

PARK

LEGEND

- DECORATIVE PAVING
- GAZEBO
- PEDESTRIAN-SCALE LIGHTING
- SOFFIT LIGHTING
- PEDESTRIAN CONNECTIONS
- TOP OF PARKADE
SOFT LANDSCAPING
- PRIVATE AMENITY PATIO
- LANDSCAPED SETBACK AREAS
- MUNICIPAL IMPROVEMENT AREA
UP TO AND INCLUDING THE FIRE HYDRANT *

PARK

RAMP UP
9% SLOPE

RAMP UP
18% SLOPE

RAMP UP
9% SLOPE

0 1 5 10 15 20
SCALE IN METERS

PARK

WALLWASH LIGHT

ACCESS TO
UNDERGROUND
PARKING

BICYCLE
RACKS

LOADING AND
GARBAGE AREA

LINE OF PARKADE BELOW

CEMETERY

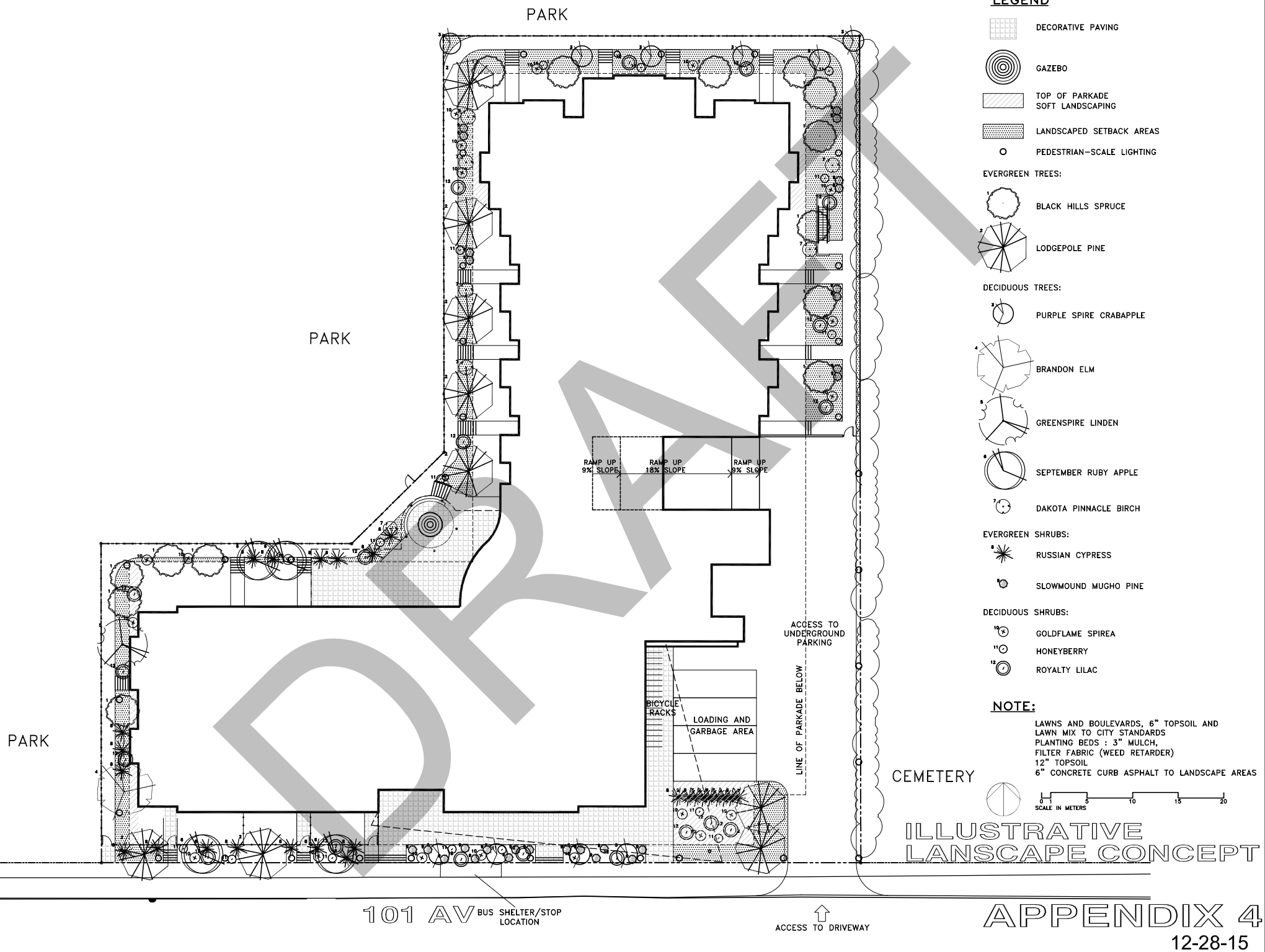
LIGHTING

101 AV BUS SHELTER/STOP
LOCATION

ACCESS TO DRIVEWAY

APPENDIX 3

12-28-15



LEGEND

- DECORATIVE PAVING
- GAZEBO
- TOP OF PARKADE SOFT LANDSCAPING
- LANDSCAPED SETBACK AREAS
- PEDESTRIAN-SCALE LIGHTING

EVERGREEN TREES:

- BLACK HILLS SPRUCE
- LOGEPOLE PINE

DECIDUOUS TREES:

- PURPLE SPIRE CRABAPPLE
- BRANDON ELM
- GREENSPIRE LINDEN
- SEPTEMBER RUBY APPLE
- DAKOTA PINNACLE BIRCH

EVERGREEN SHRUBS:

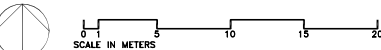
- RUSSIAN CYPRESS
- SLOWMOUND MUGHO PINE

DECIDUOUS SHRUBS:

- GOLDFLAME SPIREA
- HONEYBERRY
- ROYALTY LILAC

NOTE:

LAWNS AND BOULEVARDS, 6" TOPSOIL AND LAWN MIX TO CITY STANDARDS
PLANTING BEDS : 3" MULCH, FILTER FABRIC (WEED RETARDER)
12" TOPSOIL
6" CONCRETE CURB ASPHALT TO LANDSCAPE AREAS

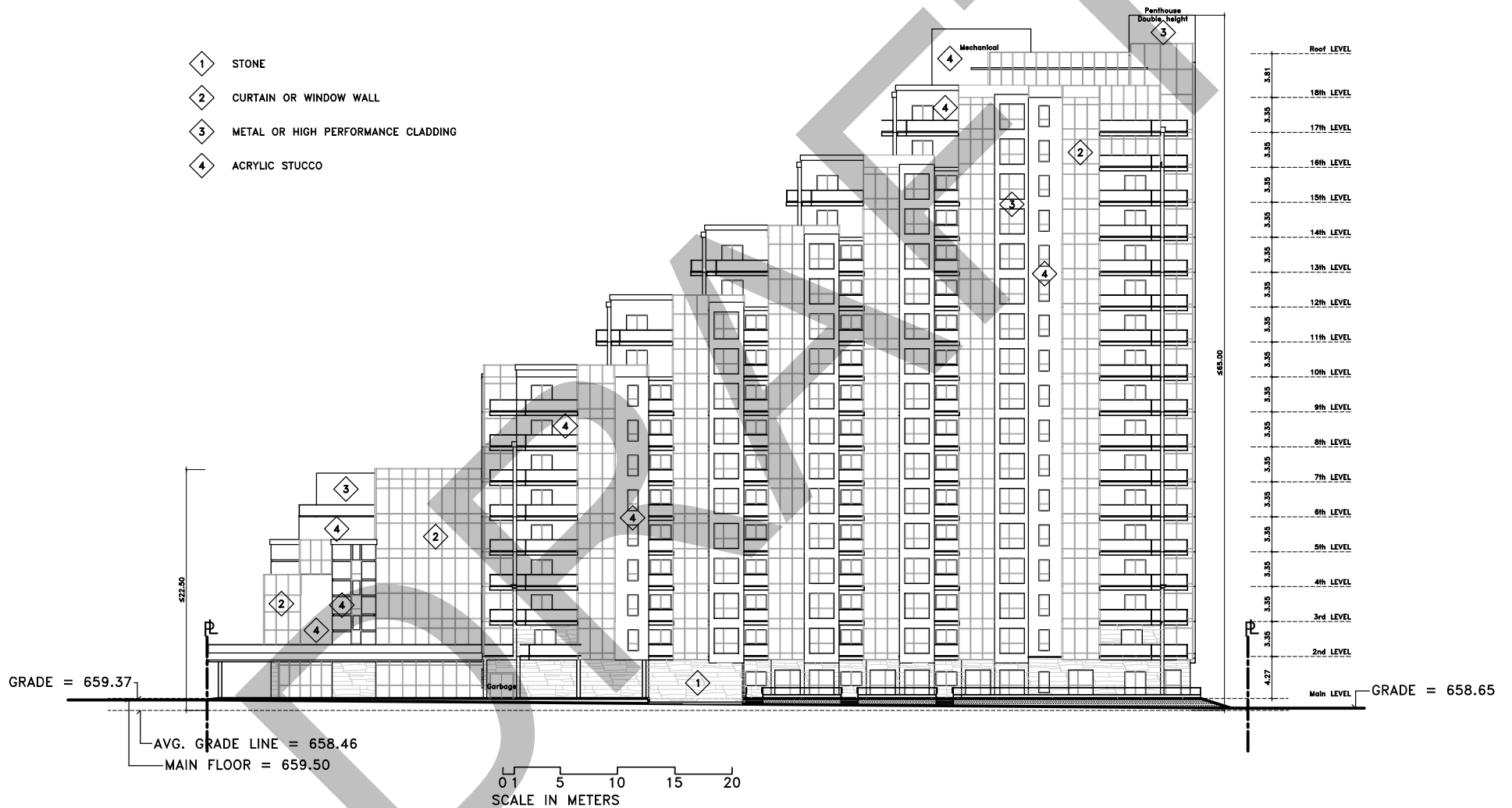




BUILDING ELEVATIONS
SOUTH FACADE (VIEW FROM 101 AV)



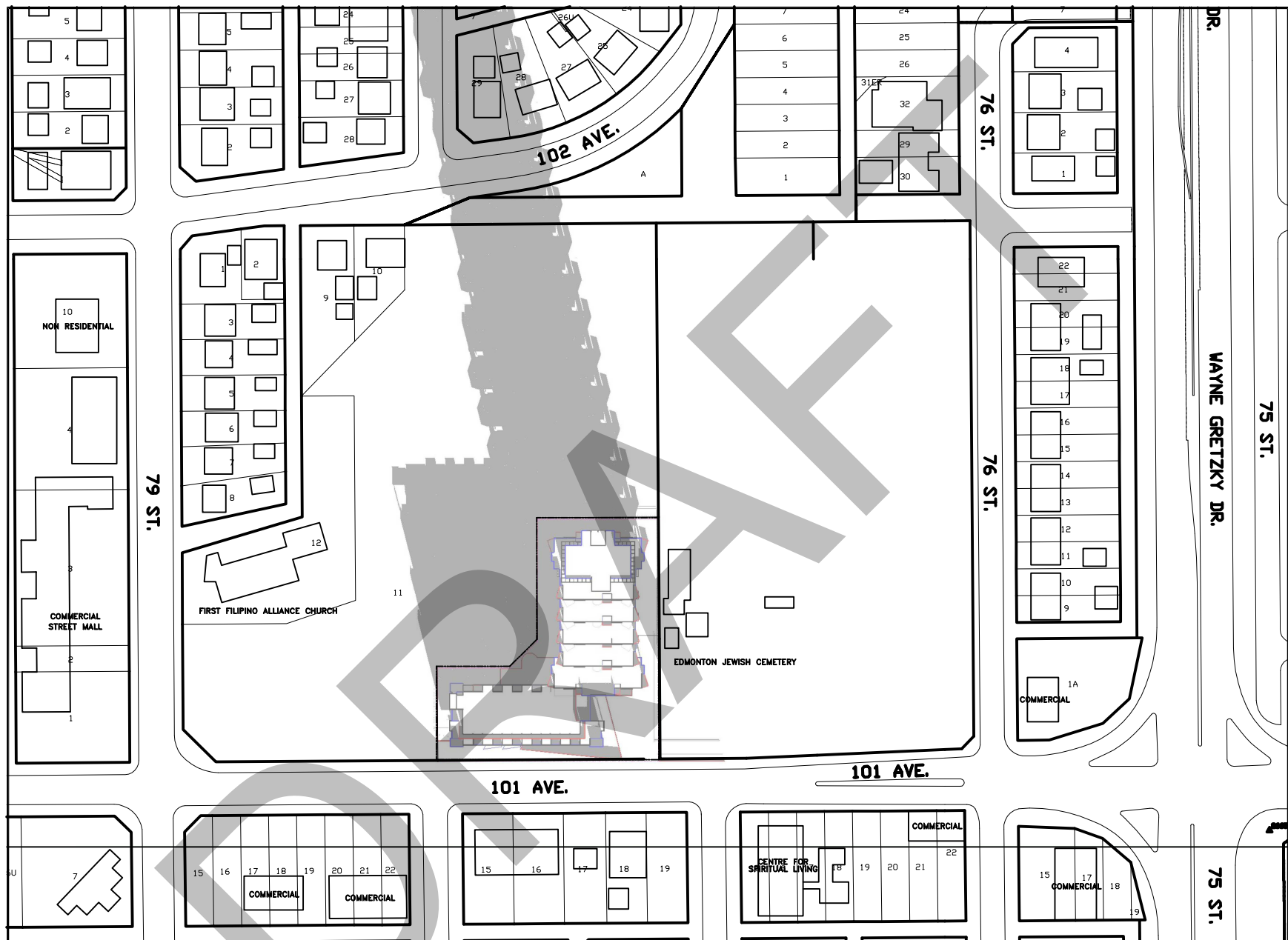
BUILDING ELEVATIONS
NORTH FACADE (VIEW FROM PARK)



BUILDING ELEVATIONS
EAST FACADE (VIEW FROM CEMETERY)



BUILDING ELEVATIONS
WEST FACADE (VIEW FROM PARK)

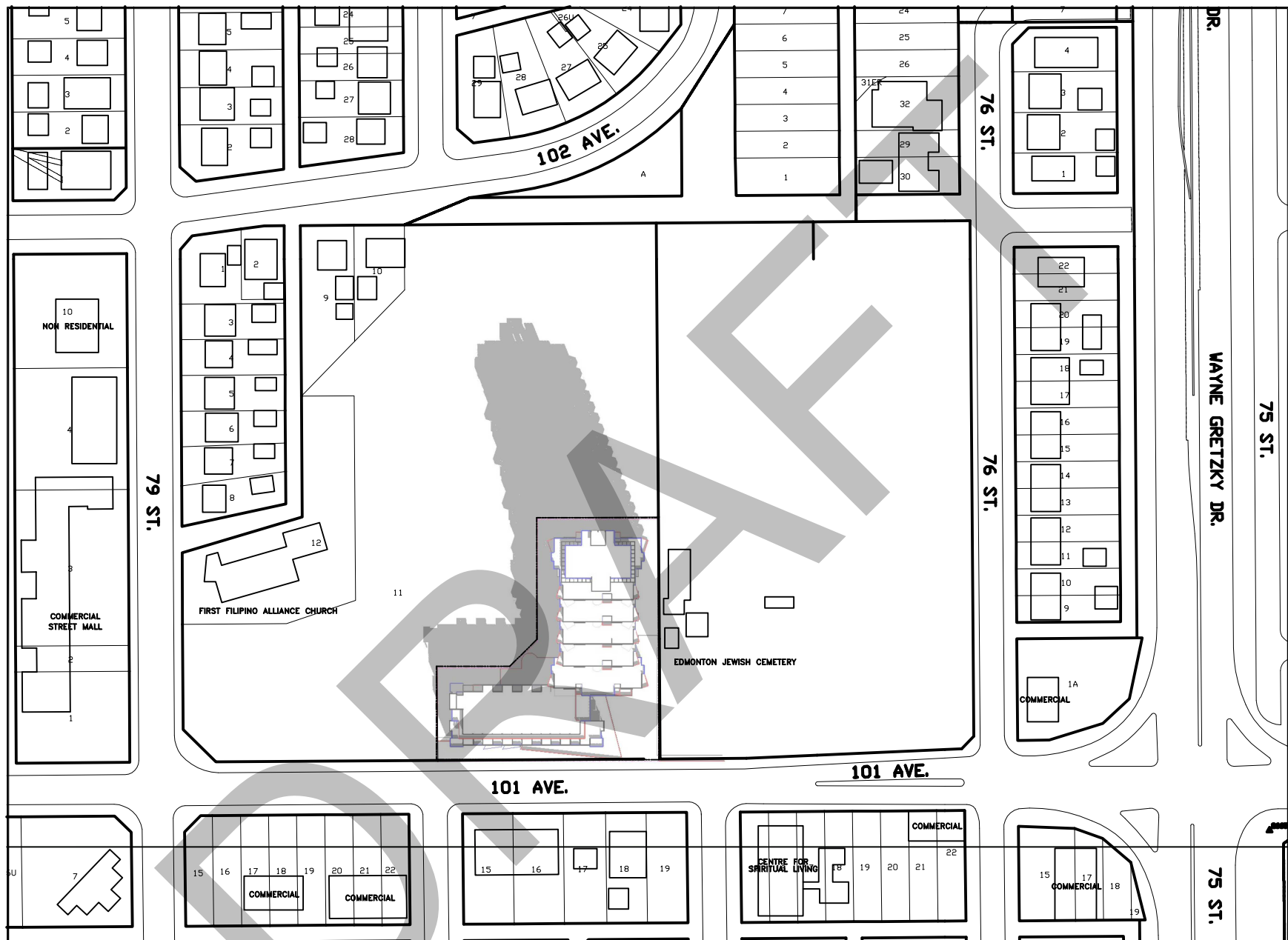


SUN STUDY
DECEMBER 21. 12:30 PM

APPENDIX 9
12-28-15

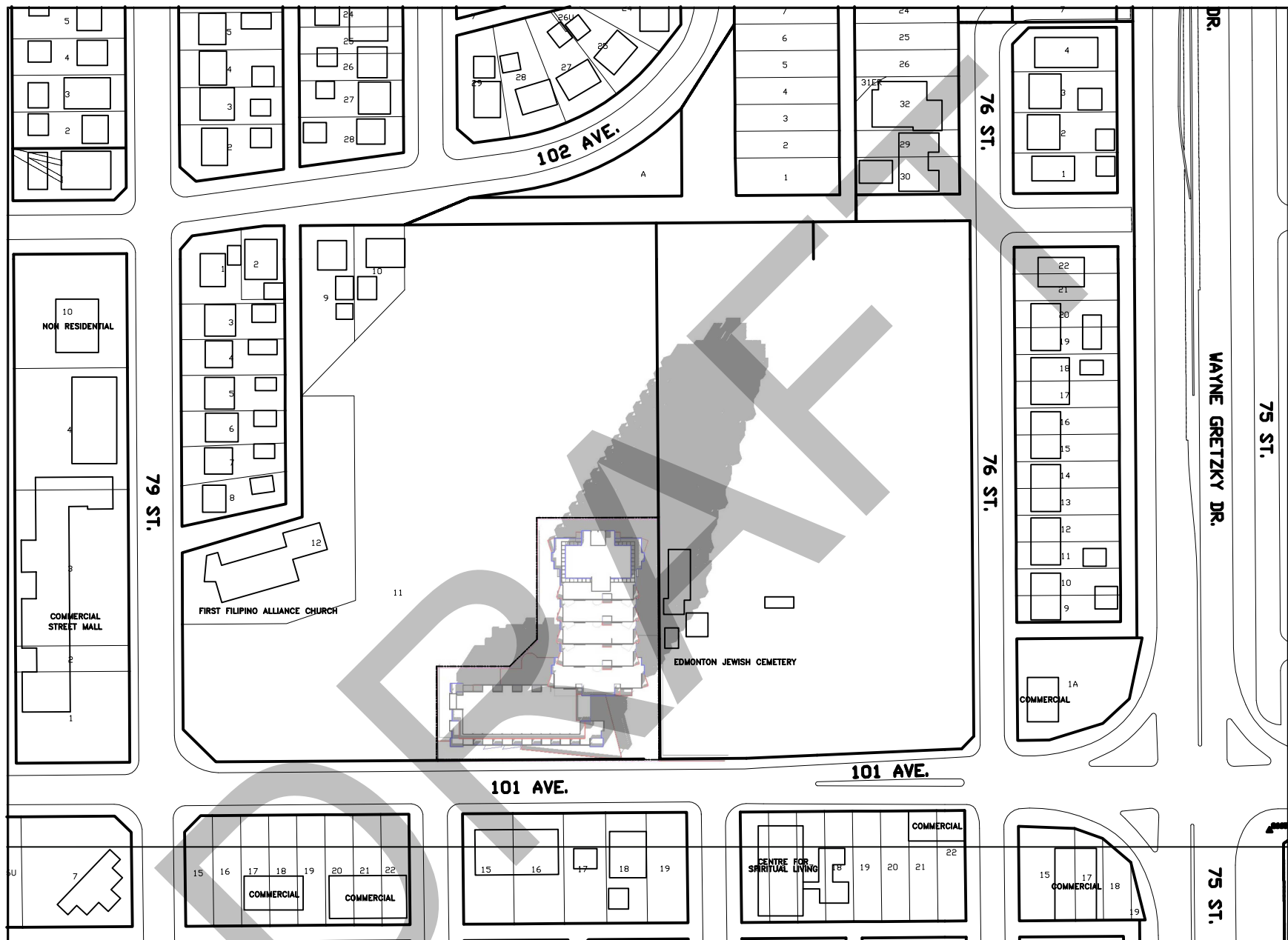


SUN STUDY
DECEMBER 21. 3:30 PM



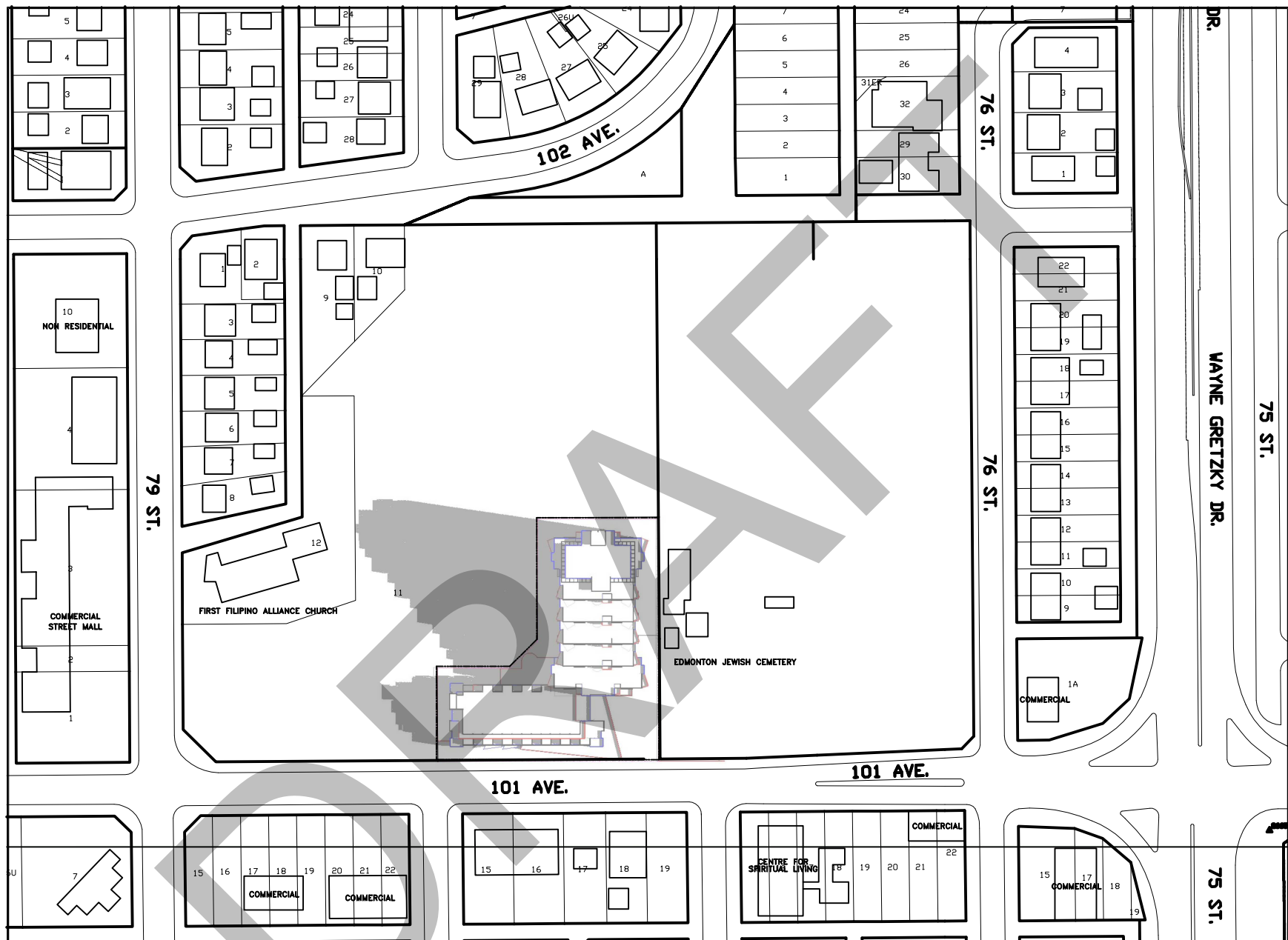
SUN STUDY
MARCH/SEPT 21. 12:30 PM

APPENDIX 12
12-28-15



SUN STUDY
MARCH/SEPT 21. 3:30 PM

APPENDIX 13
12-28-15



SUN STUDY
JUNE 21. 9:30 AM



SOUTH EAST VIEW (FROM 101 AV)



NORTH WEST VIEW (FROM THE PARK)



SOUTH WEST VIEW (FROM 101 AV)



WEST VIEW (FROM THE PARK)



WINTER SOUTH EAST VIEW (FROM 101 AV)



NIGHT SOUTH EAST VIEW (FROM 101 AV)

Design Component	Sustainable Initiative	Specific Target
Sustainable Sites	Storm water Management	The development shall implement a storm water management plan that results in a 25% decrease in the rate and quantity of storm water runoff when compared to the existing site.
	Heat Island Effect	A minimum of 50% of the building roof area shall be covered with high emissivity roofing (emissivity of 0.9 or greater), vegetated roofing, or a combination thereof.
	Light Pollution Reduction	The development shall avoid light trespass from the building and site onto neighbouring properties, with the exception of adjacent public areas requiring lighting for reasons of security and shall meet or exceed the requirements of the Illuminating Engineering Society of North America (IESNA RP-33-99) or most recent version.
Water Efficiency	Water Efficient Landscaping	The design shall apply high-efficiency irrigation technology, captured rain water, and/or drought tolerant landscaping to reduce potable water consumption for irrigation by 50% over conventional means, factored over the course of a typical year.
	Innovative Wastewater Technologies	The design shall reduce the use of municipally provided potable water for building sewage conveyance by 20% as calculated per the Canadian Green Building Council LEED Reference Guide 2009 or most recent version (not including irrigation).
	Water Use Reduction	The design shall employ strategies that in aggregate use 20% less potable water than water use baseline calculated for the building per the Canadian Green Building Council LEED Reference Guide 2009 or most recent version (not including irrigation).
Energy and Atmosphere	Reduced Energy Consumption	The design shall reduce energy consumption by 24% over the comparable Canadian Model National Energy Code for Buildings (1997) or most recent version.
	Lighting	Lighting in all residential common areas and commercial areas shall exceed the efficiency specified in the Model National Energy Code for Buildings (1997) or most recent version by 10%.
Materials and Resources	Recycled Content	The design shall specify building materials such that 7.5% of the total value of materials used in the development consists of post-industrial and post-consumer recycled materials.
	Regional Materials	The design shall specify building materials such that 80% of all aggregates used in the development are extracted, processed and manufactured within 800 km of the development.
Indoor Environmental Quality	Low-Emitting Materials	The design shall specify paints with VOC emissions that do not exceed the VOC and chemical component limits of Green Seal's Standard SS-11 January 1997 (or most recent version) requirements or acceptable alternate standard.