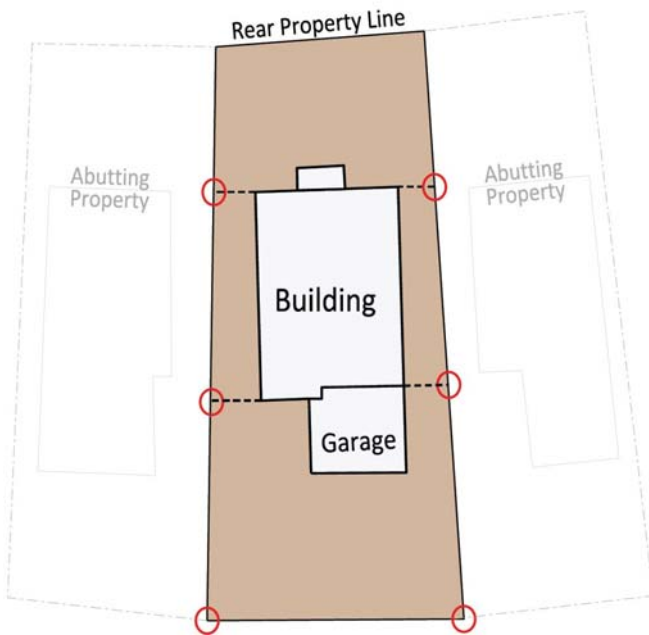


52. *Height & Storeys*

1. In determining whether a development conforms to the maximum Height and Storeys permissible in any Zone, the applicant shall submit all information the City requires to evaluate the application, including:
 - a. Information to assess which method to use to determine the average Grade Elevation;
 - b. Scale elevation drawings, showing Grade Elevation of the finished level of the floor at or nearest Grade, and the dimensions of the building from that point to the roof peak.
2. In determining the starting point to measure Height, the Development Authority shall take into consideration the Site characteristics such as the size and topography of the Site, the proposed design Grade Elevation of the Site relative to the existing Grade Elevation of abutting Sites, the pre-construction Grade of the Site, and the locations of access to the building, and choose the method that matches the description as closely as possible to one of the four standard methods listed below:
 - a. For sites where the applicant proposes a walkout Basement, drive-under garage, or similar feature, the Development Authority shall use the Grade Elevation at the following locations:
 - i. Two corners where the side property line intersects the front property line
 - ii. The intersection of the side property line and a line drawn parallel to the front face of the building (behind the front-attached garage, if applicable)
 - iii. The intersection of the side property line and a line drawn parallel to the rear face of the buildingto determine average Grade Elevation.



- b. For large Sites, and Sites with undulating terrain, if the applicant can show by reference to reliable topographical maps that the elevation of the Site varies by no more than one meter in 30 linear meters, the Development Authority may determine average Grade Elevation by calculating the average of the highest and lowest Grade Elevation on the Site;

Possible options for replacement of this method include:

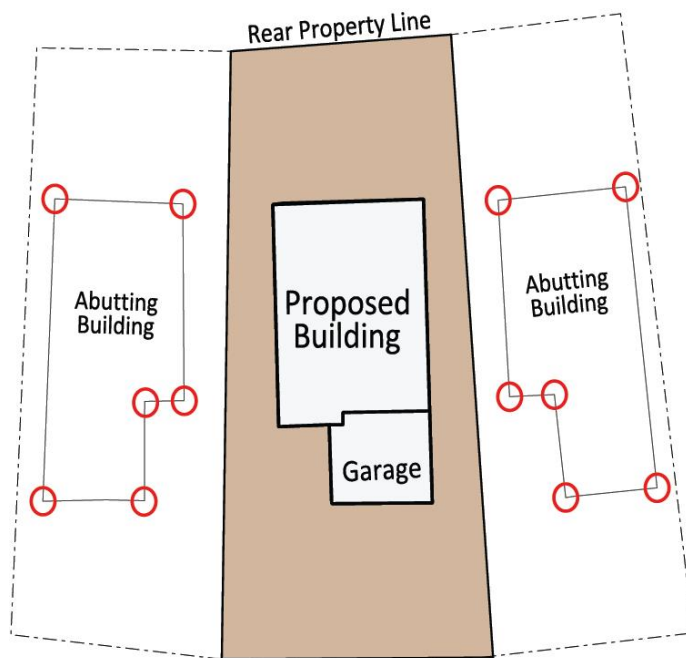
(a) On Sites greater than 1.4ha, Sites containing multi-family development, or Sites containing multiple buildings on a site, the Development Authority may determine average Grade Elevation by adding together the Grade Elevation at each corner of the Site abutting a Street

and each corner of the proposed building closest to the Street(s), and dividing by the total number of corners that were added together.

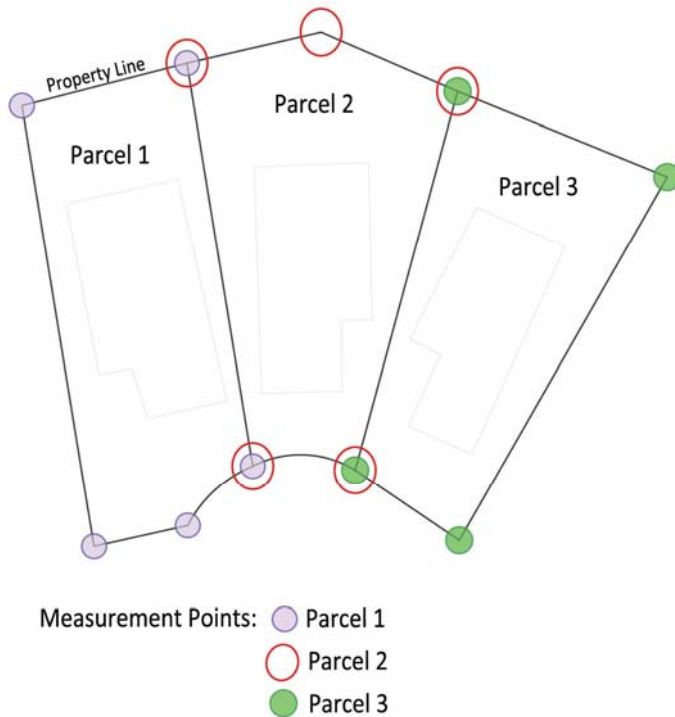
(b) On Sites greater than 1.4ha, Sites containing multi-family development, or Sites containing multiple buildings on a site, the Development Authority may determine average Grade Elevation at the corners of the Site prior to construction as shown on the applicant's grading plan. The finished level of the floor at or nearest Grade, measured at the midpoint of the longest side(s) of the proposed building, shall not have a Grade Elevation greater than 2 metres above the average Grade Elevation at each corner of the Site.

(c) Delete this method without replacement; go to Class B for developments that cannot meet the Corners method

- c. For Sites where the applicant is proposing a building on Top of Bank, or the applicant is proposing an infill building where Grade on the abutting Sites is raised above the corners of the lot in such a way that the corners of the lot are not an accurate reflection of the typical Grade Elevation on the Site, the Development Authority may determine average Grade Elevation by calculating the Grade Elevation of the corners of the buildings on all properties sharing a Side Lot Line and dividing by the total number of corners that were added together;



- d. For all other Sites the Development Authority may determine average Grade Elevation by calculating the average of the Grade Elevation at the corners of the Site prior to construction as shown on the applicant's grading plan;
- A grading plan that shows the Grade Elevation of the Site at each corner of the lot(s)
 - This plan is not required for any proposed residential development that has a floor area less than 47 square metres.
 - A grading plan for any other development greater than 47 square metres may be required at the sole discretion of the Development Authority.



- e. There may only be one starting point in a Class A application. If doubt arises concerning the measurement of the Height or determination of Grade Elevation due to irregular/atypical site conditions or building design, Grade Elevation shall be determined by the Development Authority by another method and applying the Zoning Bylaw as closely as possible given the circumstances of the application. In such cases, the application shall be considered a Class B development
3. In determining whether a development conforms to the maximum Height permissible in any Zone, the following regulations apply:
 - a. Once the average Grade Elevation is determined, the Development Authority shall measure the Height of the building. Height shall be measured between the average Grade Elevation and the highest point on the building, including the parapet if applicable, except:
 - i. In all zones:
Chimney stacks, steeples, belfries, domes, or spires; masts, flag poles, clearance markers or other similar erections; monuments, skylights and/or fire walls shall not be considered for the purpose of Height determination.
 - ii. In all zones that do not list Single Detached Dwelling as a Permitted use, and are not in the RF5 Zone or the Urban Character Row Housing zone:
Elevator housings, roof stairways or rooftop access; water tanks and other tanks; heating ventilating and air conditioning (HVAC) equipment; and receiving or transmitting structures shall not be considered for the purpose of Height determination.
 - iii. In zones that list Single Detached Dwelling as a Permitted use and are in the RF5 zone or the Urban Character Row Housing zone:
The maximum Height of receiving or transmitting structures, where these are Satellite Signal Receiving Antennas or Amateur Radio Antennas and Support Structures, shall be calculated in accordance with the regulations of subsections 50.4 and 50.5, respectively, of

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this Bylaw. The maximum Height for all other receiving or transmitting structures, other than those which may normally be required for adequate local television reception, shall be the maximum Height in the Zone, and not the maximum Height for Accessory Buildings in Residential Zones specified in subsection 50.3(2);

- b. notwithstanding clauses above mentioning transmitting structures, any developments shall comply with, as applicable:
 - i. the requirements for Radiocommunication and Broadcasting Antenna Systems established by Industry Canada
 - ii. the requirements for operation of the Alberta Government Telephones microwave beams;
 - iii. the most current policy C471: Policy for Siting Telecommunications Facilities
 - iv. any other relevant legislation.
- 4. In zones having a maximum Height of 16.0 metres or less the Development Authority may permit an increase to the maximum Height of the zone, as modified by an overlay if applicable, in the following situations:
 - a. In zones that list Single Detached Dwelling as a Permitted use, and the RF5 zone, a building that has a roof slope of 1/12 or less (4.76° slope) may increase Height by up to 2.5 metres, and may increase the maximum number of Storeys by one Storey, provided that the top Storey is Stepback from the exterior walls of the building a minimum of 13.33/12 (48° slope) and occupies no more than 60% of the Floor Area of the Storey directly below. Variances to the Stepback and the restriction on Floor Area of the top Storey shall be processed as a Class B application;
 - b. Where an application proposes a building with a roof slope between 2/12 and 4/12 inclusive, the maximum number of Storeys by one Storey;
 - c. Where an applicant proposes a building or accessory structure with a gable or hip roof having a roof pitch of 5/12 or steeper the Development Authority may allow an increase in the maximum number of Storeys by one and an increased Height by the following amounts:

5/12	1.0m
8/12	1.6m
10/12	2.0m
12/12	2.4m
18/12	3.6m
 - d. Where an applicant proposes a building with a mansard, gambrel, shed roof, butterfly roof, saddle roof, or curved roof, the Development Authority may allow an increased Height in addition to the Height in the zone by 1.0m.
- 5. In determining whether a development conforms to the maximum number of Storeys permissible in any Zone, the following regulations apply:
 - a. A Basement shall be considered to be a Storey if the Height between the finished level of the floor at or nearest Grade, and the Grade Elevation adjoining the walls is greater than 1.83 metres and is located on a Site that is not within the boundaries of the Mature Neighbourhood Overlay
 - b. Notwithstanding 5.a. above, a Basement shall be considered to be a Storey if an applicant proposes a Single-detached Dwelling, Semi-detached Dwelling, Duplex Dwelling, Row Housing, or Stacked Row Housing with a drive-under garage or walk out Basement
- 6. When the Development Authority requires information pursuant to Section 14.10(1) the Development Authority shall, pursuant to the information received, and to his or her satisfaction:
 - a. impose any conditions, whether for a Permitted or a Discretionary Use, that are necessary to ensure that the Site is suitable for the full range of uses contemplated in the Development Permit application; or

- b. refuse to approve a Development Permit, whether for a Permitted or Discretionary Use, if the Development Authority determines that the Site is not suitable for the full range of uses contemplated in the Development Permit application.