

APPROVED

As to Form _____
CITY SOLICITOR

Bylaw 16733

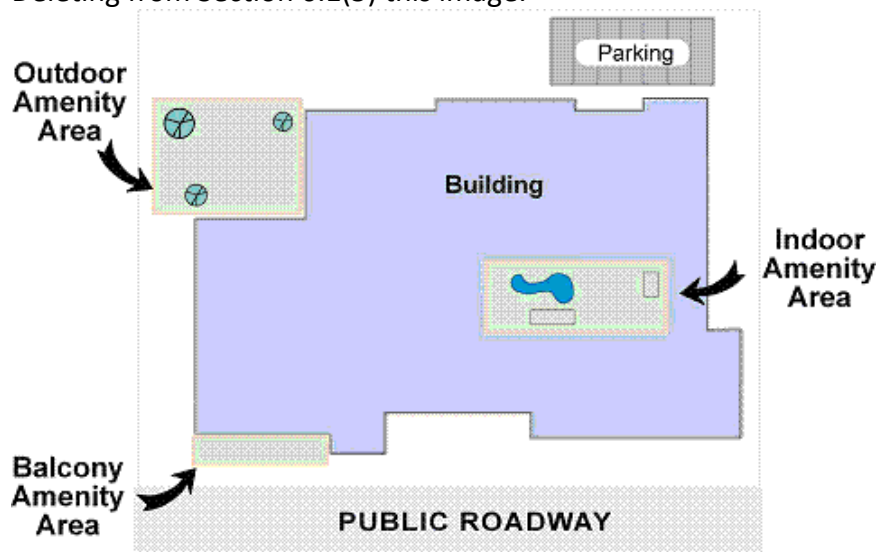
A Bylaw to amend Bylaw 12800, as amended,
The Edmonton Zoning Bylaw
Amendment No. xxxx

WHEREAS City Council at its meeting of February 22, 2001, gave third reading to Bylaw 12800, as amended; and

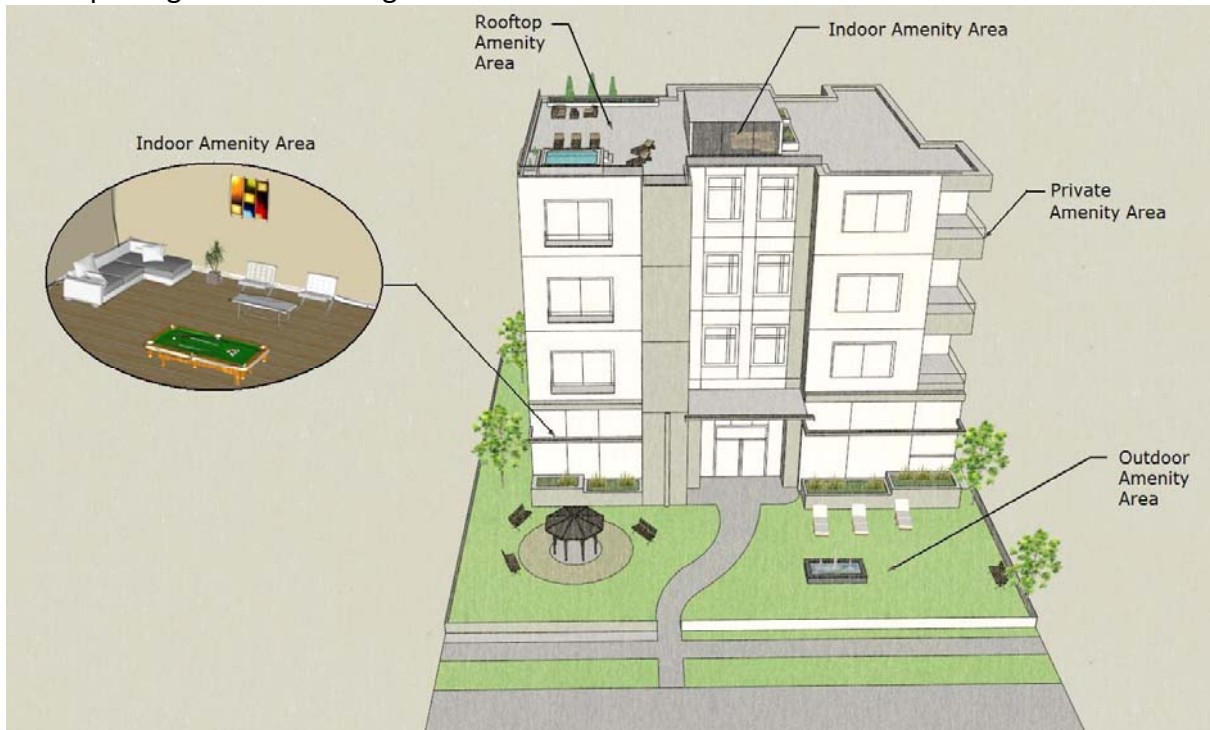
WHEREAS Council considers it desirable to amend the text of the Edmonton Zoning Bylaw;

NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act RSA 2000, ch. M-26, as amended, the Municipal Council of the City of Edmonton duly assembled enacts as follows:

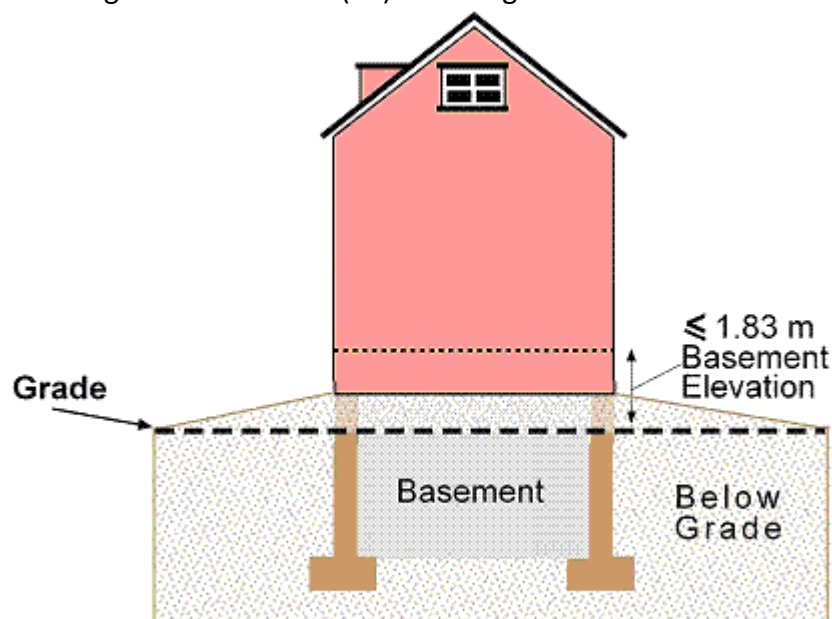
1. Bylaw 12800, as amended, The Edmonton Zoning Bylaw is hereby further amended by:
 - a. Deleting from Section 6.1(5) this image:



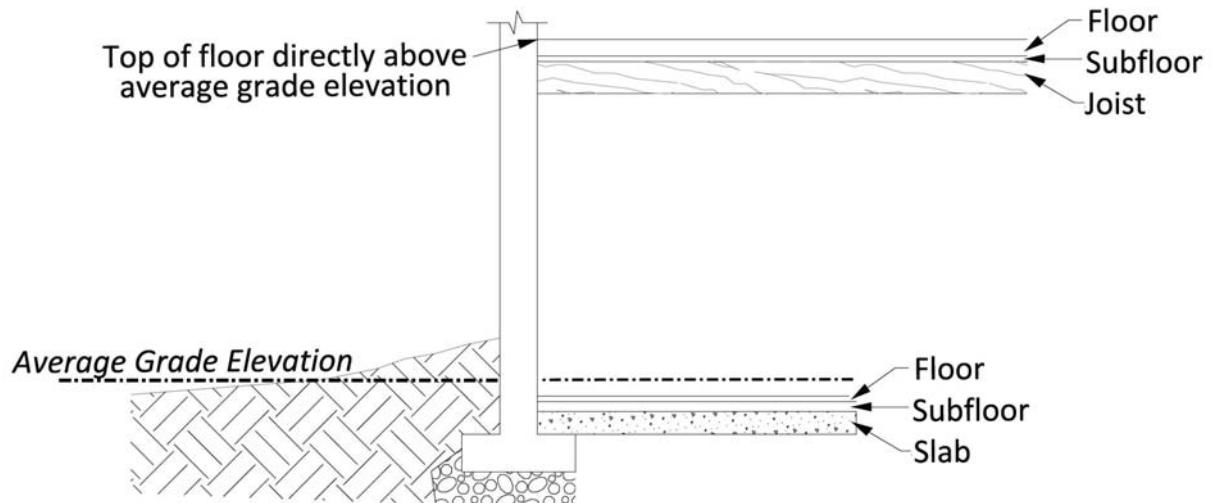
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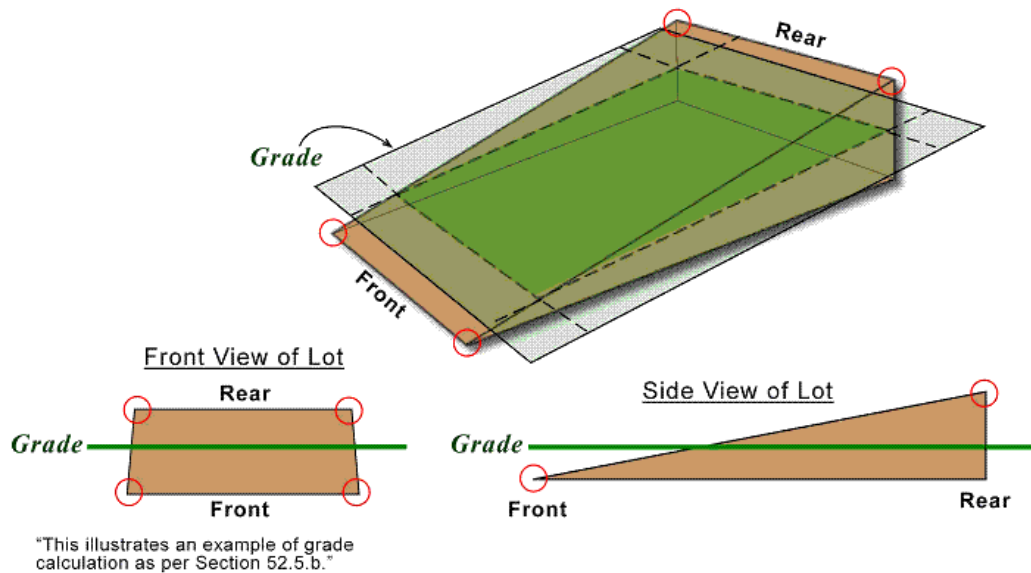
- b. Deleting from Section 6.1(10) "Basement means the portion of a building or structure which is wholly or partially below grade, having above grade no more than 1.83 m of its clear Height which lies below the finished level of the floor directly above;" and replacing it with "Basement means the portion of a building between the top of the floor on the level that is directly above the average Grade Elevation of the Site and the top of any floor below the floor that is directly above the average Grade Elevation of the Site;"
- c. Deleting from Section 6.1(10) this image:



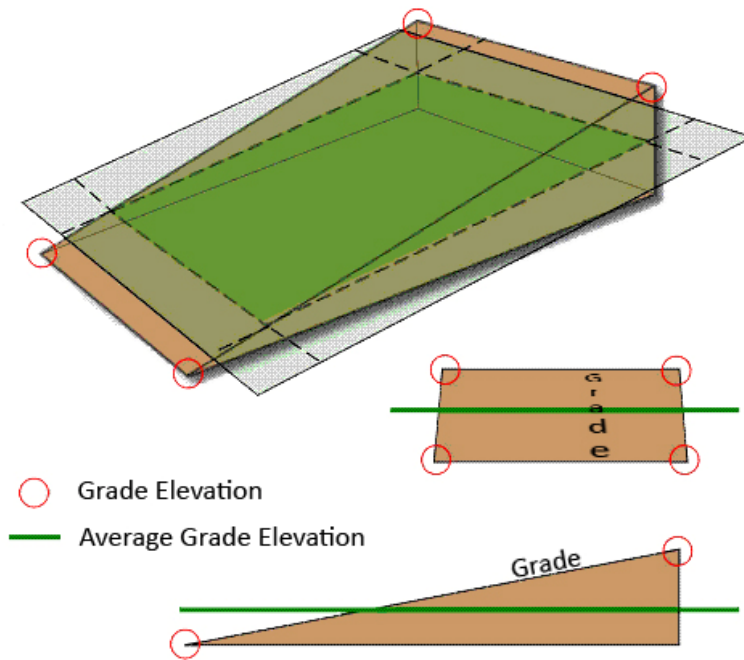
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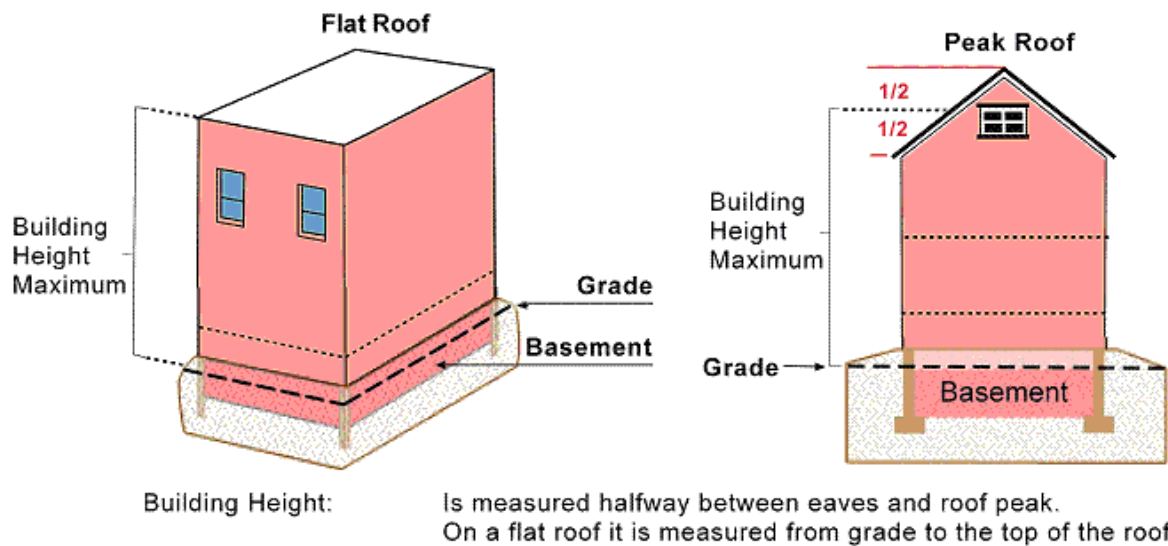
- d. Deleting from Section 6.1(42) Grade "means a geodetic elevation from which the Height of a structure is measured, calculated in accordance with Section 52." and replacing it with "means the slope or surface gradient of the finished ground surface".
- e. Deleting from Section 6.1(42) Grade this image:



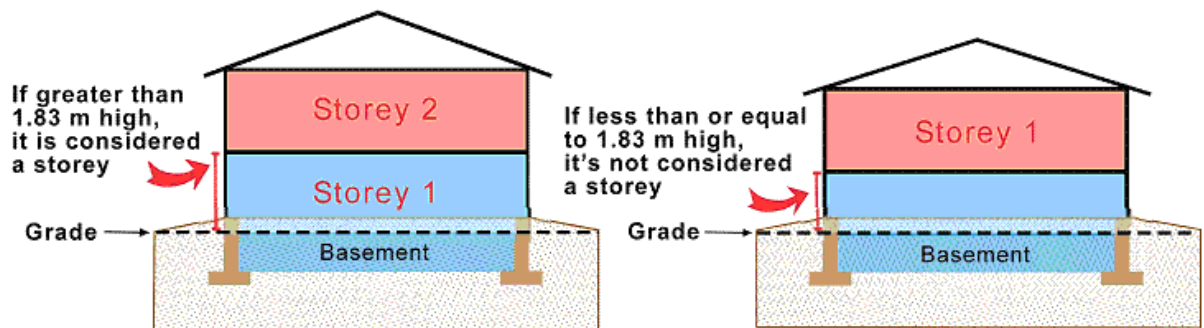
and replacing it with this image:



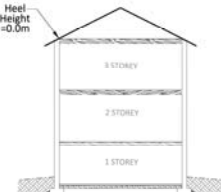
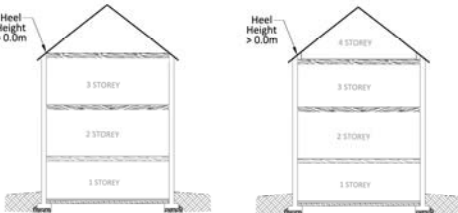
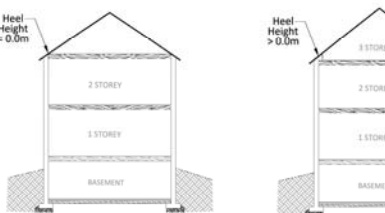
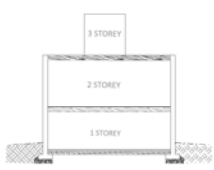
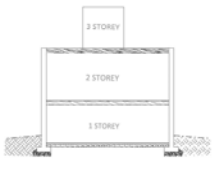
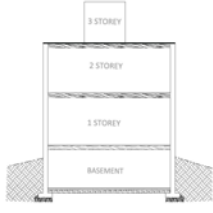
- f. Deleting from Sections 6.1(33), 6.1(35), 6.1(72), 6.1(79), 6.1(93), 6.1(110), 6.2(19), 7.2(7), 7.2(10), 7.4(39), 12.2, 13.4, 42, 46, 47, 48.3.4, 50, 54.1, 54.2, 54.7, 55, 80, 86, 160, 170, 250, 310, 320, 330, 340, 360, 570, 571, 572, 573, 574, 815, 816, 819, 821, 823.3, 910, 910.5, 910.6, 910.7, 910.8, 910.9, 910.10, 910.11, 910.12, 920.10, 940.5, 940.6, 940.8, 940.9, 950.7, 960.4, 960.5, 980, 995, Schedule 59B, Schedule 59C, Schedule 59F, Schedule 59I, and Glossary, all instances of “grade” and replacing it with “Grade”.
- g. Adding alphabetically in Section 6.1 “Grade Elevation means the Height above assumed sea level of a specific point on Grade in reference to a known geodetic datum or geodetic elevation” and renumbering accordingly.
- h. Deleting from Section 6.1(47) Half Storey in its entirety, and renumbering accordingly.
- i. Deleting from Section 6.1(49) “Height means, when used with reference to a building or structure, the vertical distance between the horizontal plane through grade and a horizontal plane through: the highest point of the roof in the case of a building with a flat roof or a roof having a slope of less than 20 degrees; and The average level between eaves and ridges in the case of a pitched, gambrel, mansard or hipped roof, or a roof having a slope of more than 20 degrees; provided that in such cases the ridge line of the roof shall not extend more than 1.5 m above the maximum permitted building Height of the Zone or in the case of a Garage Suite the maximum permitted building Height in accordance with Section 87 of this Bylaw.” and replacing it with “Height means a vertical distance between two points”.
- j. Deleting from Section 6.1(49) this image:



- k. Deleting from Section 6.1(98) "Storey means that portion of a building, which is situated between the top of any floor and the top of the floor next above it. If there is no floor above, the Storey is the portion of the building, which is situated between the top of any floor and the ceiling above it. If the top of the floor directly above a Basement is more than 1.83 m above grade, such Basement shall be considered a Storey for the purpose of this Bylaw;" and replacing it with "Storey means a level of a building situated between the top of any floor and the next floor, ceiling or roof immediately above it. Heel Height greater than 0.0 metres"
- l. Deleting from Section 6.1(98) this image:



and replacing it with this image:

	DRIVE UNDER GARAGE/ WALKOUT BASEMENT	FLAT SITE, BASEMENT >1.83 m OR 1.2 m IN MNO	FLAT SITE, BASEMENT <1.83 m OR 1.2 m IN MNO
PITCHED			
FLAT			

- m. Deleting from Section 12.2(16) "0.6 m," and replacing it with "0.6 m above Grade,"
- n. Adding to the end of Section 12.2 "notwithstanding that no development permit is required, any development pertaining to transmitting structures shall comply with, as applicable:
 - a. the requirements for Radiocommunication and Broadcasting Antenna Systems established by Industry Canada
 - b. the requirements for operation of the Alberta Government Telephones microwave beams;
 - c. the most current policy C471: Policy for Siting Telecommunications Facilities
 - d. any other relevant legislation."

and renumbering accordingly

- o. Deleting from Sections 13.4(1)(g)(viii), 13.4(2)(b)(ii), 13.4.(4)(c)(ii), 13.4(7)(c), "the clearance from grade from the lowest point of the proposed sign" and replace it with "the clearance between the top of the pile foundation, which is typically a maximum of 20cm above Grade, and the lowest portion of the proposed Sign;"
- p. Adding after Section 14.2(2) "The preliminary engineering study provides a screening-level estimation of potential wind conditions. If the preliminary Wind Impact Statement indicates that uncomfortable or unsafe wind conditions (see table below) may result from the building design, the City may require the applicant to submit a detailed Wind Impact Study for proposed buildings taller than six storeys in order to quantify these conditions or refine any conceptual mitigation measures using physical scale model tests.

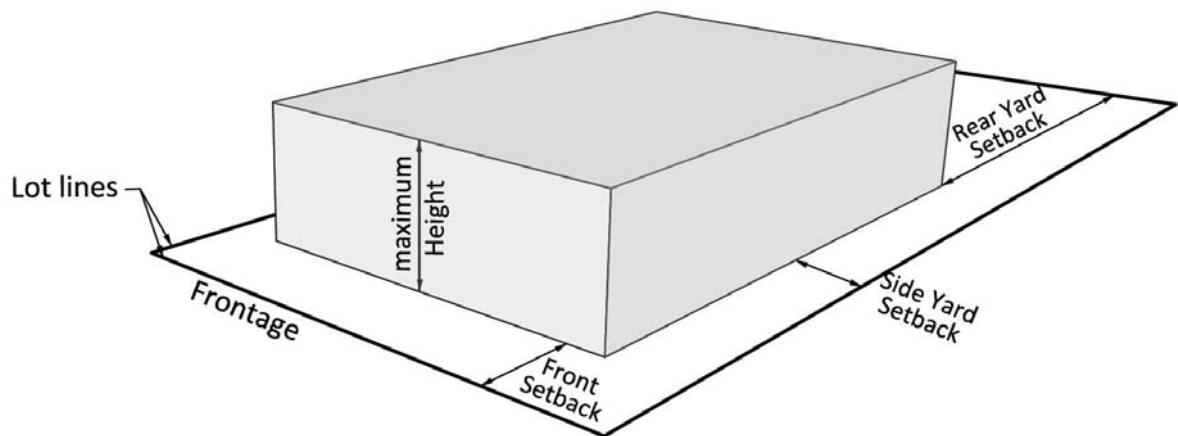
The preliminary or detailed Engineering Study shall use the following set of criteria to determine the relative level of pedestrian wind comfort for activities such as sitting, standing, or walking.

Comfort Category	Description
Sitting	Calm or light breezes desired for outdoor restaurants and seating areas where one can read a paper without having it blown away
Standing	Gentle breezes suitable for main building entrances and bus stops

Strolling	Moderate winds that would be appropriate for window shopping and strolling along a downtown street, plaza or park
Walking	Relatively high speeds that can be tolerated if one's objective is to walk, run or cycle without lingering
Uncomfortable	Strong winds of this magnitude are considered a nuisance for most activities, and wind mitigation is typically recommended
Unsafe	Excessive gust speeds that can adversely affect a pedestrian's balance and footing. Wind mitigation is required.
Notes: (1) Safety based on wind speeds not exceeding 9 hours annually or 0.1% of the time for 24 hours a day.	

This study shall be evaluated based on the difference in wind speeds between the initial Site condition and the Site condition with the proposed building massing. The Development Officer may require changes to the building design to mitigate wind speeds, or implement the recommendations of the Preliminary or Detailed Engineering study”.

- q. Adding after Section 14.3(2) “This study shall be evaluated based on the difference in shadowing, during the March equinox, between the allowable three-dimensional building massing, and the proposed three-dimensional building massing. The Development Officer may require changes to the proposed development or may refuse to grant a variance based on that information.”



- r. Deleting from Section 14.4(1) “, the building and all openings, to be referenced to Geodetic Elevations. Geodetic elevation means the elevation of a point and its vertical distance determined by employing the principles of geodesy above or below an assumed level surface of datum.” and replacing it with “and the Grade Elevation of the lowest point of all openings to the proposed building(s).”
- s. Deleting from Sections 14.4(1), 87.14(a), 810.4(a) “Grade elevation” and replacing it with “Grade Elevation”
- t. Adding at the end of the list in Section 14 “
14.x Drainage Information
1. The Development Officer may require an applicant to submit any information relating to the proposed drainage from a Site, including but not limited to: lot grading plans, site mechanical plans, flood control plans, stormwater management plans and calculations, or similar plans,

drawings or engineering reports that, in the opinion of the Development Officer, are required to determine if the Site is suitable for the full range of uses contemplated in the Development Permit application.

- u. Deleting from Section 44.1(a) “verandas, porches,”
- v. Deleting from Sections 50.3(2), 50.4(2)(a) “nor one Storey”
- w. Adding at the end of the list in Section 50.6(1) “where applicable, be in accordance with the most current City Policy C471 - Policy for Siting Telecommunications Facilities”
- x. Deleting Section 52 (Height) in its entirety, and replacing it with the following:

[see attached for now]
- y. Deleting from Section 55.3.h “existing and final Site grading, including the established lot boundaries, elevations, berming shown in half-metre contours, direction of Site drainage, proposed catch basin rim elevations, top and bottom of retaining wall elevations and existing elevations of plant material to be retained;” and replacing it with “existing grading and final Site grading, including the direction of Site drainage, and berming shown on a grading plan in 0.5 metre contours; and the Grade Elevations of proposed catch basin rim, the corners of the Lot(s), the top and bottom of retaining walls, and of the plant material to be retained;”
- z. Deleting from Section 56.1 and 56.2 “Excavation” and replacing it with “excavation”.
- aa. Deleting from Section 56.2 “A person wishing to excavate, strip or grade land shall provide the following details in his application:” and replacing it with “A person wishing to undertake Site excavation, stripping or grading of land shall provide the following details in the application for a development permit:”.
- bb. Deleting from Sections 110.4(5), 115.4(4), 120.4(6), 130.4(2), 140.4(9), 150.4(4), 160.4(3), 310.4(8), 570.4.1(2), 571.4.1(2), 572.4.1(2), 573.4.1(2), 814.3(13), 950.5(3)(r), 950.6(3)(b), 950.7(3)(b), 950.8(3)(e), 980(5)(i), 995.4(h) “nor 2½ Storeys”
- cc. Deleting from Sections 110.4(5), 115.4(4), 120.4(6), 130.4(2), 140.4(9), 150.4(4), 160.4(3), 240.4(4), 310.4(8), 570.4.1(2), 571.4.1(2), 572.4.1(2), 573.4.1(2), 950.5(3)(r), 950.6(3)(b), 950.7(3)(b), 950.8(3)(e) “10.0 m” and replacing it with “10.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4.”
- dd. Adding after Sections 110.4(5), 115.4(4), 120.4(6), 130.4(2), 140.4(9), 150.4(4), 160.4(3), 310.4(8), 570.3.1(4), 570.4.1(2), 571.4.1(2), 572.4.1(2), 573.4.1(2), 814.3(13), 950.5(3)(r), 950.6(3)(b), 950.7(3)(b), 950.8(3)(e) “The total number of Storeys shall not exceed 2, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4.” and renumbering accordingly.
- ee. Deleting from Section 155.3(11) “The maximum building Height shall not exceed: a. 12.0 m nor 3 storeys for Row Housing, and b. 10.0 m nor 2 ½ storeys for all other uses.” and replacing it with “The maximum building Height shall not exceed: a. 12.0 m for Row Housing; and b. 10.0 m for all other uses; except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4.”

- ff. Adding after Section 155.3(11) "The maximum number of storeys shall not exceed: a. 3 storeys for Row Housing; and b. 2 storeys for all other uses; except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4." and renumbering accordingly.
- gg. Deleting from Table 165.4(2)(iv) "3 Storeys"
- hh. Deleting from Table 165.4(2) "Site Area, Site Dimensions Building Height" and replacing it with "Site Area, Site Dimensions, Building Height and Building Storeys"
- ii. Adding a fifth column "(v) Maximum building Storeys" to Table 165.4(2) as follows:

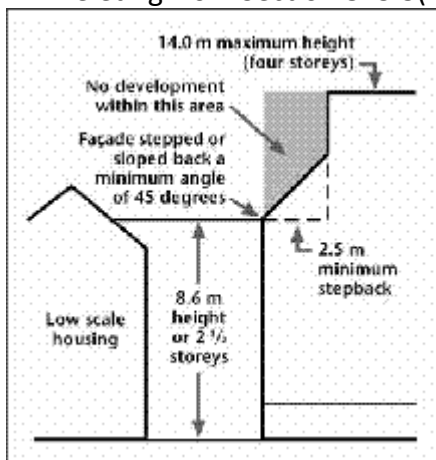
	(v) maximum building Storeys
(a) Row Housing internal Dwelling	3
(b) Row Housing end Dwelling	3
(c) Semi-detached Housing, per Dwelling	3
(d) Stacked Row Housing Development	3

- jj. Adding a note to the end of Table 165.4(2) "Note: except that the Development Officer shall permit an increase to the maximum Height and maximum Storeys if the proposed development satisfies the conditions in Section 52.4."
- kk. Deleting from Sections 170.4(2), 823.5(3)(a) "nor four Storeys"
- ll. Adding after Sections 170.4(2), 823.5(3)(a) "The total number of Storeys shall not exceed 4, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4." and renumbering accordingly.
- mm. Deleting from Sections 170.4(2), 210.4(4), "14.0 m" and replacing it with "16.0m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4."
- nn. Deleting from Sections 170.4(11), 210.4(11), 210.4(11)(a)(i), 220.4(14), 220.4(14)(a)(i), 823.3(1)(e), 823.3(1)(e)(iv) "or 2½ Storeys".
- oo. Deleting from Section 210.4(4) "14.0 m nor 4 Storeys. Floor Area may be developed in attic areas as additional space to a Dwelling, and not counted as a Storey, provided the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height. In cases where dormers or other windows are proposed, the development shall be considered a Discretionary Development." and replacing it with "The maximum building Height shall not exceed 16.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4."
- pp. Adding after Section 210.4(4) "The total number of Storeys shall not exceed 4, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4." and renumbering accordingly
- qq. Deleting from Section 220.4(6), 360.4(5) "nor six Storeys"
- rr. Adding after Section 220.4(6) "The total number of Storeys shall not exceed 6" and renumbering accordingly.

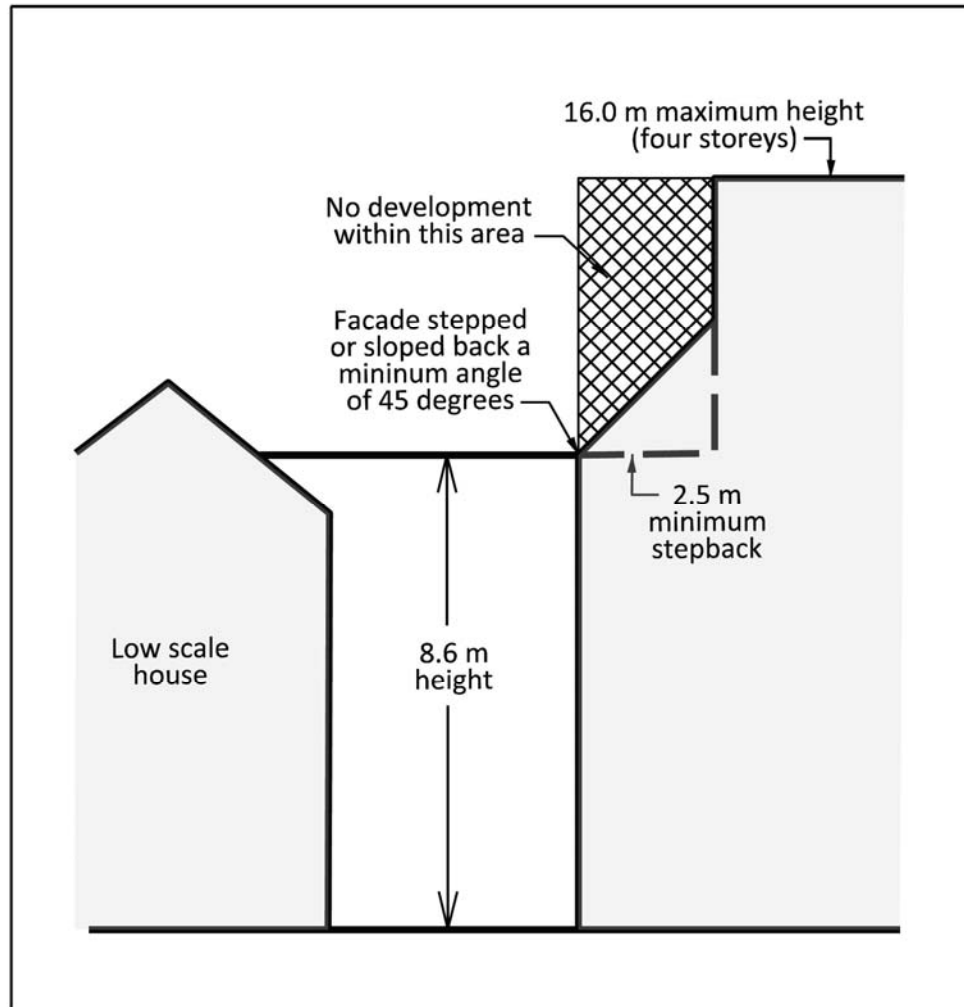
- ss. Deleting from Sections 240.4(4), 310.4(8), 320.4(6), 330.4(9), 350.4(6), 570.3(1)(4) "Building" and replacing it with "building"
- tt. Deleting from Section 250.4(3)(a) "The foundation or basement shall not exceed 1.0 m above grade" and replacing it with "The Height of the finished level of the floor that is directly above the average Grade Elevation of the Mobile Home Lot, and the average Grade Elevation of the Mobile Home Lot within a Mobile Home Subdivision shall not exceed 1.0m".
- uu. Deleting from Section 320.4(6) "be" and replacing it with "not exceed"
- vv. Deleting from Sections 330.4(9), 980(5)(i), 995.4(h) "12.0m" and replacing it with "12.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4."
- ww. Deleting from Sections 330.4(9), 400.4(5), 823.5(2)(a) "nor three Storeys"
- xx. Adding after Sections 330.4(9), 823.5(2)(a), 940.5(5)(d), 940.7(3)(a), 940.9(5)(d), 980(5)(i), 995.4(h) "The total number of Storeys shall not exceed 3, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4." and renumbering accordingly.
- yy. Deleting from Section 340.4(6) "The maximum Building Height shall not exceed 14.0 m nor 4 Storeys except for Hotel Developments and Apartment Hotels" and replacing it with "Excluding Hotel Use and Apartment Hotels Use, the maximum building Height shall not exceed 16.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4."
- zz. Adding after Section 340.4(6) "Excluding Hotel Use and Apartment Hotels Use, the total number of Storeys shall not exceed 4. Hotels and Apartment Hotels do not have a maximum number of building Storeys."
- aaa. Deleting from Sections 340.5(2)(b), 360.4(3), 815.3(2), 823.3(3)(1)(f), 823.5(3)(a), 950.5(3)(b) "14.0 m" and replacing it with "16.0m,
- bbb. Deleting from Section 360.4(5) "nor 10 Storeys"
- ccc. Deleting from Section 370.4(10)(a) "or ten Storeys"
- ddd. Adding after Section 370.4(10)(a) "The total number of Storeys shall not exceed 10, except the total number of Storeys shall not exceed 14 if the requirements of subsection 370.4(10)(c) are met" and renumbering accordingly.
- eee. Deleting from Section 370.4(10)(b) "or fourteen Storeys"
- fff. Adding after Section 370.4(10)(b)(iii)
 - "iv. The proposed development creates a similar or improved wind condition relative to the existing condition at Grade
 - v. Adverse environmental impacts created by sun shadow shall be minimized in accordance with Section 14.3 of this Bylaw.
 - vi. Any development exceeding 36.0 m in Height shall become a Class B Development." and numbering accordingly.

- ggg. Deleting from Section 370.4(10) "Adverse environmental impacts such as sun shadow and wind shall be minimized in accordance with Section 14 of this Bylaw. Any development exceeding 36.0 m or ten Storeys in Height shall become a Class B Development."
- hhh. Adding after Section 400.4(5) "The total number of Storeys shall not exceed 3."
- iii. Deleting from Section 570.3.1(4) "The maximum Building Height shall be 10.m" and replacing it with "The maximum building Height shall not exceed 10.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4."
- jjj. Deleting from Section 571.3(1)(4) "Height shall 10.0 m unless otherwise approved by the Development Officer where deemed appropriate for the Use and having regard to the Height allowed in adjacent Zones." and replacing it with "Height shall not exceed 10.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4. The Development Officer may, notwithstanding subsection 11.4, grant a variance to permit a greater Height for a building where deemed appropriate for the proposed Use and having regard to the Height allowed in adjacent Zones."
- kkk. Deleting from Sections 572.3.1(5), 573.3.1(5) "The maximum Building Height shall be 10.m, except in the case of buildings or structures Accessory to a Farm, other than a single detached Dwelling." and replacing it with "Excluding buildings or structures for Agricultural and Natural Resource Development Uses, the maximum building Height shall not exceed 10.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4. Buildings or structures for Agricultural and Natural Resource Development Uses are not restricted to a maximum Height."
- lll. Deleting from Sections 610.4(5), 620.4(5), 630.4(5) "The maximum building Height shall be 10.0 m, except in the case of buildings or structures Accessory to a Farm, other than a single detached Dwelling." and replacing it with "Excluding buildings or structures for Agricultural and Natural Resource Development Uses, the maximum building Height shall not exceed 10.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4. Buildings or structures for Agricultural and Natural Resource Development Uses are not restricted to a maximum Height."
- mmm. Deleting from Section 810.4(a) ", to be referenced to geodetic elevations. Geodetic elevation is the elevation of a point and its vertical distance, determined by employing the principles of geodesy above or below an assumed level surface or datum;"
- nnn. Deleting from Section 812.1 "the regulation of building Heights and elevations, openings into buildings, Uses of portions of buildings, Grades and Landscaping in addition to the requirements of the underlying Zone in their vicinity." and replacing it with "regulating building Height, the location and geodetic elevation of openings into buildings, the Use in portions of buildings, the design Grade of the Site, Landscaping, and applying the requirements of the underlying Zone to development."
- ooo. Deleting from Section 814.3(13) "8.6 m" and replacing it with "8.6 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4."

- ppp. Deleting from Section 814.3(14) "The Floor Area of the upper half Storey of a 2 1/2 Storey building shall not exceed 50% of the structure's second Storey Floor Area." and replacing it with "Where an increase to maximum Height or Storeys is permitted under Section 52.4, a building's Floor Area of the third Storey shall not exceed 50% of the structure's second Storey Floor Area."
- qqq. Deleting from Section 814.3(16) "The Basement elevation of structures of two or more Storeys in Height shall be no more than 1.2 m above Grade. The Basement elevation shall be measured as the distance between Grade level and the floor of the first Storey." and replacing it with "The Height of the exterior portion of the Basement above Grade shall be determined by subtracting the geodetic elevation of the finished level of the floor that is directly above the average Grade Elevation of the Site from the average Grade Elevation of the Site. The Height of the Basement above average Grade Elevation shall not exceed 1.2 m."
- rrr. Deleting from Section 815.3(2) "or four Storeys and when a fourth Storey is constructed, at least 50% of the upper Storey shall be set back a minimum of 2.0 m from the front wall of the building. In the case of a Corner Lot, this Setback shall apply to both street facing façades. Where the development abuts a property where Single Detached Housing is a Permitted Use, the entire fourth Storey shall be set back a minimum of 2.0 m adjacent to the property where Single Detached Housing is a Permitted Use" and replacing it with "Notwithstanding that an increase to maximum Height or Storeys is permitted under Section 52.4, a building's Floor Area of the fourth Storey shall be Stepback a minimum of 2.0 m from the front wall of the building. In the case of a Corner Lot, this Stepback shall apply to both street facing façades. Where the development abuts a property where Single Detached Housing is a Permitted Use, the entire fourth Storey shall be Stepback a minimum of 2.0 m adjacent to the property where Single Detached Housing is a Permitted Use."
- sss. Deleting from Section 823.3(1) "Building Envelope" and replacing it with "Three-dimensional size of the building, and location on a Site"
- ttt. Deleting from Sections 823.3(3)(1)(f) ", nor four Storeys. Any loft or usable space developed in attic areas as additional space to a Dwelling shall be deemed a Storey."
- uuu. Adding after Section 823.3(3)(1)(f) "The total number of Storeys shall not exceed 4, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4. For the purpose of this subsection, any Basement or attic development which contains a Habitable Room shall be deemed a Storey."
- vvv. Deleting from Section 823.3(1) this image:



And replacing it with this image:



- www. Deleting from Sections 910.5(5)(a)(ii)(E), 910.6(5)(a)(ii)(D), 910.9(5)(a)(iii)(E), 910.11(5)(a)(ii)(C) “The ground floor elevation shall not exceed the elevation of the abutting public sidewalk by” and replacing it with “The geodetic elevation of the top of the floor on the level that is directly above the average Grade Elevation of the Site shall not exceed the Grade Elevation of the abutting public sidewalk by”
- xxx. Deleting from Sections 910.5(5)(a)(ii)(E), 910.6(5)(a)(ii)(D), 910.8(5)(a)(ii)(C), 910.9(5)(a)(iii)(E), 910.10(5)(a)(ii)(C), 910.11(5)(a)(ii)(C) “, at the discretion of the Development Officer where the grade or other site conditions require greater grade separation.”
- yyy. Deleting from Section 910.7(5)(d)(v) “At least 80% of the floor elevation of the ground (first) floor shall be no higher than 0.75 m above the mean Grade of the adjacent public sidewalk or public park, at the property line.” and replacing it with “The geodetic elevation of the floor that is directly above the average Grade Elevation of the Site shall not exceed the Grade Elevation of the abutting public sidewalk by more than 0.75 metres, for a minimum of 80% of the building Frontage.”
- zzz. Deleting from Sections 910.8(5)(a)(ii)(C), 910.10(5)(a)(ii)(C) “Ensure that, for non-residential uses, the ground floor elevation does not exceed the elevation of the abutting public sidewalk by” and replacing it with “For non-residential uses, the geodetic elevation of the floor that is

directly above the average Grade Elevation of the Site shall not exceed the Grade Elevation of the abutting public sidewalk by”

- aaaa. Deleting from Sections 910.8(5)(c)(ii), 910.10(5)(b)(iv), 910.11(5)(b)(iii) “They shall ensure adequate privacy through the provision of screening and at least a 0.75m grade separation above the adjacent City sidewalk.” and replacing it with “To ensure adequate privacy, the applicant shall provide screening to indicate separate individual access to each unit.”
- bbbb. Adding directly after Sections 910.8(5)(c)(ii), 910.10(5)(b)(iv), 910.11(5)(b)(iii) “The geodetic elevation of the floor that is directly above the average Grade Elevation of the Site shall be greater than the Grade Elevation of the abutting public sidewalk by at least 0.75 metres.” and renumbering accordingly.
- cccc. Deleting from Section 910.12(4)(b)(i) “, nor 60 storeys”
- dddd. Adding directly after Section 910.12(4)(b)(i) “The total number of Storeys shall not exceed 60.” and renumbering accordingly.
- eeee. Deleting from Sections 910.12(4)(b)(ii), 950.6, 950.7, 950.8, 980.5, 995.4 “height” and replacing it with “Height”.
- ffff. Deleting from Sections 940.5(5)(d), 940.7(3)(a), 940.9(5)(d) “The maximum Building Height shall not exceed 12.0 m nor 2½ storeys, provided that no eave line shall be higher than 9.0 m from Grade.” and replacing it with “The maximum building Height shall not exceed 12.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4, and provided that no eave line shall have a Height greater than 9.0 m from average Grade Elevation.”
- gggg. Deleting from Section 940.6(5)(l), 940.8(3)(a) “The maximum Building Height shall not exceed 18.0 m nor 4 storeys, provided that no eave line shall be higher than 14.0 m from grade. Floor Area may be developed in attic areas as additional space to a Dwelling, and not counted as a Storey, provided the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height. In cases where dormers or other windows are proposed, the development shall be considered a Discretionary Development.” and replacing it with “The maximum building Height shall not exceed 18.0 m provided that no eave line shall have a Height greater than 14.0 m from average Grade Elevation.”
- hhhh. Adding after Sections 940.6(5)(l) 940.8(3)(a) “The total number of Storeys shall not exceed 4, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4” and renumbering accordingly.”
- iiii. Deleting from Section 950.4(3)(c) “12 storeys nor”
- jjjj. Adding after Sections 950.4(3)(c) “The total number of Storeys shall not exceed 12;” and renumbering accordingly.
- kkkk. Deleting from Section 950.5(3)(b) “nor 4 storeys plus a loft , which must be integrated with the top storey. Floor Area may be developed in attic areas as additional space up to 50% of the Dwellings, and not counted as a storey, unless the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height;”

llll. Adding after Section 950.5(3)(b) "The total number of Storeys shall not exceed 4. Except, where the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height, the total number of Storeys shall not exceed 5, the maximum Floor Area of the 5th Storey shall not be greater than 50% of the Floor Area of the 4th Storey, and the 5th Storey is contained within a gable, gambrel or hip roof;" and renumbering accordingly.

mmmm. Deleting from Section 950.5(3)(r) " or 2 1/2 Storeys" and replacing it with ", except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4."

nnnn. Deleting from Section 960.4(4)(d) "nor 4 habitable storeys plus a loft, which must be integrated with the top storey. Development of a habitable basement will count as a storey. Floor Area may be developed in attic areas as additional space up to 50% of the Dwellings, and not counted as a storey, unless the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height"

oooo. Adding after Section 960.4(4)(d) "The total number of Storeys shall not exceed 4. Except, where the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height, the total number of Storeys shall not exceed 5, the maximum Floor Area of the 5th Storey shall not be greater than 50% of the Floor Area of the 4th Storey, and the 5th Storey is contained within a gable, gambrel or hip roof;" and renumbering accordingly.

READ a first time this	day of	, A. D. 2011;
READ a second time this	day of	, A. D. 2011;
READ a third time this	day of	, A. D. 2011;
SIGNED and PASSED this	day of	, A. D. 2011.

THE CITY OF EDMONTON

MAYOR

CITY CLERK