



Subdivision Authority

5th Floor,  
10250 - 101 Street NW  
Edmonton, Alberta T5J 3P4

March 29, 2012

File No. LDA11-0429

IBI Group  
300, 10830 - Jasper Avenue  
Edmonton, AB T5J 2B3

ATTENTION: Alex Marshall

Dear Mr. Marshall:

RE: Tentative plan of subdivision to create 67 single detached residential lots and one (1) Municipal Reserve parcel from Block 1, Plan 2301 MC; Lot 1, Block A, Plan 1125801; and Blocks C, D, F, and G, Plan 1125408 located west of Windermere Road NW and north of Windermere Boulevard NW; **WINDERMERE**

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**I The Subdivision by Plan is APPROVED on March 29, 2012, subject to the following conditions:**

1. that the owner dedicate Municipal Reserve as a 0.14 ha parcel pursuant to Section 666 of the Municipal Government Act, as shown on the "Conditions of Approval" map, Enclosure I;
2. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act;
3. that the subdivision boundary be amended to exclude a portion of the intersection at Walkowski Way SW and Walkowski Gate SW, as shown on the "Conditions of Approval" map, Enclosure I;
4. that the approved subdivisions within the Windermere Neighbourhood (File Nos. LDA07-0509 and LDA11-0135) be registered prior to or concurrent with this application;
5. that Bylaw 16052 to amend the Edmonton Zoning Bylaw receive third reading prior to the endorsement of this subdivision;
6. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution and Transmission Inc., EPCOR Water Services Inc., and ATCO Gas Ltd., as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
7. that the owner register the walkways as road rights-of-way, as shown on the "Conditions of Approval" map, Enclosure I;
8. that the identified residential lot be withheld from registration until the temporary access connection is no longer required as deemed by the City of Edmonton, as shown on the "Conditions of Approval" map, Enclosure I; and
9. that the owner pay all outstanding property taxes prior to the endorsement of the plan of subdivision.

**II That the Servicing Agreement required in Clause I (2) contain, among other things, the following:**

1. that the owner pay all servicing costs, assessments, roadway, roadway modification costs (including but not limited to sidewalk, shared use path and/or transit infrastructure), construction costs and inspection costs occasioned by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to endorsement of the plan of subdivision;
3. that the owner pay the proportionate share of the Permanent Area Contributions and/or lateral Sewer Oversizing Charges, including Windermere Road SW, for the construction of permanent storm and sanitary drainage facilities in the basin;
4. that the owner pay the proportionate share of the Arterial Roadway Assessment, including Windermere Road SW, for the construction of arterial roadways in the catchment area;
5. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards and to the satisfaction of the City and affected utility agencies;
6. that the owner submit an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the engineering drawings include the construction of a 12 m radius gravel temporary turnaround with bollards or mini-barriers to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I. This turnaround will be required prior to CCC or at the discretion and direction of Transportation Services;
8. that the engineering drawings include the construction of a temporary 4 m wide gravel emergency access with T-bollards to Windermere Road, as shown on the "Conditions of Approval" map, Enclosure I. This emergency access will be required prior to CCC or at the discretion and direction of Transportation Services;
9. that the engineering drawings include the construction of a 1.8 metre uniform screen fence, as shown on the "Conditions of Approval" map, Enclosure I. This emergency access will be required prior to CCC or at the discretion and direction of Transportation Services
10. that the owner submit a driveway plan for the identified lots to ensure that the driveway does not encroach into any portion of the corner radius of the curve, as shown on the "Conditions of Approval" map, Enclosure I;
11. that the owner construct a 3 m hard-surface shared use path with dividing yellow centreline, lighting, bollards, landscaping, and "Shared Use" signage to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
12. that the owner construct a 1.5 m concrete sidewalk with bollards, lighting, and a fence to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
13. that the owner construct all fences positioned wholly on privately-owned lands to the satisfaction of Transportation Services and Sustainable Development, as shown on the "Conditions of Approval" map, Enclosure I; and

14. that the owner is responsible for the design, landscaping and construction within the Public Utility lots, utility rights-of-way, road islands, boulevards, medians, walkways, and Municipal Reserve parcels, to the satisfaction of Transportation Services, Infrastructure Services, and Sustainable Development.

Enclosure I is a map of the subdivision identifying major conditions of this approval.

A 4.7008ha Deferred Reserve Caveat (DRC) was a condition of LDA11-0135. The DRC will be reduced accordingly.

Please be advised that an appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, Office of the City Clerk, 3rd Floor, City Hall, 1 Sir Winston Churchill Square, Edmonton, Alberta, T5J 2R7 within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be five days from the date the decision is mailed.

If you have further questions, please call Mr. Wesley Woo at 780-496-7370 or write to:

**Mr. Wesley Woo, Planner  
Current Planning Branch  
Sustainable Development  
5th Floor, 10250 - 101 Street  
Edmonton AB T5J 3P4**

Yours truly,



*For*

Scott Mackie  
Subdivision Authority

SM/ww/Posse #118344528-001

Enclosure

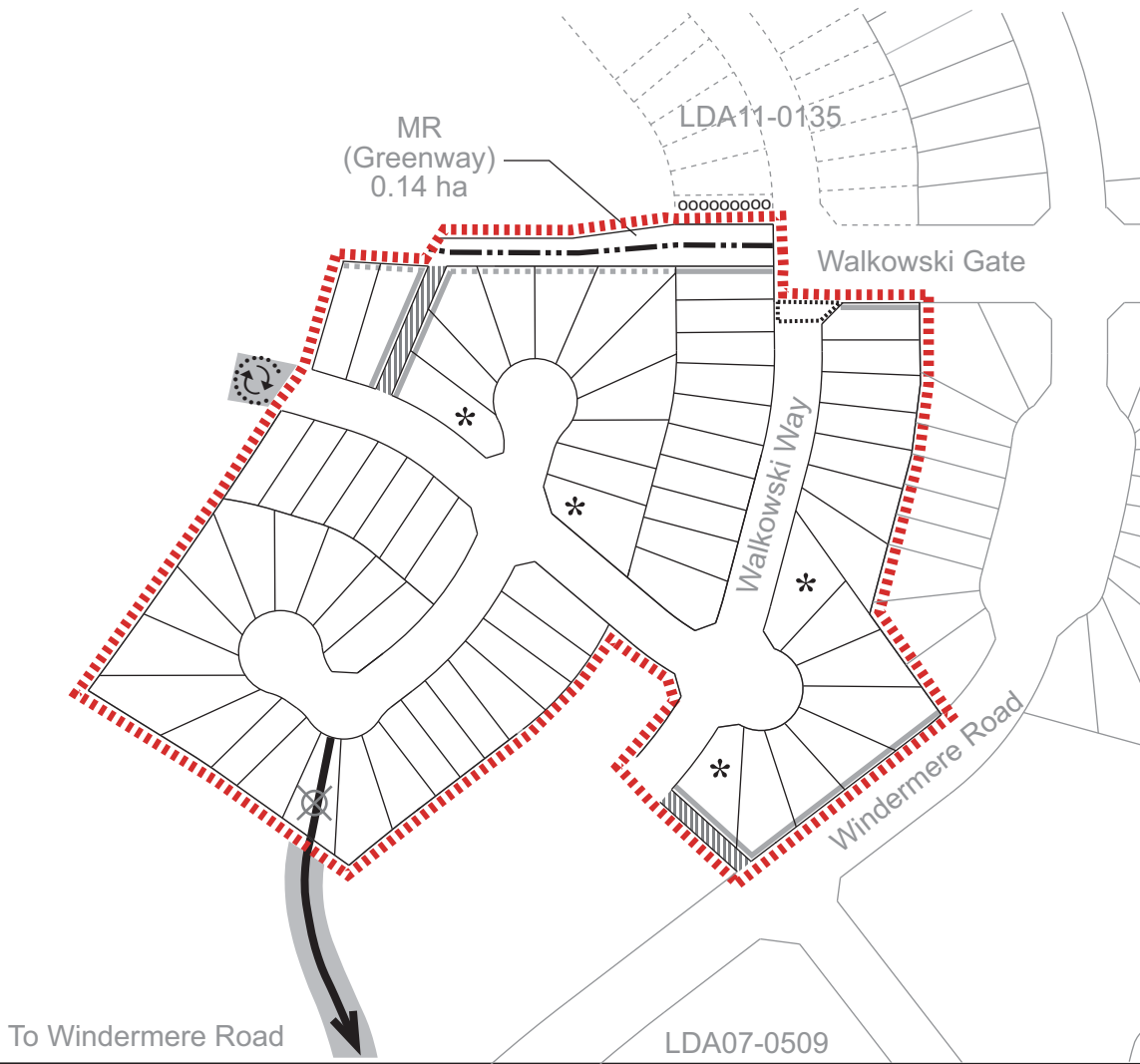
SUBDIVISION CONDITIONS OF APPROVAL MAP

March 29, 2012

LDA11-0429



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|---|--|
| ■■■■■■■■■ Limit of proposed subdivision   | ➔ Construct 4m temporary gravel emergency access to Windermere Road with T-bollards                      |
| ..... Exclude from subdivision boundary   | ▨ Register as road right-of-way and construct walkway with 1.5m concrete sidewalk, bollards and lighting |
| —— 1.8m uniform screen fencing, as per Zoning Bylaw   | ⤵ 12m temporary turnaround with bollards or mini-barriers  |
| oooooooo 1.8m uniform screen fencing, as per Zoning Bylaw, include in Engineering Drawings  | ⊗ Withhold from registration   |
| ..... Minimum 1.2m uniform fencing  | * Driveway plan required   |
| — · — · — Construct 3m hard-surface shared-use path with dividing yellow centreline, lighting, bollards, landscaping and "Shared-Use" signage | ■ Include in Engineering Drawings  |



- |           |                              |
|-----------|------------------------------|
| ■         | Titled area to be subdivided |
| ■■■■■■■■■ | Subdivision area             |

