



Subdivision Authority

5th Floor,
10250 - 101 Street NW
Edmonton, Alberta T5J 3P4

April 18, 2012

File No. LDA11-0359

IBI Group
300, 10830 Jasper Avenue
Edmonton AB T5J 2B3

ATTENTION: Cathryn Chopko Beck

Dear Ms. Chopko Beck:

RE: Tentative plan of subdivision to create 45 single detached residential lots and two (2) Public Utility Lots from portions of the SE 25 52-26-4, located west of 215 Street NW and north of Whitemud Drive NW; **ROSENTHAL**

I The Subdivision by Plan is APPROVED on April 18, 2012, subject to the following conditions:

1. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act;
2. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution and Transmission Inc., EPCOR Water Services Inc., and ATCO Gas Ltd., as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
3. that the subdivision boundary be amended to exclude the portion of roadway, as shown on the "Conditions of Approval" map, Enclosure I;
4. that approved subdivision LDA07-0190 be registered prior to or concurrent with this subdivision;
5. that the owner prepare an easement for the temporary emergency access, to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
6. that the owner prepare a 7.5m Pipeline Development Setback Restrictive Covenant in favour of the City of Edmonton, as shown on the "Conditions of Approval" map, Enclosure I;
7. that the owner prepare a Restrictive Covenant in favour of the City of Edmonton that will be registered against all proposed lots backing onto the berm and noise attenuation fence as shown on the "Conditions of Approval" map, Enclosure I; and
8. that the owner pay all outstanding property taxes prior to the endorsement of the plan of subdivision.

II That the Servicing Agreement required in Clause I (1) contain, among other things, the following:

1. that the owner pay all servicing costs, assessments, roadway modification costs (including but not limited to sidewalk, shared use path and/or transit infrastructure), construction costs and inspection costs occasioned by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to the endorsement of the plan of subdivision;
3. that the owner pay the proportionate share of the Permanent Area Contributions and/or other assessments applicable for the construction of permanent storm and sanitary drainage facilities in the basin;
4. that the owner pay the proportionate share of the Arterial Roadway Assessment for the construction of arterial roadways in the catchment area;
5. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards and to the satisfaction of the City Departments and affected utility agencies;
6. that the owner submits an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the engineering drawings include two 12 m radius gravel surface temporary turnaround with bollards and mini-barriers, prior to CCC (or at the discretion and direction of Transportation Services), to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
8. that the engineering drawings include a temporary 4 m wide gravel emergency access with T-bollards, prior to CCC (or at the discretion and direction of Transportation Services), to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
9. that the engineering drawings include a 3 m hard-surface shared use path with a dividing yellow centreline and "Shared Use" signage, lighting, bollards and landscaping to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
10. that the owner construct a 2.8 m berm and 1.8 m noise attenuation fence as per the City of Edmonton's Roadway Design and Construction Standards Drawing No. 5205, or combination thereof, to conform to the submitted Noisy Study, within the residential property lines for all the lots backing onto Whitemud Drive, to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
11. that the owner construct all fences positioned wholly on privately-owned lands to the satisfaction of Sustainable Development, Transportation Services and Infrastructure Services in the locations as shown on the "Conditions of Approval" map, Enclosure I; and
12. that the owner is responsible for the design, landscaping and construction within the public utility lots, utility rights-of-way, road islands, boulevards, medians, walkways, and Municipal Reserve parcels, to the satisfaction of Infrastructure Services, Transportation Services and Sustainable Development.

Enclosure I is a map of the subdivision identifying major conditions of this approval.

Municipal Reserves were previously carried forward with LDA07-0190.

Please be advised that an appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, Office of the City Clerk, 3rd Floor, City Hall, 1 Sir Winston Churchill Square, Edmonton, Alberta, T5J 2R7 within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be five days from the date the decision is mailed.

If you have further questions, please call Ms. Vivian Sigurdson at 780-944-0122 or write to:

**Ms. Vivian Sigurdson, Planner
Current Planning Branch
Sustainable Development
5th Floor, 10250 - 101 Street
Edmonton AB T5J 3P4**

Yours truly,



For

Scott Mackie
Subdivision Authority

SM/vs/Posse # 116062679-001

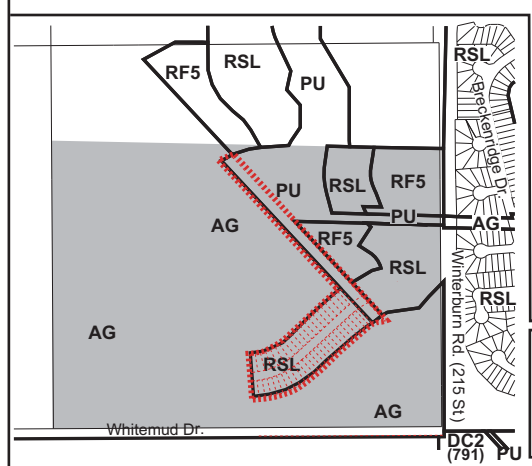
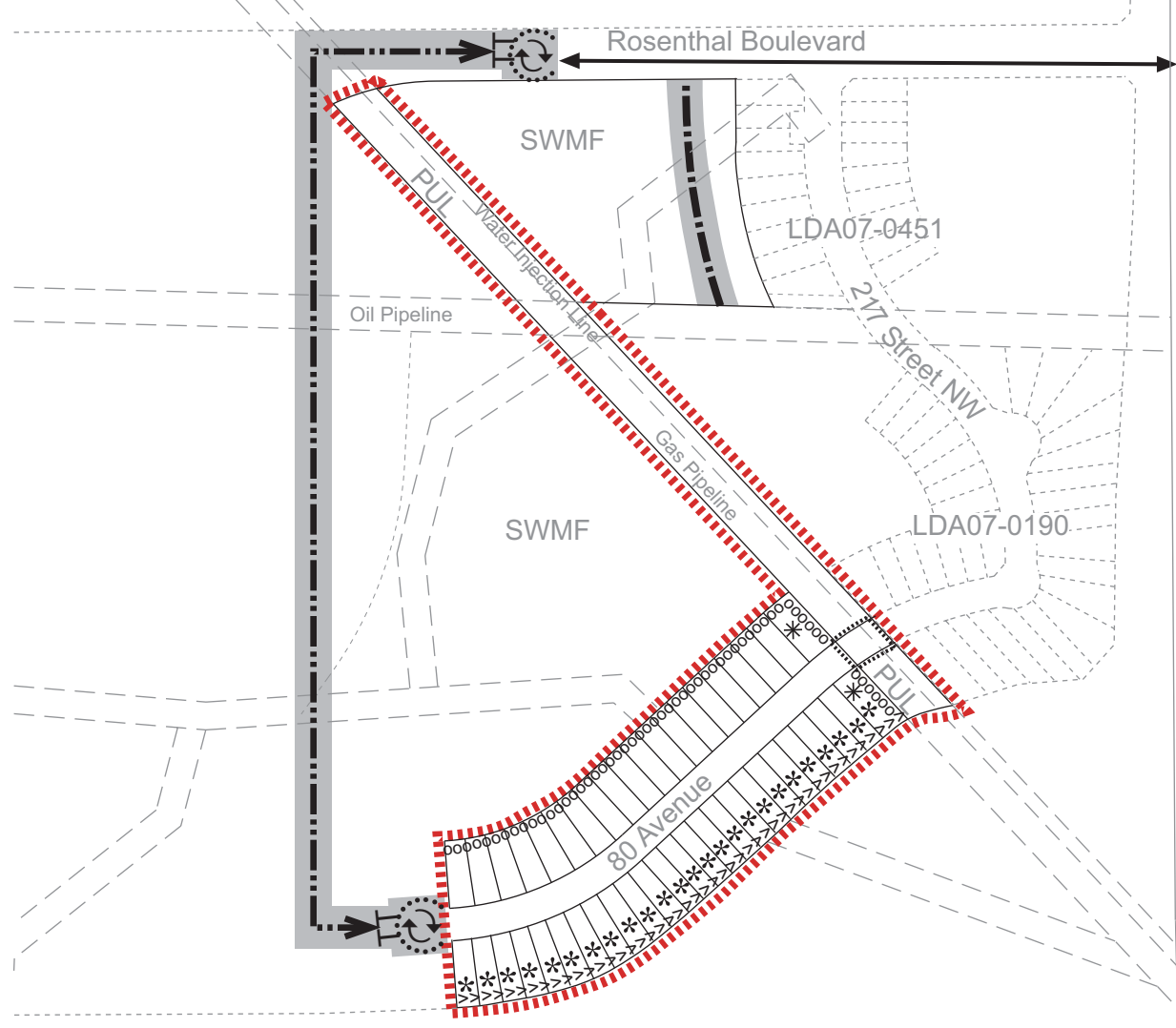
Enclosure

SUBDIVISION CONDITIONS OF APPROVAL MAP

April 18, 2012

LDA11-0359

- | | | | |
|----------|---|-----|---|
| ■■■■■■■■ | Limit of proposed subdivision | ↔ | Collector road to be built with LDA07-0451 |
| | Amend subdivision boundary | --- | Construct 3m shared-use path |
| oooooooo | 1.2m fence | ⦿ | Construct 12m radius gravel surface temporary turnaround with bollards or mini barriers |
| >>>>>> | Construct a 2.8m berm and a 1.8m noise attenuation fence | * | Restrictive covenant re: berm and fence |
| ↔---↔ | Construct 4m wide gravel emergency access with T-Bollards | * | Restrictive covenant re: 7.5m Pipeline Development Setback |
| ■ | Include in Engineering Drawings | TT | T-Bollards |



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|----------|------------------------------|
| ■ | Titled area to be subdivided |
| ■■■■■■■■ | Subdivision area |