



June 28, 2012

File No. LDA11-0330

Qualico Developments  
280, 3203 - 93 Street NW  
Edmonton, AB T6N 0B2

ATTENTION: Wayne Shanks

Dear Mr. Shanks:

RE: Tentative plan of subdivision to create 71 single detached residential lots, 54 semi-detached residential lots and one (1) Public Utility Lot from the north half of NW-22-51-25-4, located east of 170 Street SW and south of Ellerslie Road SW; **AMBLESIDE**

**I The Subdivision by Plan is APPROVED on June 28, 2012, subject to the following conditions:**

1. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act;
2. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution and Transmission Inc., EPCOR Water Services Inc., and ATCO Gas Ltd., as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
3. that the owner dedicates/designates road right-of-way to conform to a City Council approved Concept Plan or to the satisfaction of Transportation Services for 170 Street SW from the north property line to the south property line and for realigned Ellerslie Road SW from the west property line to Armour Bend, as shown on the "Conditions of Approval" maps, Enclosure I and II, pursuant to Section 662 of the Municipal Government Act. For clarification only, the land to be designated as road right-of-way for arterial roads (as per the approved Concept Plan) represents approximately 6.7% of the titled area. The dedication for the 170 Street freeway (as per the approved Concept Plan) represents approximately 5.3% of the titled area. The dedication for collector and local roads represents approximately 4.2% of the titled area. The dedication for the Stormwater Management Facility represents approximately 8.1% of the titled area;
4. that subject to Condition 1(3), the owner clear and level 170 Street SW and realigned Ellerslie Road SW as required for road right of way dedication, to the satisfaction of Transportation Services;
5. that the subdivision boundary be amended to exclude the portion of the realigned Ellerslie Road SW and the proposed RF5 parcel, as shown on the "Conditions of Approval" map, Enclosure I;
6. that the subdivision within the Ambleside Neighbourhood (File No. LDA11-0086) be registered prior to or concurrent with this application;
7. that the owner prepare a restrictive covenant in favour of the City of Edmonton that will be registered against the proposed lots backing onto the berm and fence

- as shown on the "Conditions of Approval" map, Enclosure I, to protect the integrity of the berm;
8. that the owner register the utility access road and walkways as legal road rights-of-way as shown on the "Conditions of Approval" map, Enclosure I; and
  9. that the owner pay all outstanding property taxes prior to the endorsement of the plan of subdivision.

**II That the Servicing Agreement required in Clause I (1) contain, among other things, the following:**

1. that the owner pay all servicing costs, assessments, roadway, roadway modification costs (including but not limited to sidewalk, shared use path and/or transit infrastructure), construction costs and inspection costs occasioned by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to endorsement of the plan of subdivision;
3. that the owner pay the proportionate share of the Permanent Area Contributions and/or lateral Sewer Oversizing Charges for the construction of permanent storm and sanitary drainage facilities in the basin;
4. that the owner pay the proportionate share of the Arterial Roadway Assessment for the construction of arterial roadways in the catchment area;
5. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards and to the satisfaction of the City and affected utility agencies;
6. that the owner submit an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the engineering drawings include the offsite connection to the 450mm water main on 170 Street SW, as shown on the "Conditions of Approval" map, Enclosure I;
8. that the engineering drawings include the construction of water mains, connections and looping to the satisfaction of EPCOR Water Services Inc.;
9. that the engineering drawings include the construction of a 3 m hard-surface shared use path, within the pipeline corridor or within the existing Ellerslie Road SW right-of-way, as per City of Edmonton Design and Construction Standards, including a dividing yellow centreline and "shared use" signage, lighting, bollards and landscaping, as shown on the "Conditions of Approval" map, Enclosure I;
10. that the owner construct a 3 m hard-surface shared use path from the north walkway, through the Storm Water Management Facility (SWMF), and to connect to the existing hard-surface shared use path within the park site north of the existing Ellerslie Road SW right-of-way, as per City of Edmonton Design and Construction Standards, including lighting, bollards, fencing, and landscaping, as shown on the "Conditions of Approval" map, Enclosure I;
11. that the engineering drawings include the construction of a 3 m hard-surface shared use path to connect to the existing hard-surface shared use path within the park site north of the existing Ellerslie Road SW right-of-way, as per City of Edmonton Design and Construction Standards, including lighting, bollards, fencing, and landscaping, as shown on the "Conditions of Approval" map, Enclosure I;

12. that the owner construct a 1.5 m concrete sidewalk with bollards, lighting, and fencing in accordance with Zoning Bylaw No. 12800 within residential property lines, as shown on the "Conditions of Approval" map, Enclosure I;
13. that the engineering drawings include a zebra marked crosswalk with curb ramps and pedestrian signage at the mid-block crossing on Allan Drive, as shown on the "Conditions of Approval" map, Enclosure I;
14. that the owner construct a 6 m wide hard-surfaced access to the existing ATCO Gas and Telus utilities north of the proposed subdivision. The access must be designed to accommodate semi-trailer vehicles, to the satisfaction of Transportation Services;
15. that the engineering drawings include a 6 m wide hard-surfaced access to the existing ATCO Gas and Telus utilities north of the proposed subdivision. The access must be designed to accommodate semi-trailer vehicles, to the satisfaction of Transportation Services;
16. that the owner completes the design and construction of the ultimate stormwater management facility with this stage of development;
17. that the owner construct a 1 m berm and a 1.8 m noise attenuation fence as per the City of Edmonton Roadway Design and Construction Standards Drawing No. 5025, or combination thereof, within residential property lines for all lots backing onto Ellerslie Road SW, to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I. The 1 m berm and 1.8 m noise attenuation fence must wrap around Lots 70 and 71 at the walkway to protect the amenity space of Lots 70 and 71;
18. that a noise study be provided to confirm the noise attenuation required adjacent to 170 Street SW, in accordance with the City of Edmonton's Urban Traffic Noise Policy, and to the satisfaction of Transportation Services and that the owner construct noise attenuation in accordance with the requirements outlined in the noise study. The owner must construct at a minimum, a 2 m berm and a 1.8 m noise attenuation fence as per the City of Edmonton Roadway Design and Construction Standards Drawing No. 5205, or combination thereof, within residential property lines for all lots backing onto 170 Street SW, as shown on as shown on the "Conditions of Approval" map, Enclosure I, to the satisfaction of Transportation Services;
19. that the owner construct all fences positioned wholly on privately-owned lands to the satisfaction of Transportation Services and Sustainable Development, as shown on the "Conditions of Approval" map, Enclosure I; and
20. that the owner is responsible for the design, landscaping and construction within the public utility lots, utility rights-of-way, road islands, boulevards, medians, walkways, and Municipal Reserve parcels, to the satisfaction of Transportation Services, and Sustainable Development.

Enclosure I is a map of the subdivision identifying major conditions of this approval.

A 3.24 ha Deferred Reserve Caveat (DRC) was a condition of LDA11-0086. The DRC will be carried forward on title.

Please be advised that an appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, Office of the City Clerk, 3rd Floor, City Hall, 1 Sir Winston Churchill Square, Edmonton, Alberta, T5J 2R7 within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be five days from the date the decision is mailed.

If you have further questions, please call Mr. Wesley Woo at 780-496-7370 or write to:

**Mr. Wesley Woo, Planner  
Current Planning Branch  
Sustainable Development  
5th Floor, 10250 - 101 Street  
Edmonton AB T5J 3P4**

Yours truly,



FdR

Scott Mackie  
Subdivision Authority

SM/ww/Posse # 113289944-001

















Enclosure



## SUBDIVISION CONDITIONS OF APPROVAL MAP

June 28, 2012

LDA 11-0330

-  Limit of proposed subdivision
-  1.8m Uniform fencing, per Zoning Bylaw
-  1.2m Uniform fencing
-  Construct 3.0m shared-use path within the pipeline corridor or within the existing Ellerslie Road SW right-of-way, with a dividing yellow centreline and "Shared Use" signage, lighting, bollards, and landscaping
-  Construct 3.0m hard surface shared-use path with lighting, bollards, fencing, and landscaping
-  Construct 6.0m hard surface access
-  Construct 1.5m concrete sidewalk with bollards, fencing, and lighting
-  Construct 1.0m berm and 1.8m noise attenuation fence and restrictive covenant to be registered
-  Construct 2.0m berm and 1.8m noise attenuation fence and restrictive covenant to be registered
-  Construct watermain connection
-  Watermain connection
-  Utility access road and walkways to be registered as road right-of-way
-  Dedicate 170 Street SW and Ellerslie Road SW as road right-of-way
-  Provide zebra marked crosswalk with curb ramps and pedestrian signage
-  Include in Engineering Drawings
-  Exclude from subdivision boundary

