



Subdivision Authority

5th Floor,  
10250 - 101 Street NW  
Edmonton, Alberta T5J 3P4

July 5, 2012

File No. LDA11-0014

Stantec Consulting Ltd.  
10160 - 112 Street  
Edmonton, AB T5K 2L6

ATTENTION: Tom Young

Dear Mr. Young:

RE: Tentative plan of subdivision to create 46 single detached residential lots and three (3) public utility lots from the SE 19-53-26-4, located west of 199 Street NW and north of Trumpeter Way; **TRUMPETER**

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**I The Subdivision by Plan is APPROVED on July 5, 2012, subject to the following conditions:**

1. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act;
2. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution and Transmission Inc., EPCOR Water Services Inc., and ATCO Gas Ltd., as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
3. that the approved subdivision LDA10-0386 be registered prior to or concurrent with this application;
4. that the owner prepare a freeboard restrictive covenant in the favour of the City of Edmonton that will be placed on all the private lots, as shown on the "Conditions of Approval" map, Enclosure I;
5. that the owner register the walkway as legal road right-of-way, as shown on the "Conditions of Approval" map, Enclosure I; and
6. that the owner pay all outstanding property taxes prior to the endorsement of the plan of subdivision.

**II That the Servicing Agreement required in Clause I (1) contain, among other things, the following:**

1. that the owner pay all servicing costs, assessments, roadway modification costs (including but not limited to sidewalk, shared use path and/or transit infrastructure), construction costs and inspection costs occasioned by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to the endorsement of the plan of subdivision;

3. that the owner pay the proportionate share of the Permanent Area Contributions and/or lateral Sewer Oversizing Charges for the construction of permanent storm and sanitary drainage facilities in the basin;
4. that the owner pay the proportionate share of the Arterial Roadway Assessment for the construction of arterial roadways in the catchment area;
5. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards and to the satisfaction of the City Departments and affected utility agencies;
6. that the owner submits an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the owner design and construct the entire or a suitable stage of the ultimate Stormwater Management Facility (SWMF) with the pond side slopes adjacent to the proposed lots graded and seeded to the ultimate requirements, to the satisfaction of Financial Services and Utilities;
8. that the Engineering Drawings include an offset 12 m radius gravel surface temporary turnaround with bollards or mini-barriers. The turnaround will be required prior to CCC and gravel prior to FAC or at the discretion and direction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
9. that the Engineering Drawings include the construction of a temporary 4 m wide gravel emergency access with T-bollards. The temporary access will be required to be gravel prior to CCC and asphalt prior to FAC (or at the discretion and direction of Transportation Services), as shown on the "Conditions of Approval" map, Enclosure I;
10. that the owner construct a 3 m hard-surface shared use path with a dividing yellow centreline and "Shared Use" signage, lighting, bollards and landscaping within the PUL (Sewer Pipeline), to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
11. that the owner construct a 2 m hard-surface pedestrian path within the Public Utility lot and the Stormwater Management Facility, to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
12. that the owner construct a 1.5 m concrete sidewalk with bollards and lighting within the walkway, to the satisfaction of Transportation Services, as shown on the "Conditions of Approval" map, Enclosure I;
13. that the owner construct all fences wholly on privately owned lands to the satisfaction of Financial Services and Utilities and Sustainable Development, as shown on the "Conditions of Approval" map, Enclosure I; and
14. that the owner is responsible for the design, landscaping and construction within the public utility lots, utility rights-of-way, road islands, boulevards, medians, walkways, and Municipal Reserve parcels, to the satisfaction of Financial Services and Utilities, Transportation Services and Sustainable Development.

Enclosure I is a map of the subdivision identifying major conditions of this approval.

Municipal Reserve requirements were previously provided for SE 19-53-26-4 through a Deferred Reserve Caveat (No. 092 460 496) for 4.257 ha and will be carried forward to the parent title.

Please be advised that an appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, Office of the City Clerk, 3rd Floor, City Hall, 1 Sir Winston Churchill Square, Edmonton, Alberta, T5J 2R7 within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be five days from the date the decision is mailed.

If you have further questions, please call Ms. Claudia Wong-Rusnak at 780-944-0120 or write to:

**Ms. Claudia Wong- Rusnak, Planner  
Current Planning Branch  
Sustainable Development  
5th Floor, 10250 - 101 Street  
Edmonton AB T5J 3P4**

Yours truly,



Scott Mackie  
Subdivision Authority

SM/cw/Posse # 106409243-001

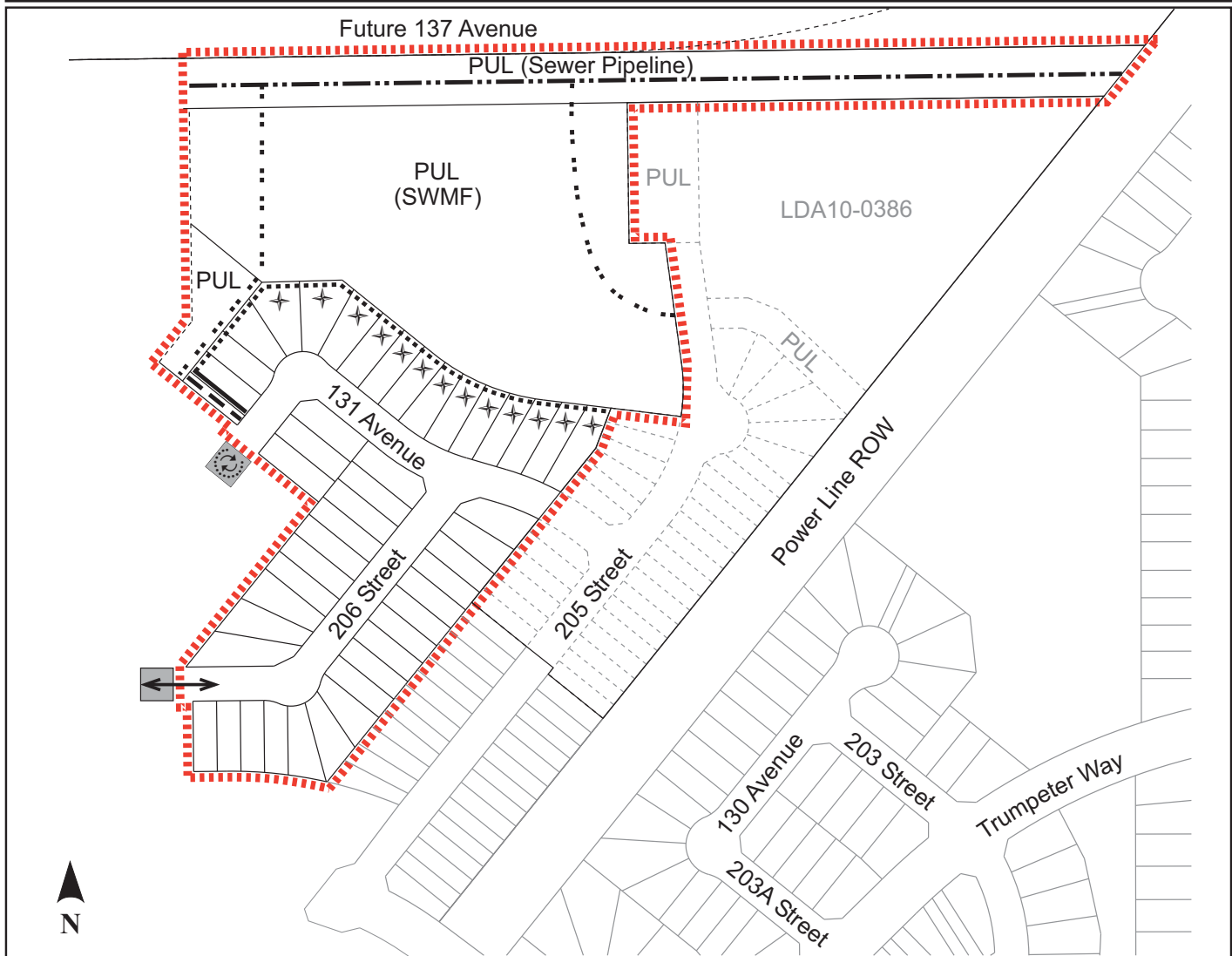
Enclosure

## SUBDIVISION CONDITIONS OF APPROVAL MAP

July 5, 2012

LDA11-0014

- |   |   |
|---|---|
| ■■■■■ Limit of proposed subdivision   | ✦ Restrictive Covenant re: Freeboard  |
| ..... 1.2m uniform fencing  | ⦿ Construct an offset 12m radius temporary turn around with bollards or mini-barriers |
| --- Construct 1.5m concrete sidewalk with bollards, lighting, and register as road right-of-way | — 1.8m uniform fencing, as per Zoning Bylaw   |
| ↔ Construct temporary 4m gravel emergency access (connecting to the existing private road)      | ... Construct 2m hard surface path  |
| — Construct 3m hard-surface shared-use path   | ■ Include in Engineering Drawings   |



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|-------|------------------------------|
| ■     | Titled area to be subdivided |
| ■■■■■ | Subdivision area             |

