



Subdivision Authority

5th Floor,
10250 - 101 Street NW
Edmonton, Alberta T5J 3P4

May 5, 2011

File No. LDA10-0364

Pals Surveys Ltd.
10704 - 176 Street
Edmonton AB T5S 1G7

ATTENTION: John Boudreau

Dear Mr. Boudreau:

RE: Tentative plan of subdivision to create eight single detached residential lots, two semi-detached residential lots and 16 row house residential lots from a portion of SW-31-51-23-4, located east of 34 Street and south of 16A Avenue; **LAUREL**

I The Subdivision by Plan is APPROVED on May 5, 2011, subject to the following conditions:

1. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 655 of the Municipal Government Act;
2. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution and Transmission Inc., EPCOR Water Services Inc., and ATCO Gas Ltd., as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
3. that Bylaw #15734 to amend the Edmonton Zoning Bylaw receive third reading prior to the registration of this subdivision; and
4. that the owner pay all outstanding property taxes prior to the endorsement of the plan of subdivision.

II That the Servicing Agreement required in Clause I (1) contain, among other things, the following:

1. that the owner pay all servicing costs, assessments and roadway modification costs (including but not limited to sidewalk, shared use path and/or transit infrastructure), construction costs and inspection costs occasioned by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to the endorsement of the plan of subdivision;
3. that the owner pay the proportionate share of the Permanent Area Contributions and other assessments applicable to the subdivision area for the construction of permanent storm and sanitary drainage facilities in the basin;
4. that the owner pay the proportionate share of the Arterial Roadway Assessment for the construction of arterial roadways in the catchment area;

5. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards and to the satisfaction of the City Departments and affected utility agencies;
6. that the owner submit an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the engineering drawings include, and that the owner construct, a 6.0 m wide gravel temporary roadway connection, required prior to CCC, to the satisfaction of the Transportation Department, as shown on the "Conditions of Approval" map, Enclosure I;
8. that the owner construct all fences positioned wholly on privately-owned lands to the satisfaction of the Transportation Department in the location as shown on the "Conditions of Approval" map, Enclosure I; and
9. that the owner is responsible for the design, landscaping and construction within the public utility lots, utility rights-of-way, road islands, boulevards, medians, walkways, and Municipal Reserve parcels, to the satisfaction of the Transportation and Asset Management and Public Works Departments.

Enclosure I is a map of the subdivision identifying major conditions of this approval.

Municipal Reserves were provided as a 5.917 ha Deferred Reserve Caveat under subdivision LDA07-0113. A 3.34 ha MR school/park site was dedicated with subdivision LDA10-0309 approved March 24, 2011 which will reduce the DRC to be carried forward on title.

Please be advised that an appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, Office of the City Clerk, 3rd Floor, City Hall, 1 Sir Winston Churchill Square, Edmonton, Alberta, T5J 2R7 within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be 5 days from the date the decision is mailed.

If you have further questions, please call Ms. Cyndie Prpich at (780) 944-0115 or write to:

**Ms. Cyndie Prpich, Planner
Current Planning Branch
Planning and Development Department
5th Floor, 10250 - 101 Street
Edmonton AB T5J 3P4**

Yours truly,



For

Scott Mackie
Subdivision Authority




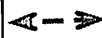

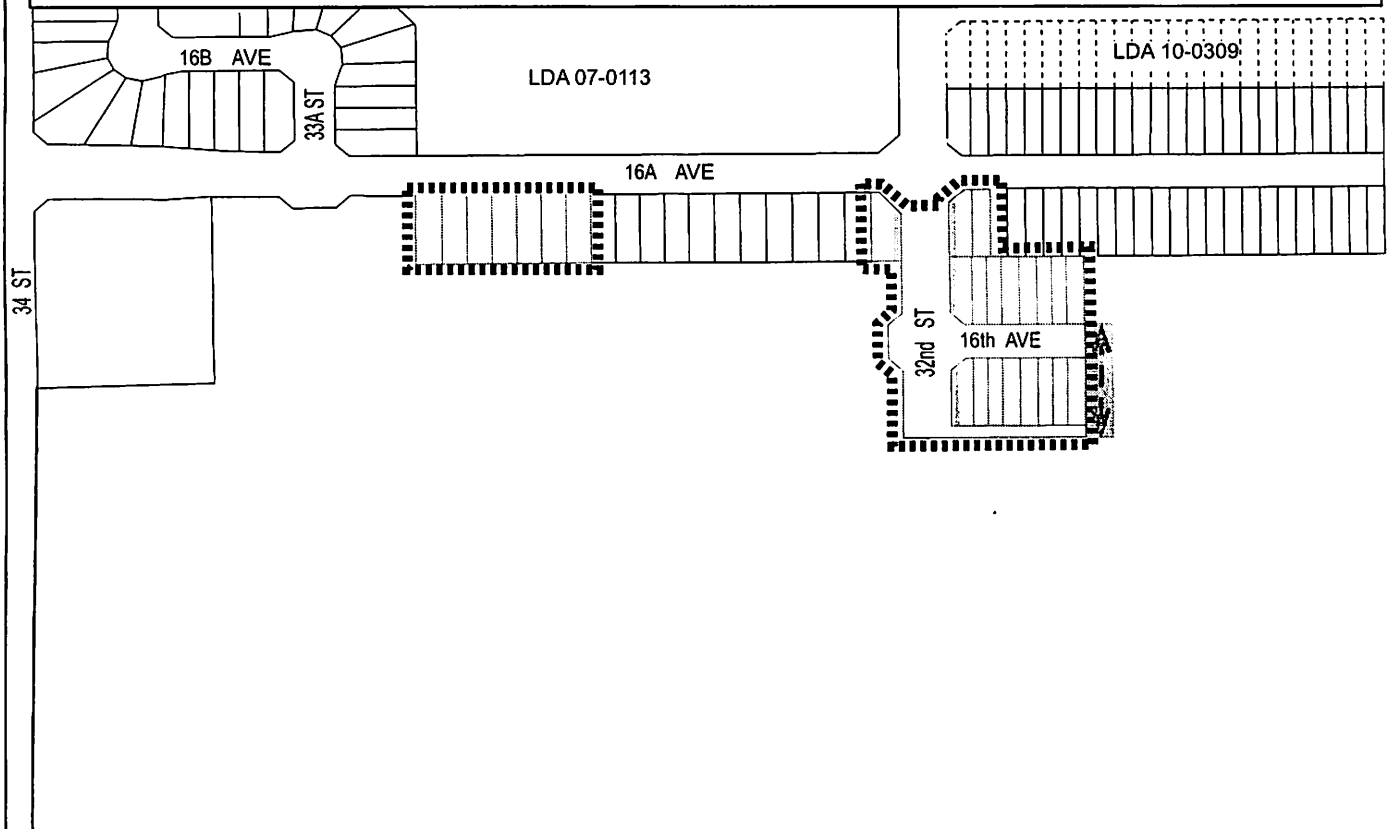

SM/cp/Posse #103720304-001

Enclosure

SUBDIVISION CONDITIONS OF APPROVAL MAP

May 5, 2011

LDA10-0364

 Limit of proposed subdivision 1.8m Uniform screen fence Include in Engineering drawings 6 m wide temporary gravel roadway connection Titled area to be subdivided
 Subdivision area