



Subdivision Authority

5th Floor,
10250 - 101 Street NW
Edmonton, Alberta T5J 3P4

May 12, 2011

File No. LDA10-0359

IBI Group
1050 - Standard Life Building
10405 Jasper Avenue
Edmonton AB T5J 3N4

ATTENTION: Blaydon Dibben

Dear Mr. Dibben:

RE: Tentative plan of subdivision to create 33 single detached residential lots, one (1) medium density residential lot, one (1) Municipal Reserve lot, and one (1) open space lot from portions of NE, SE and SW 36-51-25, located east of Rabbit Hill Road NW and south of 23 Avenue NW; **MAGRATH HEIGHTS**

I The Subdivision by Plan is APPROVED on May 12, 2011, subject to the following conditions:

1. that the owner dedicate Municipal Reserve (MR) as a 0.43 ha lot pursuant to Section 666 of the Municipal Government Act, as shown on "Conditions of Approval" map, Enclosure I, and adjust the existing Deferred Reserve Caveat accordingly;
2. that the owner provide a 0.81 ha open space (no MR credit) lot to the City, to the satisfaction of Asset Management and Public Works Department, as shown on "Conditions of Approval" map, Enclosure I;
3. that the owner enter into a Servicing Agreement with the City of Edmonton pursuant to Section 665 of the Municipal Government Act;
4. that the owner prepare the necessary plans and documentation to grant new or carry forward existing easements and restrictive covenants in favour of the City of Edmonton, EPCOR Distribution and Transmission Inc., EPCOR Water Services Inc., and ATCO Gas Ltd., as required by the aforementioned agencies or shown on the engineering drawings that are deemed to be part of the Servicing Agreement;
5. that the owner prepare a restrictive covenant in favour of the City of Edmonton that will be registered against the lots backing onto the open space (no MR credit) lot as per the applicable development restrictions determined by Thurber Engineering's "Larch Lands Subdivision Geotechnical Investigation" report, as shown on "Conditions of Approval" map, Enclosure I;
6. that the owner register the public walkways as legal road right-of-way, in the locations shown on "Conditions of Approval" map, Enclosure I; and
7. that the owner pay all outstanding property taxes prior to the endorsement of the plan of subdivision.

II That the Servicing Agreement required in Clause I (3) contain, among other things, the following:

1. that the owner pay all servicing costs, assessments, roadway modification costs (including but not limited to sidewalk, shared use path and/or transit infrastructure), construction costs and inspection costs occasioned by this subdivision;
2. that the owner pay all costs specified in the Servicing Agreement prior to endorsement of the plan of subdivision;
3. that the owner pay the proportionate share of the Permanent Area Contributions and/or lateral Sewer Oversizing Charges for the construction of permanent storm and sanitary drainage facilities in the basin;
4. that the owner pay the proportionate share of the Arterial Roadway Assessment for the construction of arterial roadways in the catchment area;
5. that the owner submit detailed engineering drawings and technical studies in accordance with the City of Edmonton Design and Construction Standards and to the satisfaction of the City Departments and affected utility agencies;
6. that the owner submit an Erosion and Sediment Control (ESC) Plan specific for this development and for implementation during and after construction in accordance with the City of Edmonton ESC Guidelines and Field Manual;
7. that the engineering drawings include the roadway connection and servicing connections to May Gate, to the satisfaction of Transportation and Asset Management and Public Works Departments, as shown on the "Conditions of Approval" map, Enclosure I;
8. the owner provide a temporary 12 m radius gravel turnaround with bollards, required prior to CCC, to the satisfaction of Transportation Department, as shown on the "Conditions of Approval" map, Enclosure I;
9. that the owner construct a 3 m asphalt shared use path with dividing yellow centreline and "shared use" signage to the satisfaction of Transportation Department, as shown on the "Conditions of Approval" map, Enclosure I;
10. that the owner provide the walkways containing a 1.5 m concrete sidewalk with bollards and lighting, as shown on the "Conditions of Approval" map, Enclosure I;
11. that the owner construct a temporary shared use path connection, required prior to CCC, to the satisfaction of Transportation Department, as shown on the "Conditions of Approval" map, Enclosure I;
12. that the owner construct a 3 m public and emergency access concrete sidewalk with T-bollards and lighting to the satisfaction of Transportation Department, as shown on "Conditions of Approval" map, Enclosure I;
13. that the owner construct all fences positioned wholly on privately-owned lands to the satisfaction of Transportation and Asset Management and Public Works Departments, as shown on the "Condition of Approval" map, Enclosure I; and
14. that the owner is responsible for the design, landscaping and construction within the public utility lots, utility right-of-ways, road islands, boulevards, medians, pathways, walkways, "open space" parcel, and MR parcel to the satisfaction of Transportation Department, as shown on "Conditions of Approval" map, Enclosure 1.

Enclosure I is a map of the subdivision identifying conditions of this approval.

The existing Deferred Reserve Caveat will be reduced accordingly and carried forward on title.

Please be advised that an appeal may be lodged in accordance to Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board, Office of the City Clerk, 3rd Floor, City Hall, 1 Sir Winston Churchill Square, Edmonton, Alberta, T5J 2R7 within 14 days from the date of the receipt of this decision. The date of receipt of the decision is deemed to be 5 days from the date the decision is mailed.

If you have further questions, please call Ms. Kristen Rutherford at (780) 442-5047 or write to:

**Ms. Kristen Rutherford, Planner
Current Planning Branch
Planning and Development Department
5th Floor, 10250 - 101 Street
Edmonton AB T5J 3P4**

Yours truly,









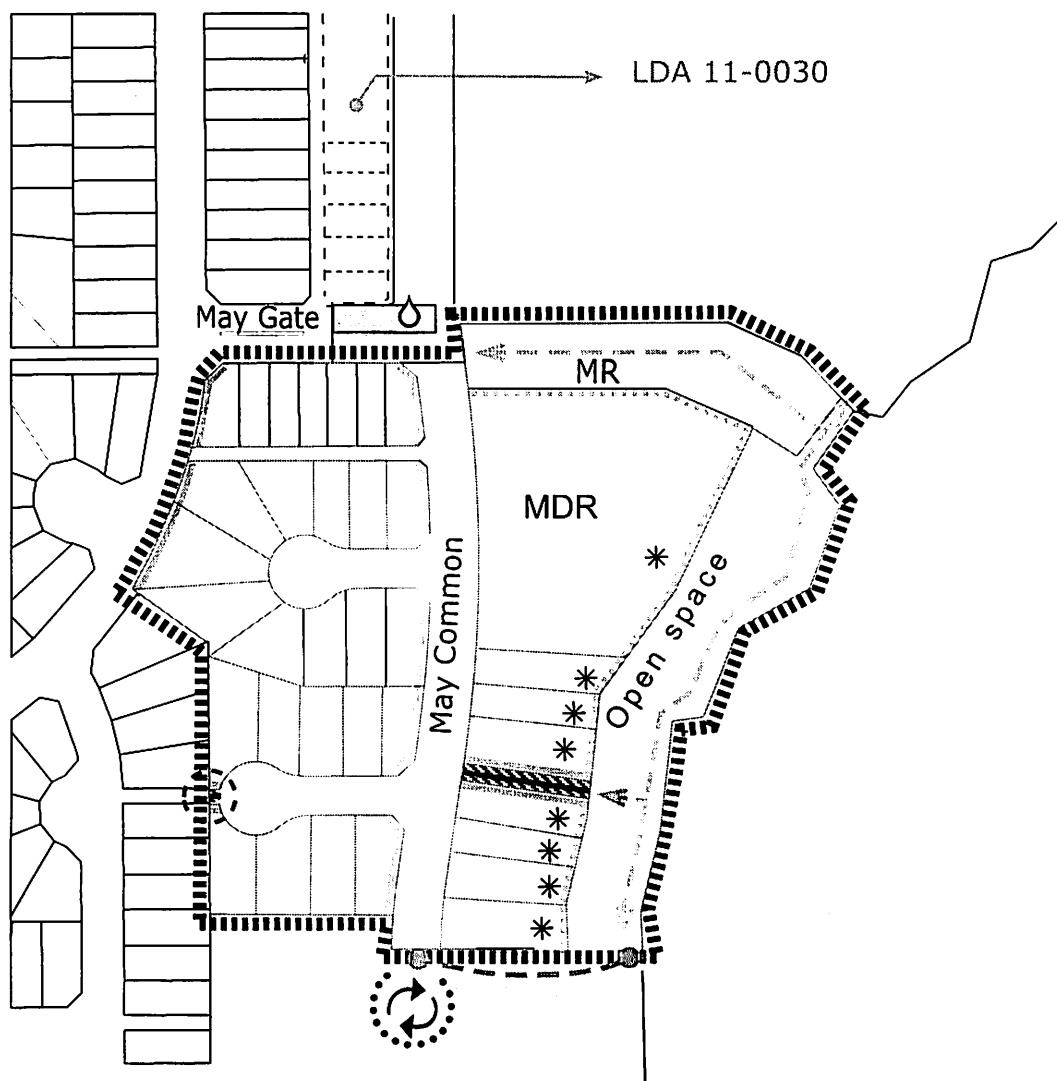
For



Scott Mackie
Subdivision Authority

SM/kr/Posse # 104102631-001

Enclosure

- | Symbol | Description |
|---|---|
|  | Include in Engineering drawings |
|  | 1.5m concrete sidewalk with T-Bollards & lighting |
|  | 3m Emergency access concrete sidewalk with T-Bollards & lighting |
|  | Restrictive covenant to protect top of bank |
|  | Watermain connection |
|  | 3m asphalt shared use path & dividing yellow center-line & "Shared Use Signage" |



-  Titled area to be subdivided
-  Subdivision area

