

Attachment 1: Markup of proposed changes

Black Font = existing Zoning Bylaw text

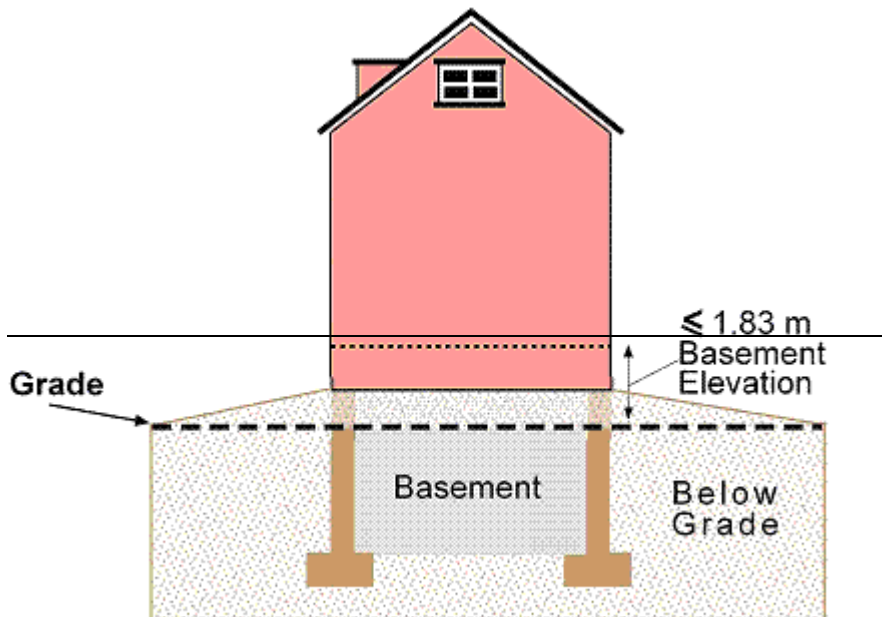
Underline Italic Font = proposed addition to Zoning Bylaw

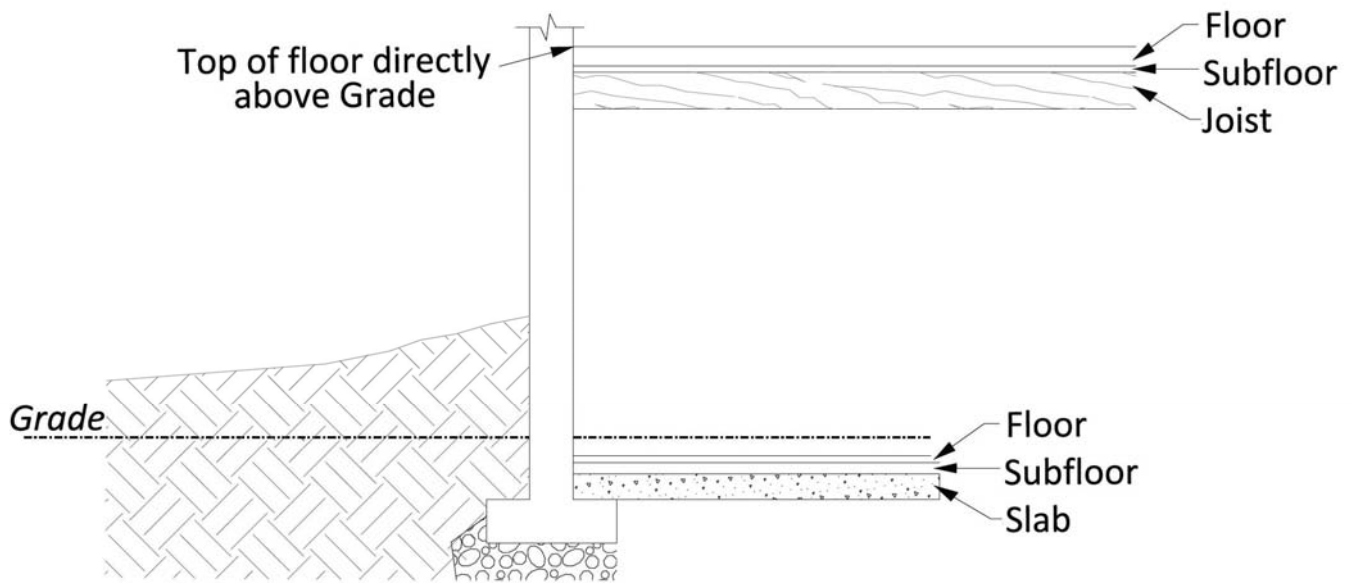
~~Strikethrough~~ = proposed deletion from Zoning Bylaw

6. Definitions General

Terms and words in this Bylaw which are defined in the Municipal Government Act, 1994, have the meaning expressed in that Act. Other terms and words, unless the context requires otherwise, are defined as follows:

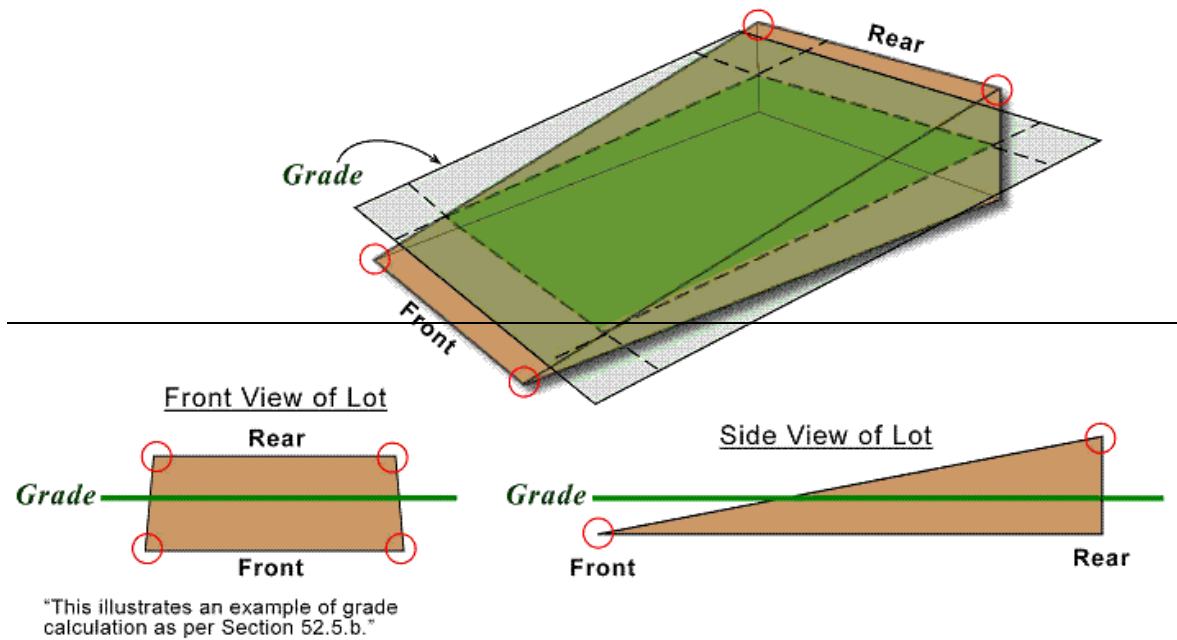
- 6.1(10). **Basement** means ~~the portion of a building or structure which is wholly or partially below grade, having above grade no more than 1.83 m of its clear Height which lies below the finished level of the floor directly above;~~ the portion of a building between the top of the floor on the level that is directly above the Grade and the top of any floor below the floor that is directly above the Grade;



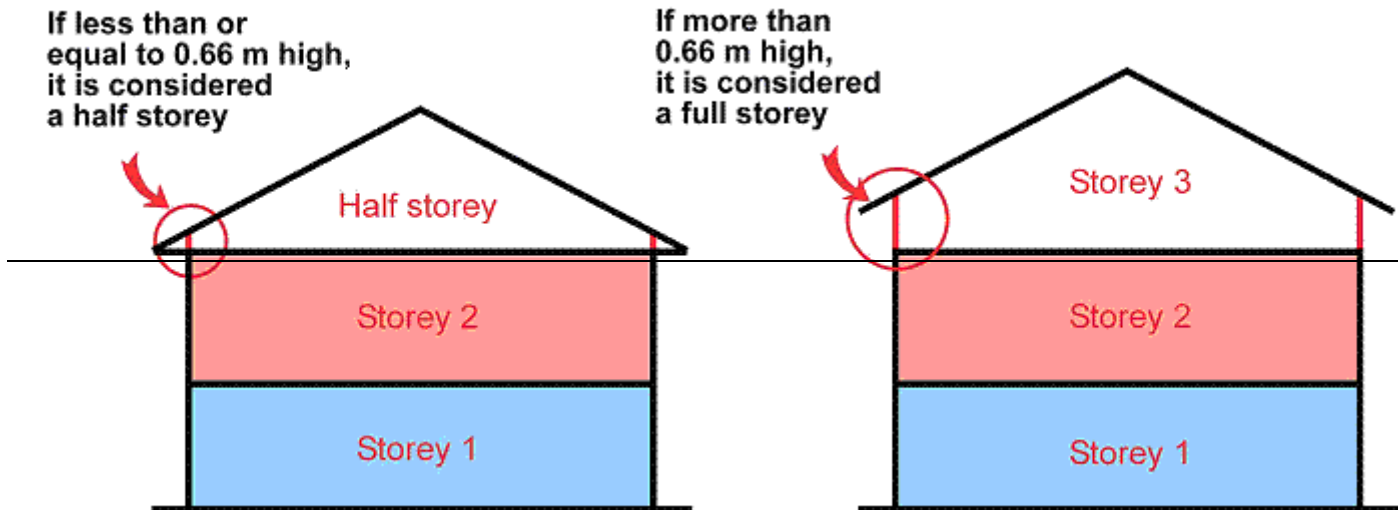


42. **Grade** means ~~a geodetic elevation from which the Height of a structure is measured, calculated in accordance with Section 52.~~ the average of selected geodetic elevations on a Site.

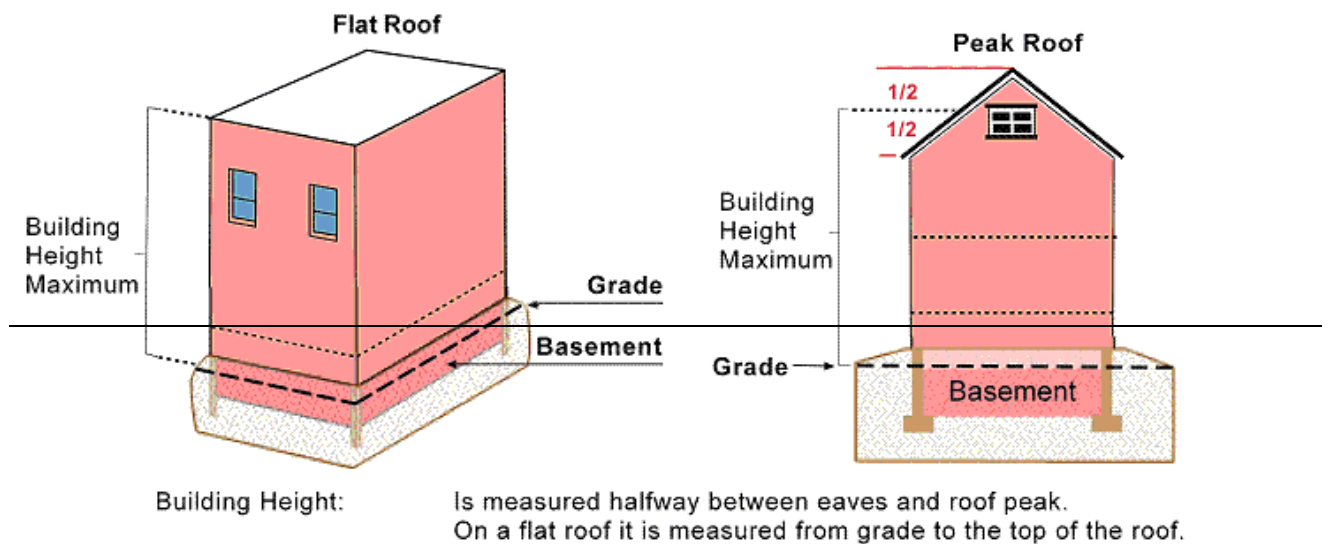
**In all zones, "grade" is capitalized to "Grade" to indicate that it is a defined term.*



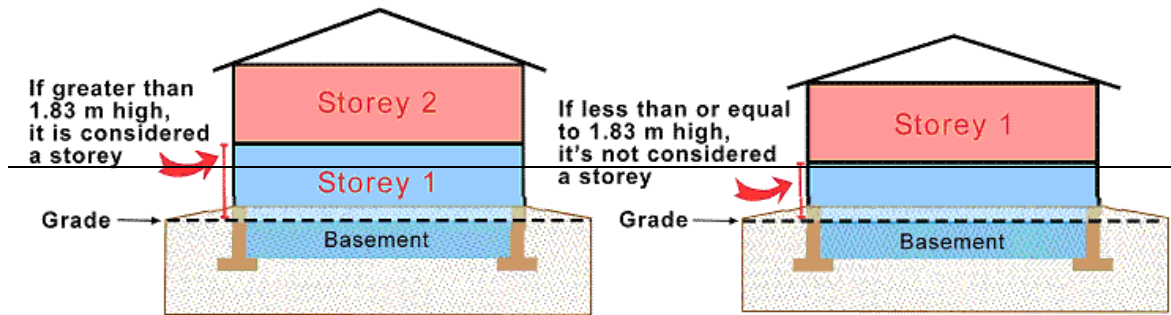
- 6.1(47). ~~**Half-Storey** means a Storey under a gable, hip, or gambrel roof, the wall plates of which, on at least two opposite walls, are not more than 0.66 m above the floor of such Storey.~~



6.1(49). **Height** means, ~~when used with reference to a building or structure, the vertical distance between the horizontal plane through grade and a horizontal plane through:~~
~~a. the highest point of the roof in the case of a building with a flat roof or a roof having a slope of less than 20 degrees; and~~
~~b. The average level between eaves and ridges in the case of a pitched, gambrel, mansard or hipped roof, or a roof having a slope of more than 20 degrees; provided that in such cases the ridge line of the roof shall not extend more than 1.5 m above the maximum permitted building Height of the Zone or in the case of a Garage Suite the maximum permitted building Height in accordance with Section 87 of this Bylaw.~~ *a vertical distance between two points.*



6.1(98). **Storey** means ~~that portion of a building, which is situated between the top of any floor and the top of the floor next above it. If there is no floor above, the Storey is the portion of the building, which is situated between the top of any floor and the ceiling above it. If the top of the floor directly above a Basement is more than 1.83 m above grade, such Basement shall be considered a Storey for the purpose of this Bylaw.~~



6.2(10). ~~Height Sign means the vertical distance measured from the finished ground surface directly under the Sign to the highest point of the Sign;~~

12.2 No Development Permit Required

12.2(16) the erection of an uncovered deck which is located entirely within a Rear Yard, and which has a Height of less than **0.6 m** *above Grade at the outermost corners of the proposed structure*, and which is Accessory to a residential structure;

12.2(x) notwithstanding that no development permit is required, any development pertaining to transmitting structures shall comply with, as applicable:

- a. the requirements for Radiocommunication and Broadcasting Antenna Systems established by Industry Canada*
- b. the most current policy C471: Policy for Siting Telecommunications Facilities*
- c. any other relevant legislation.*

14.2 Wind Impact Statement and Study

~~Where warranted, the Development Officer may require an applicant for a Development Permit to submit a preliminary Wind Impact Statement or a detailed Wind Impact Study, or both, for the proposed development.~~

Where warranted, a preliminary Wind Impact Statement or a detailed Wind Impact Study, or both, may be required to be submitted for proposed development having Height greater than 20 metres, to the satisfaction of the Development Officer.

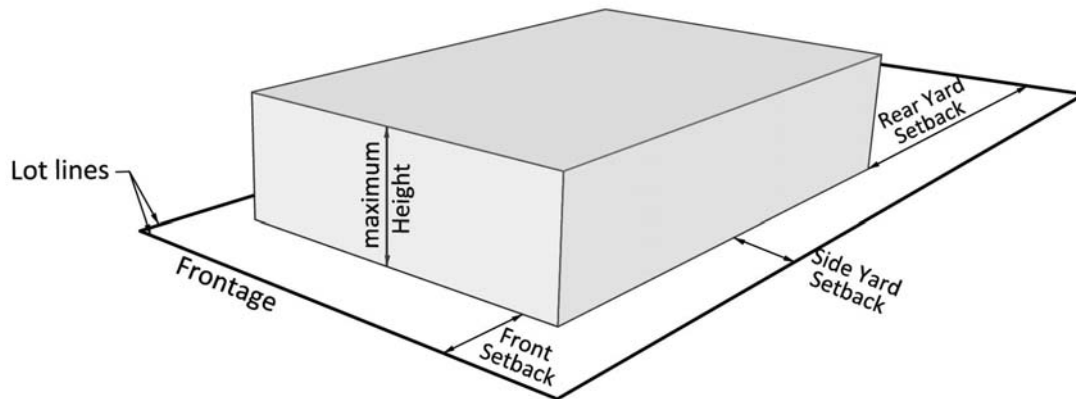
- 1. The preliminary engineering study provides a screening-level estimation of potential wind conditions. If the preliminary Wind Impact Statement indicates that uncomfortable or unsafe wind conditions may result from the building design, the City may require the applicant to submit a detailed Wind Impact Study for proposed buildings in order to quantify these conditions or refine any conceptual mitigation measures using physical scale model tests.*
2. A preliminary Wind Impact Statement shall be prepared by a qualified, registered Professional Engineer, to professional standards.
3. A detailed Wind Impact Study shall be prepared by a qualified, registered Professional Engineer, and shall be based on a scale model simulation analysis, prepared to professional standards.

14.3 Sun Shadow Impact Study

- ~~1. The Development Officer shall require a Sun Shadow Impact Study where such a study is required in a Statutory Plan, and may require such a study for other applications if the proposed development warrants it.~~

Where warranted, a Sun Shadow Impact Study may be required to be submitted for proposed development where such a study is required in a Statutory Plan, or for other applications, to the satisfaction of the Development Officer.

2. This Study shall be prepared by a qualified, registered Professional Engineer or Architect, to professional standards.
3. The shadow impact shall be evaluated based on the difference in shadow between the allowable three-dimensional building massing and the proposed three-dimensional building massing, during the March equinox. The Development Authority may require changes to the proposed development or may refuse to grant a variance based on that information.



14.4 Floodplain Information

1. When an application for a Development Permit is submitted to the Development Officer for the development of a parcel of land partially or wholly contained within Floodplain Protection Overlay Schedule, the Development Officer may require that the application contain information regarding the geodetic ~~Grade~~ elevation of the proposed building Site, ~~the building and all openings, to be referenced to Geodetic Elevations. Geodetic elevation means the elevation of a point and its vertical distance determined by employing the principles of geodesy above or below an assumed level surface of datum. and the geodetic elevation of the lowest point of all openings to the proposed building(s).~~
2. Prior to the issuance of a Development Permit for the construction of any development within a Floodplain Protection Overlay Schedule, the Development Officer may require that the applicant submit a certificate from a qualified, registered Professional Engineer or Architect indicating that the following factors have been considered in the design of the building:
 - a. Canada Mortgage and Housing Corporation guidelines for building in flood-susceptible areas;
 - b. the flood-proofing of Habitable Rooms, electrical panel and heating units, and openable windows;
 - c. Basement drainage; and
 - d. Site drainage.

14.x Drainage Information

1. The Development Officer may require an applicant to submit any information relating to the proposed drainage from a Site, including but not limited to: lot grading plans, site mechanical plans, flood control plans, stormwater management plans and calculations, or

similar plans, drawings or engineering reports that, in the opinion of the Development Officer, are required to determine if the Site is suitable for the full range of uses contemplated in the Development Permit application.

50.3 Accessory Buildings in Residential Zones

In a Residential Zone:

1. an Accessory Building or Structure shall not be used as a Dwelling, except where it contains a Garage Suite or Garden Suite in accordance with [Section 87](#).
2. an Accessory Building or Structure shall not exceed [4.3 m](#) ~~nor one Storey~~ in Height, except:
 - a. as provided in the RPLt, RF4t, RF5t, TSDR, and TSLR Zones, where the maximum Garage Height shall not exceed [5.0 m](#);
 - b. in the case of a Garage containing a Garage Suite where listed as a Permitted or Discretionary Use, where the height shall be in accordance with Section 87.
 - c. as provided in subsections 50.4, 50.5.

50.4 Accessory Buildings in the (NA) Natural Areas Protection Zone

1. Purpose of the Accessory Building:

In accordance with the Natural Area Management Plan for a specific Natural Area, an Accessory Building can only be constructed for the specific purpose of servicing the Natural Area.

2. Size of the Accessory Building:
 - a. An Accessory Building shall not exceed [4.0 m](#) ~~nor one storey~~ in height.
 - b. An Accessory Building floor area shall not exceed [15 m²](#).

50.6 Amateur Radio Antenna and Support Structure

1. An Amateur Radio Antenna and Support Structure shall:
 - a. be a free-standing, ground-mounted unit;
 - b. be located in a Rear Yard only;
 - c. be located so that no portion is within [0.9 m](#) of any lot line, except that, on a Corner Lot, no portion shall be closer than [4.5 m](#) to any lot line abutting a flanking public roadway, other than a Lane; and
 - d. be limited to a maximum Height of [18.0 m](#) at its highest point. For the purpose of this subsection 50.5 only, the Height of a ground-mounted Amateur Radio Antenna and Support Structure shall be determined by measurement from the point at which the Support Structure enters the typical ground surface, to the top of the Antenna at its highest position.
 - e. where applicable, be in accordance with the most current City Policy C471 - Policy for Siting Telecommunications Facilities
2. An Amateur Radio Antenna and Support Structure shall not be illuminated, nor shall it have attached to it any advertising, graphics, flags or other elements unrelated to its function as a component of a radio signal transmitting and receiving device.

3. An Amateur Radio Antenna shall be Landscaped to screen the base of the antenna and reduce the negative visual impact on adjacent properties. The Development Officer may require screening and Landscaping around the lower portion of the support structure where, in the opinion of the Development Officer, such measures would reduce potential negative visual impact of the structure on adjacent properties.
4. Notwithstanding subsection 50.5(1) of this Bylaw, a roof-mounted unit shall be allowed, where the applicant can demonstrate that a ground-mounted unit would prohibit adequate transmission or reception of radio signals. The Antenna and Support Structure of a roof-mounted unit shall be installed on the roof of a building to a maximum combined height of 18.0 m from the typical ground surface to its highest point.

52. Grade and Height

~~In determining whether a development conforms to the maximum Height permissible in any Zone, the following regulations shall apply:~~

~~1. In any Zone other than a residential zone, the following features shall not be considered for the purpose of Height determination: chimney stacks, either free-standing or roof mounted, steeples, belfries, domes, or spires, monuments, elevator housings, roof stairways, entrances, water or other tanks, ventilating equipment, skylights, fire walls, parapet walls, receiving or transmitting structures, masts, flag poles, clearance markers or other similar erections;~~

~~2. in any Residential Zone, those features specified in subsection 52.1 shall not be considered for the purpose of Height determination, except that the maximum Height of receiving or transmitting structures, where these are Satellite Signal Receiving Antennae or Amateur Radio Antennae and Support Structures, shall be calculated in accordance with the regulations of subsections 50.4 and 50.5, respectively, of this Bylaw. The maximum Height for all other receiving or transmitting structures, other than those which may normally be required for adequate local television reception, shall be the maximum Height in the Zone, and not the maximum Height for Accessory Buildings in Residential Zones specified in subsection 50.3(2);~~

~~3. notwithstanding clauses (1) and (2) above, any developments shall comply:~~

- ~~a. with the requirements contained in the [Airport Protection Overlay Schedules](#) governing the height of buildings and structures; and~~
- ~~b. with the requirements for operation of the Alberta Government Telephones microwave beams;~~

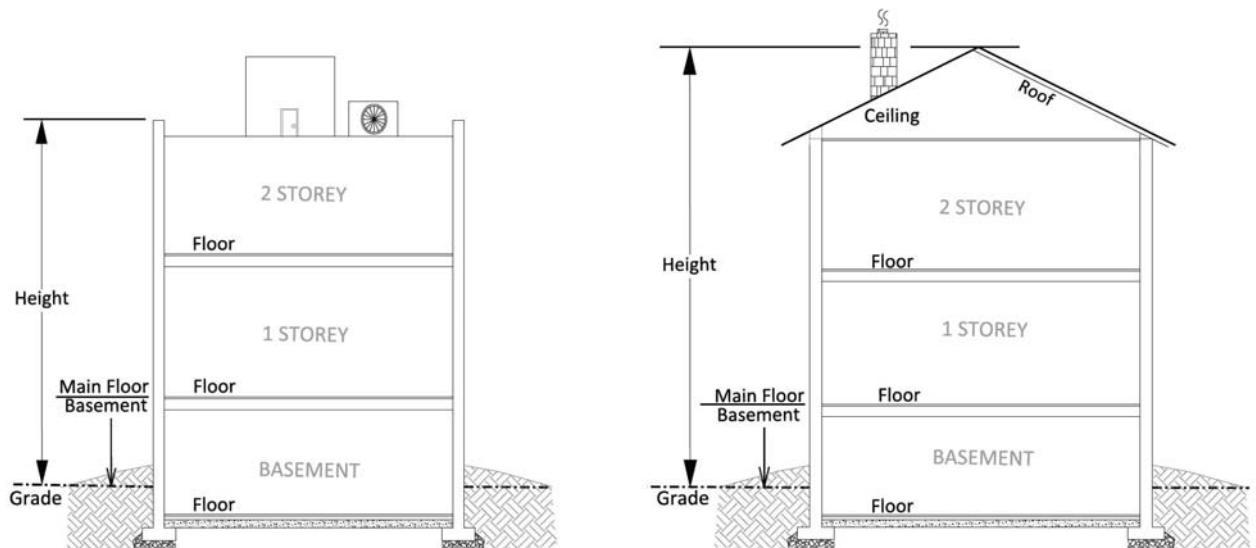
~~4. an applicant shall submit, for any Development Permit to construct, rebuild or increase the Height of a structure, a grading plan that shows the elevation of the Site at each corner of the Site before and after construction;~~

~~5. the Development Officer shall determine Grade by selecting, from the methods listed below, the method that best ensures compatibility with surrounding development:~~

- ~~a. if the applicant can show by reference to reliable topographical maps that the elevation of the Site varies by no more than one meter in 30 lineal meters, the Development Officer may determine Grade by calculating the average of the highest and lowest elevation on the Site;~~
- ~~b. the Development Officer may determine Grade by calculating the average of the elevation at the corners of the Site prior to construction as shown on the applicant's grading plan; or~~
- ~~c. the Development Officer may determine Grade by calculating the average elevation of the corners of the buildings on all properties abutting the Site or separated from the Site by a Lane;~~

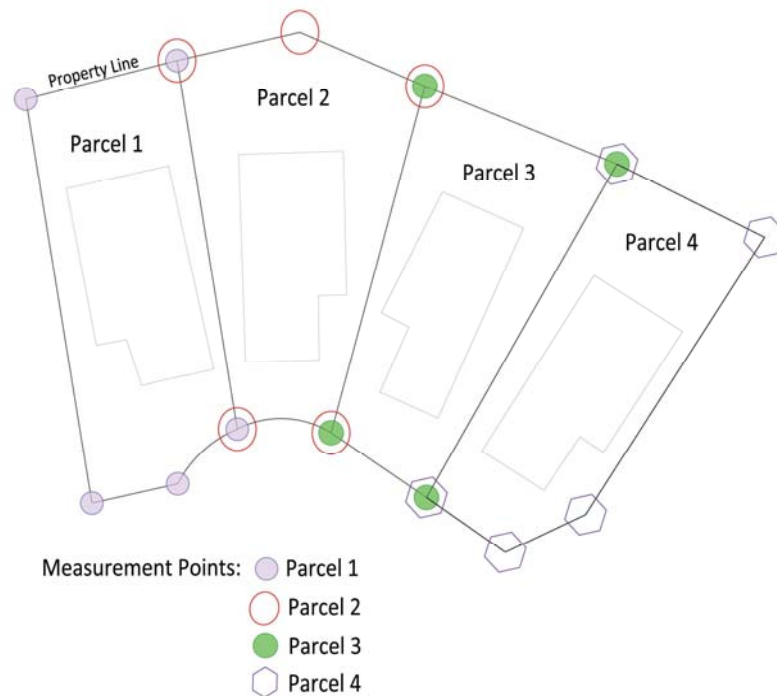
- ~~6. the applicant shall submit all information the Development Officer requires to determine Grade by the method the Development Officer has chosen; and~~
- ~~7. the Development Officer may use his variance power to determine Grade by a method other than the ones described in subsection 52.5. If so, this shall be a [Class-B Discretionary Development](#).~~

1. If required by the Development Officer to determine whether a development conforms to the maximum Height permissible with a Zone, the applicant for a development permit shall submit the following information to the Development Officer's satisfaction:
 - a. All information required by the Development Officer to calculate Grade and determine building Height, such as but not limited to:
 - i. A grading plan that shows the geodetic elevation of the Site at each corner of the lot(s), unless the development is a proposed residential development with floor area less than 47 square metres; and
 - ii. Scale elevation drawings, showing the proposed geodetic elevation of the finished level of the floor of the principal building that is directly above Grade, and the proposed dimensions of the principal building from that geodetic elevation to the proposed roof peak of the principal building
2. The Development Officer shall calculate building Height by measuring from the horizontal plane through Grade to the top of the parapet, top of the ridge, or top of the Sign structure, as applicable, except:
 - a. In all zones, chimney stacks, steeples, belfries, domes, or spires; masts, flag poles, clearance markers or other similar erections; monuments, skylights and/or fire walls shall not be included in the calculation of Height.

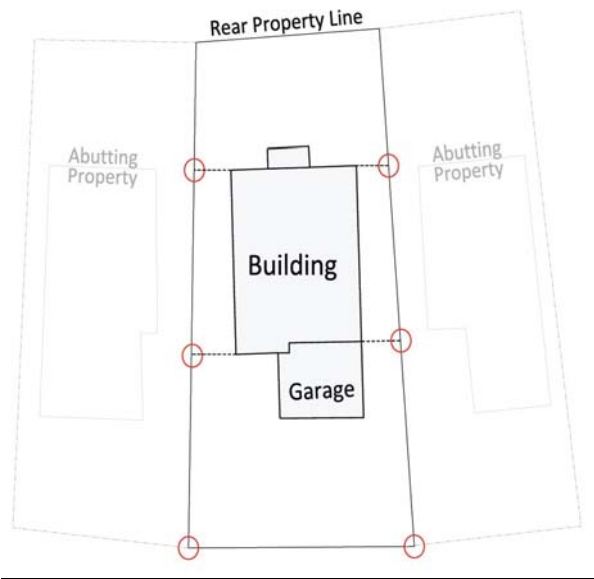


- b. In all zones, except the (RF5) Row Housing Zone, the (UCRH) Urban Character Row Housing Zone and Zones where Single Detached Dwelling is a Permitted Use: Elevator housings, roof stairways or rooftop access; water tanks and other tanks; heating ventilating and air conditioning (HVAC) equipment; and receiving or transmitting structures shall not be included in the calculation of Height.

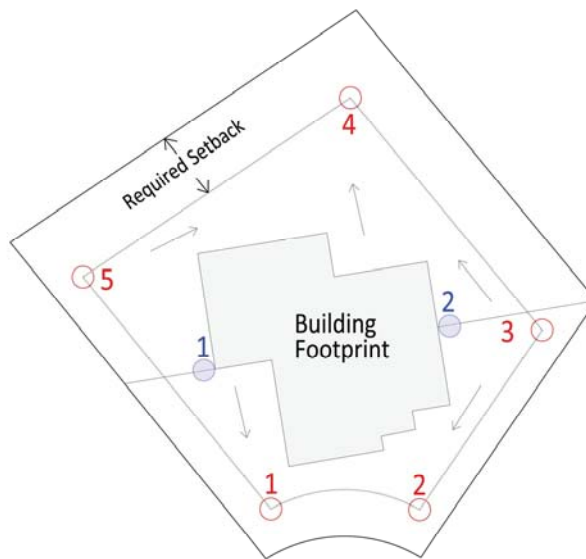
- c. In the (RF5) Row Housing Zone, the (UCRH) Urban Character Row Housing Zone and Zones where Single Detached Dwelling is a Permitted Use:
The maximum Height of receiving or transmitting structures, where these are Satellite Signal Receiving Antennas or Amateur Radio Antennas and Support Structures, shall be calculated in accordance with Sections 50.4 and 50.5, respectively, of this Bylaw. The maximum Height for all other receiving or transmitting structures, other than those which may normally be required for adequate local television reception, shall be the maximum Height in the Zone, and not the maximum Height for Accessory Buildings in Residential Zones specified in subsection 50.3(2);
 - d. In all zones, excluding 940 – Special Area Griesbach zones, where the development permit application proposes a development of a building or Accessory structure with a gable or hip roof, and has a roof pitch greater than 2/12, the Development Officer shall allow an increased Height in addition to the maximum Height in the zone (as modified by an overlay, if applicable) by 2.0m.
 - e. In all zones, excluding 940 – Special Area Griesbach zones, where the development permit application proposes a development of a building with a mansard, gambrel, shed roof, butterfly roof, saddle roof, or curved roof, the Development Officer shall allow an increased Height in addition to the maximum Height in the zone (as modified by an overlay, if applicable) by 1.0m.
3. The Development Officer shall determine Grade by selecting a method from the following options that best represents the Site:
- a. For all Sites except those otherwise described in this subsection, the Development Officer shall determine Grade by determining the geodetic elevation at the corners of the Site prior to construction as shown on the grading plan, and calculating the average elevation.



- b. For sites where the development permit application proposes a development including a walkout Basement, drive-under garage, or similar feature, the Development Officer shall determine Grade by using one of the following two options:
- i. For Sites where the development permit application proposes a building on a Site that is rectangular in nature, the Development Officer shall add together the geodetic elevation at the two corners where the side property line intersects the front property line; the intersection of the side property line and a line drawn parallel to the front face of the principal building and behind any proposed front-attached garage, or similar feature; and the intersection of the side property line and a line drawn parallel to the rear face of the proposed principal building; and divide the sum of the relevant geodetic elevations by the number of calculated geodetic elevation points;



- ii. For Sites where the development permit application proposes a building on a Site that is pie-shaped, diamond-shaped or otherwise irregular in nature, the Development Officer shall calculate geodetic elevations at the corners of the perimeter established by all required Setbacks in the underlying Zone (A), and calculate the average of two highest geodetic elevations within the perimeter established by all required Setbacks on the Site (B). The sum of the two resulting averages A and B shall then be divided by two, to result in Grade.



Apex method
Average Grade Elevation of corners of the perimeter established by required Setbacks.

$$1 + 2 + 3 + 4 + 5 = A$$

The average Grade Elevation of the two highest Grade Elevations within the perimeter established by required Setbacks

$$1 + 2 = B$$

The average of the two results

$$A + B$$

- c. On Sites with a size greater than 0.5 ha or on a Site where there are multiple buildings, the Development Officer may determine Grade for each building on the Site separately using one of the following options:
- i. The Grade for each building shall be determined by drawing an offset of four metres scaled outwards from the building footprint. At each outermost point from the building footprint and along the scaled offset line derive the geodetic

elevation at that point. Where there is more than one point, use the point that is closest to the property line to determine the geodetic elevation. Then calculate Grade using those points.

- ii. Where Grade of the outermost points on the building footprint is no greater than 1.5 metres above Grade of the corners of the Site, the Development Officer shall use geodetic elevations of the outermost points on the building footprint as the starting point to measure Height.
- d. In all zones, The Development Officer shall calculate Grade for Signs, Accessory structures and Platform Structures by using the average geodetic elevations of the outermost points on the structure footprint as the starting point to measure Height.
- e. The Development Officer may choose an alternative method to those described in subsection 52.3 for calculating Grade. The Development Officer may modify an established method or establish an alternate method. The Development Officer shall choose an alternative method only in cases where there is hardship associated with circumstances related to the Site.

55.3 Landscape Plan and Content

1. Every application for a development listed in subsection 55.2 shall include a Landscape Plan, drawn at a scale of 1 300 or larger, which clearly indicates and accurately identifies the following:
 - a. a key plan with a north arrow;
 - b. the property lines and dimensions of the Site;
 - c. the approximate or estimated location of land uses, building perimeters, and Landscaping on adjacent Sites;
 - d. adjacent public area features, such as streets, Lanes, driveways, vehicular entrances, street furniture and boulevard trees;
 - e. overhead, surface and underground utilities, and limits of easements;
 - f. outlines of all Site structures to include the building footprints at grade, location and type of underground structures and overhangs within the first two Storeys;
 - g. building entrances, porches, decks, steps, walkways, other hardsurfacing or hard landscaping features, parking areas, curbs, lighting, fencing, walls, screens, recreational facilities and garbage collection areas. Materials, colours and patterns shall be indicated;
 - h. ~~existing and final Site grading, including the established lot boundaries, elevations, berming shown in half metre contours, direction of Site drainage, proposed catch basin rim elevations, top and bottom of retaining wall elevations and existing elevations of plant material to be retained;~~ existing grading and final Site grading, including the direction of Site drainage, and berming shown on a grading plan in 0.5 metre contours; and the geodetic elevations of proposed catch basin rim, the corners of the Lot(s), the top and bottom of retaining walls, and of the plant material to be retained;
 - i. the height and materials of all fencing, screens and walls;

- j. existing trees and shrubs labelled by common name, botanical name, size, and condition of health. The sizes shall be graphically illustrated by the spread or canopy. In addition, the Calliper of tree trunks shall be identified. The Landscape Plan shall graphically illustrate the spread of the trees to be removed or relocated by the proposed construction;
- k. proposed trees, shrubs, flower beds and ground covers labelled by common name, cross-referenced with a plant list identifying botanical name, quantity, size and method of planting; and
- l. the method of watering the proposed Landscaping.

56. Excavation, Stripping and Grading

1. For the purpose of this Section, ~~Excavation~~ excavation shall mean ~~Excavation~~ excavation other than for construction or building purposes, including but not limited to, sand and gravel mining, top soil stripping, and construction of artificial bodies of water.
2. ~~A person wishing to excavate, strip or grade land shall provide the following details in his application:~~ A person wishing to undertake Site excavation, stripping or grading of land shall provide the following details in the application for a development permit:
 - a. the location and area of the Site on which the ~~Excavation~~ excavation, stripping or grading is to take place;
 - b. the existing land Use and vegetation;
 - c. the type and dimensions of the ~~Excavation~~ excavation to be made, and the effect on existing drainage patterns; and
 - d. the condition in which the ~~Excavation~~ excavation is to be left when the operations are complete, or the final disposition to be made of the area from which the topsoil is to be removed, including the action that is to be taken for restoring the condition of the surface of the land to be affected, for preventing, controlling or lessening the creation of erosion or dust from the land, and for preventing any siltation or erosion into any surrounding water courses.

87. Garage and Garden Suites

12. where Garage Suites or Garden Suites are Discretionary within the applicable Zone, the Development Officer may exercise discretion in considering a Garage Suite having regard to:
 - a. compatibility of the Use with the siting, ~~geodetic~~ Grade elevations, Height, roof slopes and building types and materials characteristic of surrounding low density ground-oriented housing and development;
 - b. the effect on the privacy of adjacent properties;
 - c. the policies and guidelines for Garage Suites and Garden Suites contained in a Statutory Plan for the area.

110 (RF1) Single Detached Residential Zone

110.4 Development Regulations for Permitted and Discretionary Uses

5. The maximum Height shall not exceed [10.0 m](#) ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

115 (RSL) Residential Small Lot Zone

115.4 Development Regulations for Permitted and Discretionary Uses

4. The maximum Height shall not exceed [10.0 m](#) ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

120 (RF2) Low Density Infill Zone

120.4 Development Regulations for Permitted and Discretionary Uses

6. The maximum Height shall not exceed [10.0 m](#) ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

130 (RPL) Planned Lot Residential Zone

130.4 Development Regulations for Permitted and Discretionary Uses

2. The maximum Height shall not exceed [10.0 m](#) ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

140 (RF3) Small Scale Infill Development Zone

140.4 Development Regulations for Permitted and Discretionary Uses

9. The maximum Height shall not exceed [10.0 m](#) ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

150 (RF4) Semi-detached Residential Zone

150.4 Development Regulations for Permitted and Discretionary Uses

4. The maximum Height shall not exceed [10.0 m](#) ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

155 (RMD) Residential Mixed Dwelling Zone

155.3. Development Regulations for Permitted and Discretionary Uses

11. The maximum building Height shall not exceed:

- ~~12.0 m nor 3 storeys~~ for Row Housing, and
- ~~10.0 m nor 2 1/2 storeys~~ for all other uses.
in accordance with Section 52.

160 (RF5) Row Housing Zone

160.4 Development Regulations for Permitted and Discretionary Uses

3. The maximum Height shall not exceed ~~10.0 m nor 2 1/2 Storeys~~, in accordance with Section 52.

165 (UCRH) Urban Character Row Housing Zone

165.4 Development Regulations for Permitted and Discretionary Uses

2. Site Area, Site dimensions, building Height shall be in accordance with Table 165.4(2).

Table 165.4(2) Site Area, Site Dimensions Building Height <u>and Building Storeys</u>				
	(i) minimum Site Area ¹	(ii) minimum Site Width	(iii) minimum Site Depth ¹	(iv) maximum building Height
(a) Row Housing internal Dwelling	<u>150 m²</u>	<u>5.0 m</u>	<u>30.0 m</u>	<u>12.0 m</u> 3 Storeys
(b) Row Housing end Dwelling	<u>186 m²</u>	<u>6.2 m</u>	<u>30.0 m</u>	<u>12.0 m</u> 3 Storeys
(c) Semi-detached Housing, per Dwelling	<u>210 m²</u>	<u>6.7 m</u>	<u>30.0 m</u>	<u>12.0 m</u> 3 Storeys
(d) Stacked Row Housing Development	<u>740 m²</u>	<u>20.0 m</u>	<u>30.0 m</u>	<u>12.0 m</u> 3 Storeys

1. Note: exceptions may apply to Bare Land Condominium Units as part of a Multi-unit Project Development. See Section 165.5.

170 (RF6) Medium Density Multiple Family Zone

170.4 Development Regulations for Permitted and Discretionary Uses

2. The maximum Height shall not exceed ~~14.0 m 16.0 m nor four Storeys~~, in accordance with Section 52.

11. Notwithstanding the other regulations of this Zone, where any building exceeds 10.0 m ~~or 2 1/2 Storeys~~ in height, or is a Multi-unit Project Development, and abuts a Site zoned to allow Single Detached Housing as a Permitted Use, or the RF5 Row Housing Zone, the following regulations shall apply along the said property line:

- a. a minimum Setback of [7.5 m](#) shall be required. The Development Officer may reduce this Setback to a minimum of [3.0 m](#) only where the proposed façade is a flanking wall and an acceptable landscaped buffer is provided;
- b. no outdoor parking, garbage collection, common amenity areas, or outdoor storage areas shall be developed within [3.0 m](#);
- c. a solid screen fence, [1.83 m](#) in height, shall be installed along all shared property lines, except along common flanking Front Yard boundaries;
- d. design techniques including, but not limited to, the use of sloped roofs, variations in building setbacks and articulation of building façades, shall be employed in order to minimize the perception of massing of the building when viewed from adjacent residential areas and roadways;
- e. building finishes shall be compatible with the exterior finishing materials and colours typical of adjacent development; and
- f. The Development Officer may require information regarding the location of windows and Amenity Areas on adjacent properties to ensure the windows or Amenity Areas of the proposed development are placed to minimize overlook into adjacent properties.

210 (RA7) Low Rise Apartment Zone

210.4 Development Regulations for Permitted and Discretionary Uses

~~4. The maximum Height shall not exceed [14.0 m](#) nor 4 Storeys. Floor Area may be developed in attic areas as additional space to a Dwelling, and not counted as a Storey, provided the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height. In cases where dormers or other windows are proposed, the development shall be considered a Discretionary Development. [16.0 m, in accordance with Section 52.](#)~~

11. Notwithstanding the other regulations of this Zone, where any building exceeds [10.0 m](#) ~~or 2 ½ Storeys~~ in height, or is a Multi-unit Project Development, and abuts a Site zoned to allow Single Detached Housing as a Permitted Use, or the RF5 Row Housing Zone, the following regulations shall apply along the said property line:

- a. a minimum Setback of [7.5 m](#) shall be required except that:
 - i. where a building exceeds [10.0 m](#) ~~or 2 ½ Storeys~~ in height, the portion of the building exceeding the said height shall have a minimum [10.0 m](#) Stepback from the property line;
 - ii. the Development Officer may reduce this Setback to a minimum of [1.0 m](#) per Storey or partial Storey only where the proposed façade is a flanking or end wall, and an acceptable landscaped buffer is provided. In no case, shall the Setback be less than [3.0 m](#), nor shall the Setback be reduced where the proposed building abuts the south property line of a neighbouring site;
 - iii. where a Stepback is provided, it shall be a minimum of [2.5 m](#);

220 (RA8) Medium Rise Apartment Zone

220.4 Development Regulations for Permitted and Discretionary Uses

6. The maximum Height shall not exceed 23.0 m ~~nor six Storeys~~.

14. Notwithstanding the other regulations of this Zone, where any building exceeds 10.0 m ~~or 2 1/2 Storeys~~ in height, or is a Multi-unit Project Development, and abuts a Site zoned to allow Single Detached Housing as a Permitted Use, or the RF5 Row Housing Zone, the following regulations shall apply along the said property line:

- a. a minimum Setback of 7.5 m shall be required except that:
 - i. where a building exceeds 10.0 m ~~or 2 1/2 Storeys~~ in height, the portion of the building exceeding the said height shall have a minimum 10.0 m Stepback from the property line;
 - ii. the Development Officer may reduce this Setback to a minimum of 1.0 m per Storey or partial Storey only where the proposed façade is a flanking or end wall, and an acceptable landscaped buffer is provided. In no case, shall the Setback be less than 3.0 m, nor shall the Setback be reduced, where the proposed building abuts the south property line of a neighbouring site;
 - iii. where a Stepback is provided, it shall be a minimum of 2.5 m;

240 (RR) Rural Residential Zone

240.4 Development Regulations for Permitted and Discretionary Uses

4. The maximum ~~Building~~ building Height shall be 10.0 m, in accordance with Section 52.

250 (RMH) Mobile Home Zone

250.4 Development Regulations for Permitted and Discretionary Uses

3. The following regulations apply to Mobile Homes when developed as a Mobile Home Subdivision:

- a. a permanent foundation shall be provided for each Mobile Home. ~~The foundation or basement shall not exceed 1.0 m above grade~~ The Height of the finished level of the floor that is directly above Grade of the Mobile Home Lot, and the Grade of the Mobile Home Lot within a Mobile Home Subdivision shall not exceed 1.0m; and

310 (CNC) Neighbourhood Convenience Commercial Zone

310.4 Development Regulations for Permitted and Discretionary Uses

8. The maximum ~~Building~~ building Height shall not exceed 10.0 m ~~nor 2 1/2 Storeys, in accordance with Section 52.~~

320 (CSC) Shopping Centre Zone

320.4 Development Regulations for Permitted and Discretionary Uses

6. The maximum ~~Building~~ building Height shall ~~be not exceed~~ 14.0 m.

330 (CB1) Low Intensity Business Zone

330.4 Development Regulations for Permitted and Discretionary Uses

9. The maximum ~~Building~~ *building* Height shall not exceed 12.0 m ~~nor three Storeys.~~ *except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4*

340 (CB2) General Business Zone

340.4 Development Regulations for Permitted and Discretionary Uses

~~6. The maximum Building Height shall not exceed 14.0 m nor 4 Storeys except for Hotel Developments and Apartment Hotels. Excluding Hotel Use and Apartment Hotels Use, the maximum building Height shall not exceed 16.0 m, in accordance with Section 52.~~

340.5 Additional Development Regulations for Discretionary Uses

2. The following regulations shall apply to Hotel Developments and Apartment Hotels:
 - a. the maximum building Height shall be 30.0 m; and
 - b. in addition to the Setback requirements of subsection 340.4(3), the Development Officer may, as a condition of approval, require an additional Setback for that portion of a Hotel that exceeds ~~14.0 m~~ 16.0 m in Height in order to protect the amenity and privacy of development in any adjacent Residential Zone. The Development Officer shall not require a total Setback greater than the Height of the building.

350 (CHY) Highway Corridor Zone

350.4 Development Regulations for Permitted and Discretionary Uses

3. A minimum Setback of 7.5 m shall be required where a Site abuts a public roadway including a Lane that serves a Residential Zone, or where a Site abuts the lot line of a Site zoned Residential;
4. In addition to the Setback requirements of clause (3) above, the Development Officer may, as a condition of approving a Discretionary Use, require an additional Setback for that portion of any development that exceeds 14.0 m in Height in order to protect the privacy of any adjacent residential development. The Development Officer shall not require a total Setback greater than the Height of the building.
6. The maximum ~~Building~~ *building* Height shall be 14.0 m, except the maximum Height for a Hotel or Apartment Hotel which shall be 30.0 m. Hotel or Apartment Hotel Developments exceeding 14.0 m in Height shall be a Class B Development.

360 (CO) Commercial Office Zone

360.4 Development Regulations for Permitted and Discretionary Uses

3. In addition to the Setback requirements in clause (2), above, the Development Officer may, as a condition of approval of a Discretionary Use, require an additional Setback for that portion of the development that exceeds ~~14.0 m~~ 16.0 m in Height. The Development Officer shall consider privacy and a Sun Shadow Impact Study when any development is adjacent to a Residential Zone.

4. No parking, loading, storage, trash collection, outdoor service or display area shall be permitted within a Setback. Loading, storage and trash collection areas shall be located to the rear or sides of the principal building and shall be screened from view from any adjacent Sites, public roadways or Light Rail Transit lines in accordance with the provisions of [subsection 55.4](#) of this Bylaw. If the rear or sides of a Site are used for parking, an outdoor service or display area and abut a Residential Zone or a Lane serving a Residential Zone, such areas shall be screened in accordance with the provisions of [subsection 55.4](#) of this Bylaw.

5. The maximum Building Height shall not exceed [23.0 m](#) ~~nor six Storeys~~, except that the Development Officer may, at his discretion, allow a greater Height, not to exceed a maximum of [40.0 m](#) ~~nor 10 Storeys~~ where this would not adversely affect the privacy and amenity of development in any adjacent Residential Zone. Any development exceeding [23.0 m](#) in Height shall be a Class B Development.

370 (CB3) Commercial Mixed Business Zone

370.4 Development Regulations

10. Building Height:

a. The maximum building Height shall not exceed [36.0 m](#) ~~or ten Storeys~~.

b. Notwithstanding the above, the Development Officer may increase the building Height to a maximum of [45.0 m](#) ~~or fourteen Storeys~~ if the additional Height accommodates Residential or Residential-Related Uses and:

i. adjacent buildings abut the Lot line to form a pedestrian-oriented shopping street; or

ii. the development consists of a podium that forms part of an existing or future pedestrian-oriented shopping street; or

iii. the Site is located on a Transit Avenue.

iv. the proposed development creates a similar or improved wind condition relative to the existing wind condition at Grade

v. adverse environmental impacts created by sun shadow shall be minimized in accordance with Section 14.3 of this Bylaw.

~~Adverse environmental impacts such as sun shadow and wind shall be minimized in accordance with [Section 14](#) of this Bylaw. Any development exceeding [36.0 m](#) or ten Storeys in Height shall become a Class B Development.~~

400 (IB) Industrial Business Zone

400.4 Development Regulations for Permitted and Discretionary Uses

5. The maximum Height shall not exceed [12.0 m](#) ~~nor three Storeys~~, except that the Development Officer may, notwithstanding [subsection 11.4](#), grant a variance to permit a greater Height for a building housing a General Industrial Use up to a maximum of [14.0 m](#), where this is required to facilitate the industrial development of the Use involved.

570 (CS1) Community Services 1 Zone

570.3.1 Development Regulations for Uses Listed Under Sections 570.2.1 and 570.2.2

4. The maximum ~~Building~~ *building* Height shall be ~~10.0 m~~ *10.0 m* ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

570.4.1 Development Regulations for Uses Listed Under Sections 570.2.3 and 570.2.4

2. The maximum Height shall not exceed ~~10.0 m~~ *10.0 m* ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

571 (CS2) Community Services 2 Zone

571.3.1 Development Regulations for Uses Listed Under Sections 571.2.1 and 571.2.2

4. The maximum building Height shall ~~not exceed 10.0 m unless otherwise approved by the Development Officer where deemed appropriate for the Use and having regard to the Height allowed in adjacent Zones,~~ in accordance with Section 52. The Development Officer may, notwithstanding subsection 11.4, grant a variance to permit a greater Height for a building where deemed appropriate for the proposed Use and having regard to the Height allowed in adjacent Zones.

571.4.1 Development Regulations for Uses Listed Under Sections 571.2.3 and 571.2.4

2. The maximum Height shall not exceed ~~10.0 m~~ *10.0 m* ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

572 (CS3) Community Services 3 Zone

572.3.1 Development Regulations for Uses Listed Under Sections 572.2.1 and 572.2.2

5. ~~The maximum Building Height shall be 10.0 m, except in the case of buildings or structures Accessory to a Farm, other than a single detached Dwelling. Height is not restricted for Buildings or structures for Agricultural and Natural Resource Development Uses. Excluding buildings or structures for Agricultural and Natural Resource Development Uses, the maximum building Height shall not exceed 10.0 m, in accordance with Section 52.~~

572.4.1 Development Regulations for Uses Listed Under Sections 572.2.3 and 572.2.4

2. The maximum Height shall not exceed ~~10.0 m~~ *10.0 m* ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

3. The total number of Storeys shall not exceed 2, in accordance with Section 52.

573 (CS4) Community Services 4 Zone

573.3.1 Development Regulations for Uses Listed Under Sections 573.2.1 and 573.2.2

5. ~~The maximum Building Height shall be 10.0 m, except in the case of buildings or structures Accessory to a Farm, other than a single detached Dwelling.~~ Building Height is not restricted for Buildings or structures for Agricultural and Natural Resource Development Uses. Excluding buildings or structures for Agricultural and Natural Resource Development Uses, the maximum building Height shall not exceed 10.0 m, in accordance with Section 52.

573.4.1 Development Regulations for Uses Listed Under Sections 573.2.3 and 573.2.4

2. The maximum Height shall not exceed 10.0 m ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

610 (AG) Agricultural Zone

610.4 Development Regulations for Permitted and Discretionary Uses

5. ~~The maximum Building Height shall be 10.0 m, except in the case of buildings or structures Accessory to a Farm, other than a single detached Dwelling.~~ Building Height is not restricted for Buildings or structures for Agricultural and Natural Resource Development Uses. Excluding buildings or structures for Agricultural and Natural Resource Development Uses, the maximum building Height shall not exceed 10.0 m, in accordance with Section 52.

620 (AGU) Urban Reserve Zone

620.4 Development Regulations for Permitted and Discretionary Uses

5. ~~The maximum Building Height shall be 10.0 m, except in the case of buildings or structures Accessory to a Farm, other than a single detached Dwelling.~~ Building Height is not restricted for Buildings or structures for Agricultural and Natural Resource Development Uses. Excluding buildings or structures for Agricultural and Natural Resource Development Uses, the maximum building Height shall not exceed 10.0 m, in accordance with Section 52.

630 (AGI) Industrial Reserve Zone

630.4 Development Regulations for Permitted and Discretionary Uses

5. ~~The maximum Building Height shall be 10.0 m, except in the case of buildings or structures Accessory to a Farm, other than a single detached Dwelling.~~ Building Height is not restricted for Buildings or structures for Agricultural and Natural Resource Development Uses. Excluding buildings or structures for Agricultural and Natural Resource Development Uses, the maximum building Height shall not exceed 10.0 m, in accordance with Section 52.

810 (APO) Airport Protection Overlay

810.4 Submission Requirements

In addition to the general submission requirements of this Bylaw, where required by the Development Officer, an application for a Development Permit for land in an Airport Protection Overlay Schedule must provide the following information:

- a. the geodetic elevation of the highest point of the proposed building Site, ~~to be referenced to geodetic elevations. Geodetic elevation is the elevation of a point and its vertical distance, determined by employing the principles of geodesy above or below an assumed level surface or datum.~~

812 (FPO) Floodplain Protection Overlay

812.1 General Purpose

The purpose of this Overlay is to provide for the safe and efficient use of lands which may be within the defined floodplains of the North Saskatchewan River and its tributaries within the City of Edmonton. ~~through the regulation of building Heights and elevations, openings into buildings, Uses of portions of buildings, Grades and Landscaping in addition to the requirements of the underlying Zone in their vicinity.~~ The overlay regulates building Height, the location and geodetic elevation of openings into buildings, the Use in portions of buildings, the design Grade of the Site, and Landscaping, to mitigate the potential negative effects of a flood event.

814 Mature Neighbourhood Overlay

814.3 Development Regulations

13. The maximum Height shall not exceed 8.6 m ~~nor 2 1/2 Storeys.~~ , in accordance with Section 52.

~~14. The Floor Area of the upper half Storey of a 2 1/2 Storey building shall not exceed 50% of the structure's second Storey Floor Area.~~

15. When a structure is more than 7.5 m in Height, the width of any one dormer shall not exceed 3.1 m. In the case of more than one dormer, the aggregate total width shall not exceed one third of the length of the building's wall in which the dormers are located, excluding attached Garage walls.

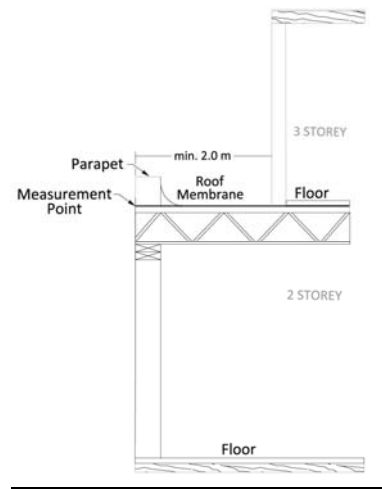
~~16. The Basement elevation of structures of two or more Storeys in Height shall be no more than 1.2 m above Grade. The Basement elevation shall be measured as the distance between Grade level and the floor of the first Storey.~~

814.4 Additional Development Regulations for Specific Areas

2. The following regulations shall apply to all zones within the boundaries of the Mature Neighbourhood Overlay, and meet the specific Lot width and roof pitch criteria identified below:

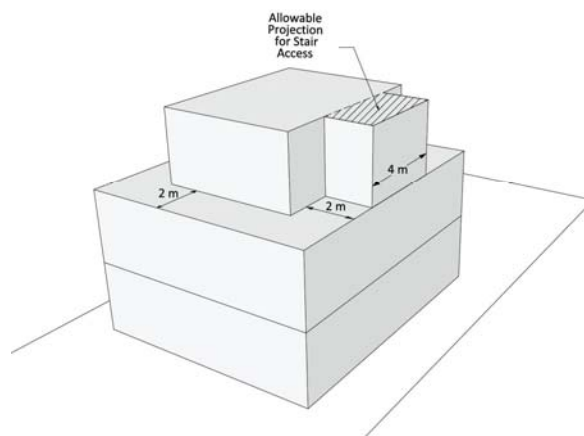
- a. Where an application proposes a principal building that has a roof slope of 2/12 or less (a flat roof) on a Site that has frontage greater than 12.0 metres, the maximum Height may increase by up to 2.5 metres provided that the portion above the maximum base Height in the underlying zone as it is modified by this overlay, is Stepback from all exterior walls of the building a

minimum of 2.0 metres as measured from the intersection of the top of the second floor roof truss at the exterior of the building to the exterior walls of the portion granted additional Height;



i. Notwithstanding 814.4(2)(a), a projection into the required 2.0 metre Stepback from the portion granted additional height may extend to the exterior wall to accommodate stairway access shall be permitted. The width of any such projection shall not exceed 4.0 metres, and in the case of more than one projection, the aggregate total width shall not exceed two fifths of the length of the building's wall on which the projection is located.

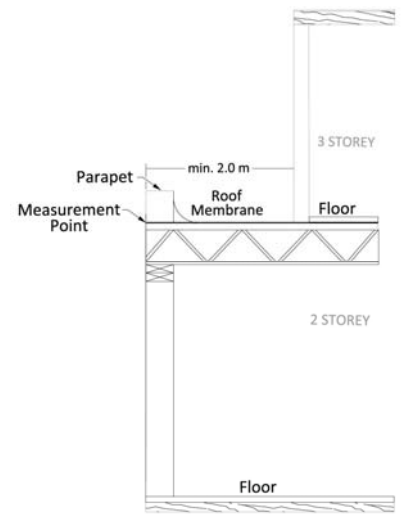
Third Storey Massing for Flat Roof Building on a Lot with Frontage ≥ 12 m



ii. Variances to the Stepback requirement and the restriction on Floor Area of the top Storey shall be processed as a Class B application;

b. Where an application proposes a principal building that has a roof slope of 2/12 or less (a flat roof) on a Site that has frontage less than 12.0 metres, the maximum Height may increase by up to 2.5 metres provided that the portion above the maximum Height in the underlying zone as it is modified by this overlay, is Stepback from the front and rear exterior walls of the building a minimum of 2.0 metres as measured from the intersection of the top of the

second floor roof truss at the exterior of the building:



i. Variances to the Stepback requirement and the restriction on Floor Area of the top Storey shall be processed as a Class B application:

815 Medium Density Residential Overlay

815.3 Development Regulations for Apartment Housing

2. The maximum Height shall not exceed ~~14.0 m~~ 16.0 m, or four Storeys and when a fourth Storey is constructed, at least 50% of the upper Storey shall be set back a minimum of ~~2.0 m~~ 2.0 m from the front wall of the building. In the case of a Corner Lot, this Setback shall apply to both street facing façades. Where the development abuts a property where Single Detached Housing is a Permitted Use, the entire fourth Storey shall be set back a minimum of ~~2.0 m~~ 2.0 m adjacent to the property where Single Detached Housing is a Permitted Use. Notwithstanding that an increase to maximum Height or Storeys is permitted under Section 52.4, a building's Floor Area of the fourth Storey shall be Stepback a minimum of 2.0 m from the front wall of the building. In the case of a Corner Lot, this Stepback shall apply to both street facing façades. Where the development abuts a property where Single Detached Housing is a Permitted Use, the entire fourth Storey shall be Stepback a minimum of 2.0 m adjacent to the property where Single Detached Housing is a Permitted Use.

3. Any habitable Basement development shall be counted as a Storey of development. Where the Basement consists of non-habitable development, the floor of the first Storey shall not be constructed more than 1.2 m above grade.

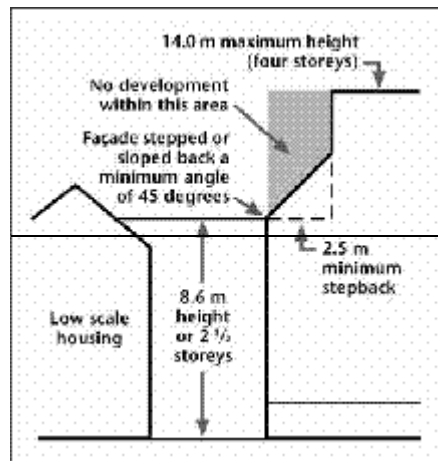
823 Medium Scale Residential Infill Overlay

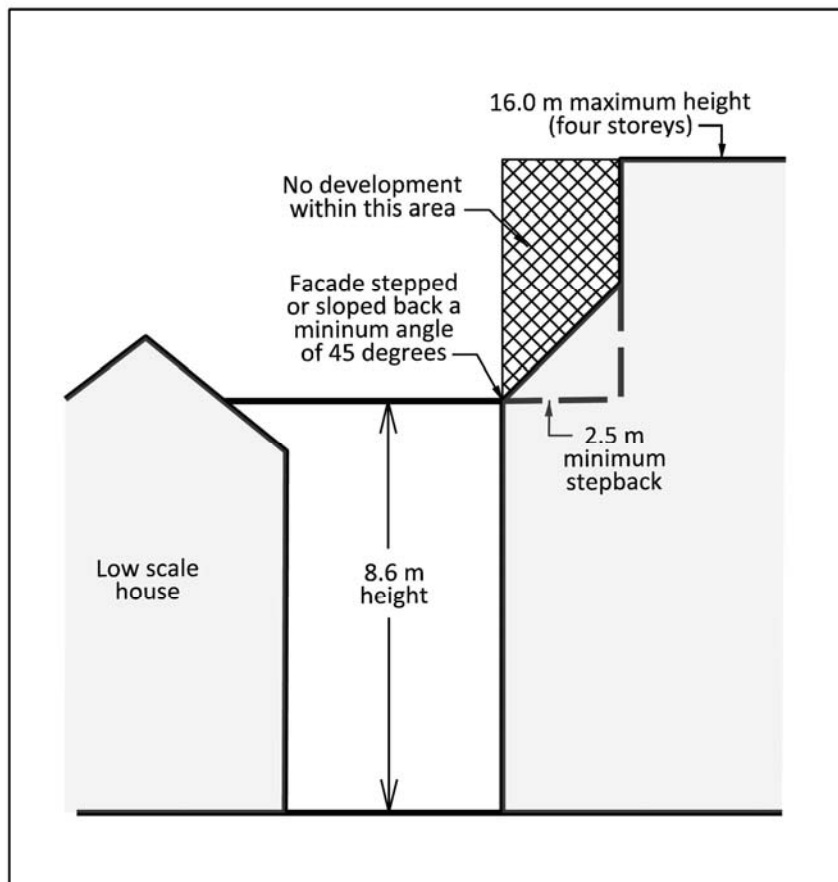
823.3 Development Regulations

1. ~~Building Envelope~~ Building form

e. Where any building exceeds [8.6 m](#) ~~or 2 1/2 Storeys~~ in height, on all Sites abutting a property zoned to allow Single Detached Housing as a Permitted Use or the RF5 Row Housing Zone, the following regulations shall apply along the shared property line:

- i. a minimum Setback of [7.5 m](#) shall be required;
- ii. the Development Officer may reduce this Setback to no less than [3.0 m](#) where the proposed façade is a flanking or end wall and where an acceptable landscaped buffer is provided;
- iii. there shall be no variance to the [7.5 m](#) Setback where the Site abuts the south property line of a neighbouring Site; and
- iv. at a maximum height of [8.6 m](#) ~~or 2 1/2 Storeys~~ the directly adjacent façade shall be stepped or sloped back at a minimum angle of 45 degrees from the vertical plane for a minimum horizontal distance of [2.5 m](#) to optimize access to sunlight, increase privacy and otherwise provide for an appropriate transition to the abutting property, as shown in the following illustration.





f. The maximum Height shall not exceed ~~14.0 m~~ 16.0 m, ~~nor four Storeys~~. Any loft or usable space developed in attic areas as additional space to a Dwelling shall be deemed a Storey.

g. Any Basement development which contains a Habitable Room shall be deemed a Storey of development. Where the Basement does not contain a Habitable Room the floor of the ground Storey shall not be constructed more than 1.2 m above Grade.

h. The total length of any building shall not exceed 48.0m.

823.5 Additional Development Regulations for Specific Areas

2. The following additional regulation shall apply to residential development within the 'mixed low and medium density residential area' as defined in the Strathcona Area Redevelopment Plan, and shown in Appendix 3 Mixed Low and Medium Density Residential Area, Strathcona to this Overlay:

a. The maximum Height shall not exceed 11.0 m ~~nor three Storeys~~.

b. Any Basement or attic development which contains a Habitable Room shall be deemed a Storey of development.

3. The following regulations shall apply to residential development within the 'walk up apartment area' as defined in the Strathcona Area Redevelopment Plan, and shown in Appendix 4 - Walk Up Apartment Area, Strathcona to this Overlay:

a. The maximum Height shall not exceed ~~14.0 m~~ 16.0 m, ~~nor four Storeys~~. The front façade of the fourth storey shall be stepped back from the third storey by at least 2.5 m. In the case of a Corner Lot, this Stepback shall apply to both street facing façades.

~~b. Any Basement or attic development which contains a Habitable Room shall be deemed a Storey of development.~~

910.5 (CCA) Core Commercial Arts Zone

4. Development Regulations for Permitted and Discretionary Uses

5. Urban Design Regulations

a. Street Interface

- i. Buildings shall reflect the street types identified in the Urban Design Framework for Downtown Streets within the Capital City Downtown Plan, Bylaw 15200, emphasizing specific boulevard treatments to enhance the pedestrian oriented character of the Commercial Cultural Core.
- ii. Buildings shall be designed to accommodate Commercial Uses to strengthen the pedestrian oriented shopping area through the following:
 - A. The ground Storey shall have a minimum Height of [3.5m](#),
 - B. Architectural treatment of new developments and substantial renovations shall have windows on the front façade of the building at each storey, and the placement and type of windows shall allow viewing into the building,
 - C. Major shopping complexes and large-format stores over [2000m²](#) shall contain smaller scale retail spaces with direct access to the street to maintain a rhythm of fine-grained retail establishments at ~~grade~~ Grade. All street level Commercial Uses that abut a street shall provide a primary direct access to the street,
 - D. A minimum of 60% of street frontage for retail, services, and other commercial uses, and
 - E. ~~The ground floor elevation shall not exceed the elevation of the abutting public sidewalk by~~ The geodetic elevation of the top of the floor on the level that is directly above Grade shall not exceed the geodetic elevation of the abutting public sidewalk by more than [0.3 m](#), ~~at the discretion of the Development Officer where the grade or other site conditions require greater grade separation.~~

910.6 (CMU) Commercial Mixed Use Zone

5. Urban Design Regulations

a. Street Interface

- i. Developments in this zone shall reflect the street types identified in the Urban Design Framework for Downtown Streets within the Capital City Downtown Plan, Bylaw 15200.
- ii. Developments shall be designed to accommodate office, institutional, retail and service uses to strengthen the area as a pedestrian oriented shopping area through the following:
 - A. The ground Storey shall have a minimum Height of [3.5m](#);
 - B. Buildings located along identified shopping streets shall provide and maintain a rhythm of fine-grained retail establishments with direct access to the street and contain numerous shop fronts,

entrances, variety of textures and building materials to enhance the pedestrian environment;

C. A minimum of 50 % at Grade Frontage shall be developed for Commercial Uses; and

~~D. The ground floor elevation shall not exceed the elevation of the abutting public sidewalk by~~ The geodetic elevation of the top of the floor on the level that is directly above Grade shall not exceed the geodetic elevation of the abutting public sidewalk by more than 0.3 m, ~~at the discretion of the Development Officer where the grade or other site conditions require greater grade separation.~~

910.7 (HA) Heritage Area Zone

5. Urban Design Regulations

d. Other Regulations

~~v. At least 80% of the floor elevation of the ground (first) floor shall be no higher than 0.75 m above the mean Grade of the adjacent public sidewalk or public park, at the property line.~~ The geodetic elevation of the floor that is directly above Grade shall not exceed the geodetic elevation of the abutting public sidewalk by more than 0.75 metres, for a minimum of 80% of the building Frontage.

910.8 (HDR) High Density Residential Zone

5. Urban Design Regulations

a. Street Interface

i. Developments in this zone shall incorporate the street characteristics outlined in the Urban Design Framework for Downtown Streets within the Capital City Downtown Plan, Bylaw 15200, emphasizing the residential character of the neighbourhood.

ii. Along 99 Avenue and 104 Street, developments shall:

A. Provide a minimum ground floor Height of 3.5m;

B. Accommodate the conversion of smaller scale developments to pedestrian oriented retail uses such as small restaurants, cafes, specialty retail and design oriented establishments; and

~~C. Ensure that, for non-residential uses, the ground floor elevation does not exceed the elevation of the abutting public sidewalk by~~ For non-residential uses, the geodetic elevation of the top of the floor on the level that is directly above Grade shall not exceed the geodetic elevation of the abutting public sidewalk by more than 0.3 m, ~~at the discretion of the Development Officer where the grade or other site conditions require greater grade separation.~~

c. Entrances and Corners

i. In mixed-use buildings, residential entrances shall be designed separately from commercial or institutional entrances and address the street in a prominent manner.

ii. At grade residential developments shall provide separate, individual access at grade and feature identifiable doorways, landscaped terraces, pedestrian lighting, and patios. ~~They shall ensure adequate privacy through the provision of screening and at least a 0.75m grade separation above the adjacent City sidewalk.~~ To ensure adequate privacy, the applicant shall provide screening to indicate separate individual access to each unit.

iii. The geodetic elevation of the floor that is directly above Grade shall be greater than the geodetic elevation of the abutting public sidewalk by at least 0.75 metres.

910.9 (JAMSC) Jasper Avenue Main Street Commercial Zone

5. Urban Design Regulations

a. Street Interface

i. Developments in this zone shall reflect the requirements outlined in the Urban Design Framework for Downtown Streets within the Capital City Downtown Plan, Bylaw 15200, emphasizing specific boulevard treatments to enhance the pedestrian oriented character of Jasper Avenue.

ii. Developments shall provide multiple points of interaction in the form of doorways, operable windows, and large display windows to facilitate pedestrian interaction.

iii. Developments shall provide the opportunity for street fronting convenience retail and service uses to strengthen Jasper Avenue and abutting side Streets as a pedestrian oriented shopping area through the following:

A. The ground Storey shall have a minimum Height of 3.5m;

B. Allowing conversions of large scale developments to pedestrian oriented retail uses such as small restaurants, cafes, specialty retail and design oriented establishments;

C. Providing, for larger developments over 1,860 m², smaller scale retail spaces to maintain a rhythm of fine-grained retail establishments at grade. All street level Commercial Uses that abut a Public Roadway, other than a lane, shall provide a primary direct access to the street;

D. Providing Continuous ground-level retail and commercial uses using a perceived pattern of small shop frontages no more than 32 m in width at street level; and

~~E. The ground floor elevation shall not exceed the elevation of the abutting public sidewalk by~~ The geodetic elevation of the top of the floor on the level that is directly above Grade shall not exceed the geodetic elevation of the abutting public sidewalk by more than 0.3 m, at the discretion of the Development Officer where the grade or other site conditions require greater grade separation.

910.10 (RMU) Residential Mixed Use Zone

5. Urban Design Regulations

a. Street Interface:

- i. Developments in this zone shall reflect the criteria outlined in the Urban Design Framework for Downtown Streets within the Capital City Downtown Plan, Bylaw 15200, to enhance the residential mixed-use character of the area.
- ii. Along 99 Avenue and 104 Street, developments shall:
 - A. Provide a minimum ground floor Height of 3.5m;
 - B. Accommodate the conversion of smaller scale developments to pedestrian oriented retail uses such as small restaurants, cafes, specialty retail and design oriented establishments; and
 - C. ~~Ensure that, for non-residential uses, the ground floor elevation does not exceed the elevation of the abutting public sidewalk by~~ For non-residential uses, the geodetic elevation of the top of the floor on the level that is directly above Grade shall not exceed the geodetic elevation of the abutting public sidewalk by more than 0.3 m, at the discretion of the Development Officer where the grade or other site conditions require greater grade separation.

b. Street Wall Design:

- i. The Height of the building façade that comprises a portion of the Street Wall shall range from 7m to 16m.
- ii. Buildings less than 26m in Height on sites 700m² or less shall feature building design and façade treatment at the lower three floors to strengthen the residential ambiance of the street or block and enhance the pedestrian environment.
- iii. Ground floor units shall be designed and articulated every 7.5m to differentiate individual dwelling units address and provide direct access to the street.
- iv. At grade residential developments shall provide separate, individual access at grade and feature identifiable doorways, landscaped terraces, pedestrian lighting, and patios. ~~They shall ensure adequate privacy through the provision of screening and at least a 0.75m grade separation above the adjacent City sidewalk.~~ To ensure adequate privacy, the applicant shall provide screening to indicate separate individual access to each unit.
- iii. The geodetic elevation of the floor that is directly above Grade shall be greater than the geodetic elevation of the abutting public sidewalk by at least 0.75 metres.

910.11 (UW) - URBAN WAREHOUSE ZONE

5. Urban Design Regulations

a. Street Interface

- i. Buildings shall reflect the street status outlined in the Urban Design Framework for Downtown Streets within the Capital City Downtown Plan, Bylaw 15200, to enhance the pedestrian oriented character of the residential and commercial streets.

ii. Buildings shall provide street fronting non-residential uses to strengthen 102 and 104 Avenues, 105 and 109 streets as commercial shopping streets area through the following:

A. The ground Storey shall have a minimum Height of [3.5m](#);

B. Architectural treatment of new developments and renovations shall ensure that each Storey has windows on the front façade of the building, and that the placement of type of windows shall allow viewing into the building; and

~~C. The ground floor elevation shall not exceed the elevation of the abutting public sidewalk by~~ The geodetic elevation of the top of the floor on the level that is directly above Grade shall not exceed the geodetic elevation of the abutting public sidewalk by more than [0.3 m](#), at the discretion of the Development Officer where the grade or other site conditions require greater grade separation.

b. Street Wall Design

i. The building façade that comprises a portion of the Street Wall shall range in Height from [12m](#) - [26m](#).

ii. Developments shall ensure ground floor dwellings that front onto a Public Roadway, other than a lane, are designed and articulated every [7.5m](#) to differentiate individual dwelling units address and provide direct access.

iii. At grade residential developments shall provide separate, individual access at grade and feature identifiable doorways, landscaped terraces, pedestrian lighting, and patios. ~~They shall ensure adequate privacy through the provision of screening and at least a [0.75m](#) grade separation above the adjacent City sidewalk.~~ To ensure adequate privacy, the applicant shall provide screening to indicate separate individual access to each unit.

iii. The geodetic elevation of the floor that is directly above Grade shall be greater than the geodetic elevation of the abutting public sidewalk by at least 0.75 metres.

910.12 (AED) - ARENA & ENTERTAINMENT DISTRICT ZONE

4. Development Regulations for Permitted and Discretionary Uses

b. Building Height

i. The maximum building Height shall not exceed [180 m](#), ~~nor 60 storeys~~.

ii. Notwithstanding the above, the maximum ~~height~~ Height for buildings in this Zone shall not exceed that established by the Airport Protection Overlay of the Zoning Bylaw.

940.5 (GLD) Griesbach Low Density Residential Zone

5) Development Regulations

~~d. The maximum Building Height shall not exceed 12.0 m nor 2½ storeys, provided that no eave line shall be higher than 9.0 m from Grade. The maximum building Height shall not exceed 12.0 m, in accordance with Section 52, and provided that no eave line shall have a Height greater than 9.0 m from Grade.~~

940.6 (GVC) Griesbach Village Centre Zone

5) Development Regulations for Uses

~~l. The maximum Building Height shall not exceed 18.0 m nor 4 storeys, provided that no eave line shall be higher than 14.0 m from grade. The maximum building Height shall not exceed 18.0 m provided that no eave line shall have a Height greater than 14.0 m from Grade. Floor Area may be developed in attic areas as additional space to a Dwelling, and not counted as a Storey, provided the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height. In cases where dormers or other windows are proposed, the development shall be considered a Discretionary Development.~~

940.7 (RF5g) Griesbach Row Housing Zone

3. The following development regulations shall apply to the development of RF5g Zones within the Griesbach Special Area as identified on Appendix I to this Section:

~~a. The maximum Building Height shall not exceed 12.0 m nor 2½ storeys, provided that no eave line shall be higher than 9.0 m from Grade. The maximum building Height shall not exceed 12.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4, and provided that no eave line shall have a Height greater than 9.0 m from Grade.~~

940.8 (RA7g) Griesbach Low Rise Apartment Zone

3. The following development regulations shall apply to the development of RA7g Zones within the Griesbach Special Area as identified on Appendix I to this Section:

~~a. The maximum Building Height shall not exceed 18.0 m nor 4 storeys, provided that no eave line shall be higher than 14.0 m from grade. The maximum building Height shall not exceed 18.0 m provided that no eave line shall have a Height greater than 14.0 m from Grade. Floor Area may be developed in attic areas as additional space to a Dwelling, and not counted as a Storey, provided the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height. In cases where dormers or other windows are proposed, the development shall be considered a Discretionary Development.~~

940.9 (GLG) Griesbach Low Density Residential with Garage Suites Zone

5) Development Regulations

- d. ~~The maximum Building Height shall not exceed 12.0 m nor 2½ storeys, provided that no eave line shall be higher than 9.0 m from Grade. The maximum building Height shall not exceed 12.0 m, except that the Development Officer shall permit an increase to this maximum if the proposed development satisfies the conditions in Section 52.4, and provided that no eave line shall have a Height greater than 9.0 m from Grade.~~

950.4 (CCHD) Clareview Campus High Density Residential Zone

3) Development Regulations

- c. The maximum Height shall not exceed ~~12 storeys nor~~ 45.0 m;

950.5 (CCMD) Clareview Campus Medium Density Residential Zone

3) Development Regulations

The following regulations shall apply:

- b. ~~The maximum Height shall not exceed 14.0 m 16.0 m, nor 4 storeys plus a loft, which must be integrated with the top storey. Floor Area may be developed in attic areas as additional space up to 50% of the Dwellings, and not counted as a storey, unless the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height;~~

- r. Notwithstanding 950.5(3)(b) the maximum Height for Row Housing shall not exceed 10 m ~~or 2 1/2 Storeys,~~ in accordance with Section 52.

950.6 (CCLD) Clareview Campus Low Density Residential Zone

3) Development Regulations

- b. The maximum ~~height~~ Height shall not exceed 10.0 m ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

950.7 (CCSF) Clareview Campus Single Family Residential Zone

3) Development Regulations

- b. The maximum ~~height~~ Height shall not exceed 10.0 m ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

950.8 (CCNC) Clareview Campus Neighbourhood Commercial Zone

3) Development Regulations

- e. The maximum building ~~height~~ Height shall not exceed 10.0 m ~~nor 2 1/2 Storeys,~~ in accordance with Section 52.

960.4 (CCNC) Clareview Campus Neighbourhood Commercial Zone

4) Development Regulations

- e. The maximum building ~~height~~ *Height* shall not exceed [10.0 m](#) ~~nor 2 1/2 Storeys, in accordance with Section 52.~~
- b. The maximum Height shall not exceed ~~[14.0 m](#) 16.0 m, nor 4 habitable storeys plus a loft, which must be integrated with the top storey. Development of a habitable basement will count as a storey. Floor Area may be developed in attic areas as additional space up to 50% of the Dwellings, and not counted as a storey, unless the additional Floor Area creates architectural interest to the design of the building and the development is within the maximum allowable Height.~~

980 SPECIAL AREA HERITAGE VALLEY LOW DENSITY ZONE

980.5 Development Regulations

- i. The maximum building ~~height~~ *Height* shall not exceed [12.0 m](#) ~~nor 2 1/2 Storeys, in accordance with Section 52.~~

995 Graydon Hill Low Density Residential Zone

995.4 Development Regulations

- h. The maximum building ~~height~~ *Height* shall not exceed [12.0 m](#) ~~nor 2 1/2 Storeys, in accordance with Section 52.~~