

Welcome to the Open House

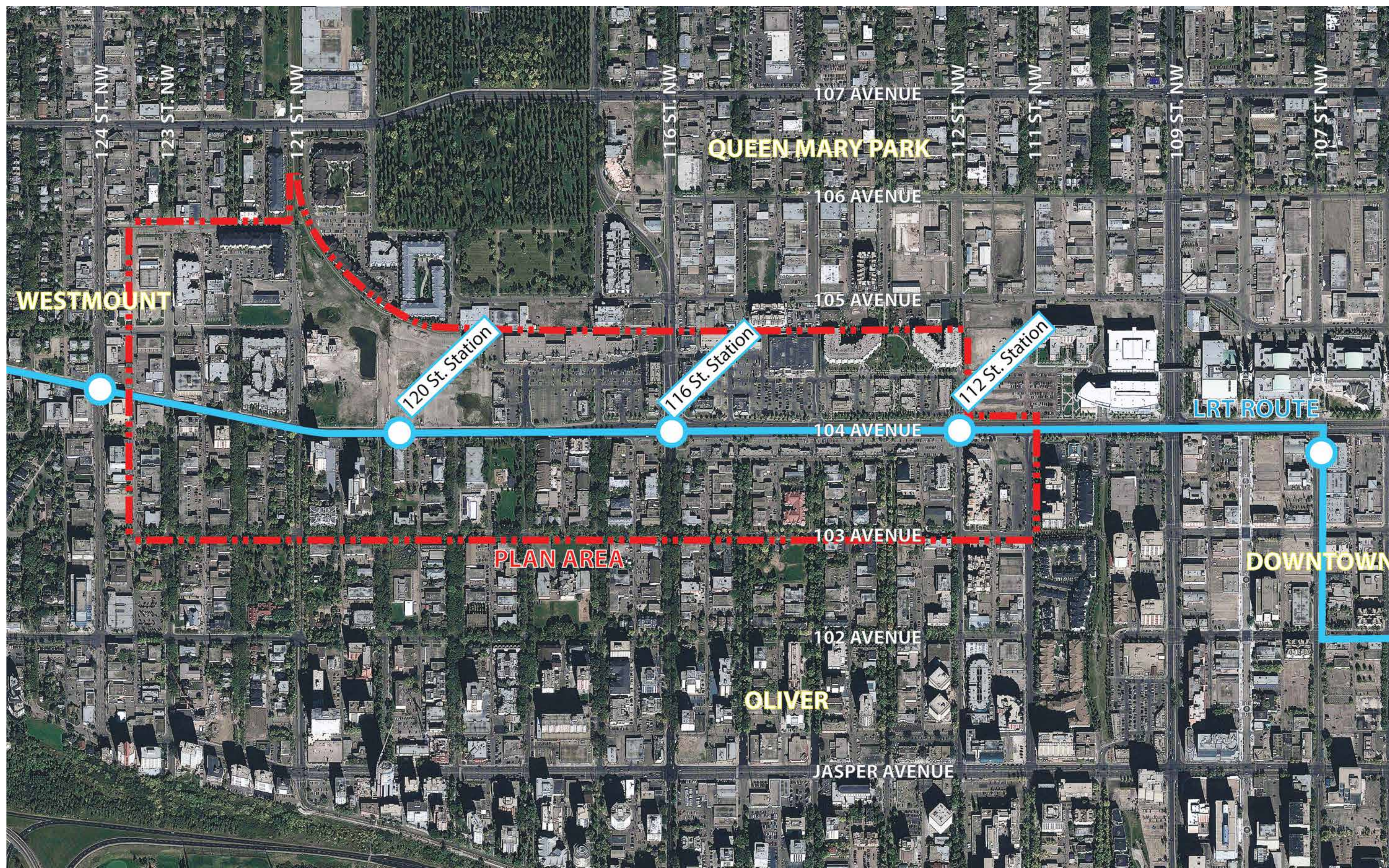


Artist rendering of a possible future 104 Avenue Corridor

104 AVENUE CORRIDOR PLAN

Implementing the 104 Avenue Corridor Area Redevelopment Plan: Rezoning the Corridor

The City has initiated a planning process to guide future growth and change along 104 Avenue between 111 and 123 Streets. Tonight's open house has been designed to present draft zones to implement the Corridor Plan and collect feedback on these proposed regulations.



What is happening now?

The City of Edmonton is now implementing the vision and policies of the 104 Avenue Corridor Area Redevelopment Plan (ARP) for the 104 Avenue Corridor between 111 Street and 123 Street, along the future alignment of the west leg of the Valley LRT line. The first step of the ARP implementation involves rezoning the corridor to bring land use regulations into alignment with the new policy of the ARP.

What is the affected area?

With 104 Avenue as its spine, the plan area is bounded by 105 Avenue to the north, 111 Street to the east, 103 Avenue to the south and 123 Street to the west. It includes the northern portion of the Oliver neighbourhood and the eastern portion of the Westmount neighbourhood.

What opportunities for public and stakeholder input will be provided?

The rezoning of the 104 Avenue Corridor is a continuation of the ARP planning process. In this phase an Open House is being held to provide public feedback prior to finalization of the Zones and advancement to City Council for consideration.

What has been done to-date?

In July of 2015, City Council adopted the 104 Avenue Corridor ARP (Bylaw 17251) putting in place the land use policy that was developed through the 104 Avenue Corridor ARP process.

That process examined city policy, land use, built form, community facilities, transportation, heritage and urban design in order to develop a vision and policy in collaboration with the public, community, and stakeholders for the evolution of the corridor in the framework of transit-oriented development (TOD).

Who is preparing the zones?

The City is drafting the proposed Zones to align with the goals, objectives, and policy created through the 104 Avenue Corridor ARP process completed in 2015.

Tonight's Agenda

6:00 – 8:30 Registration
Meet the project team
Tour of display panels where Planners will answer questions

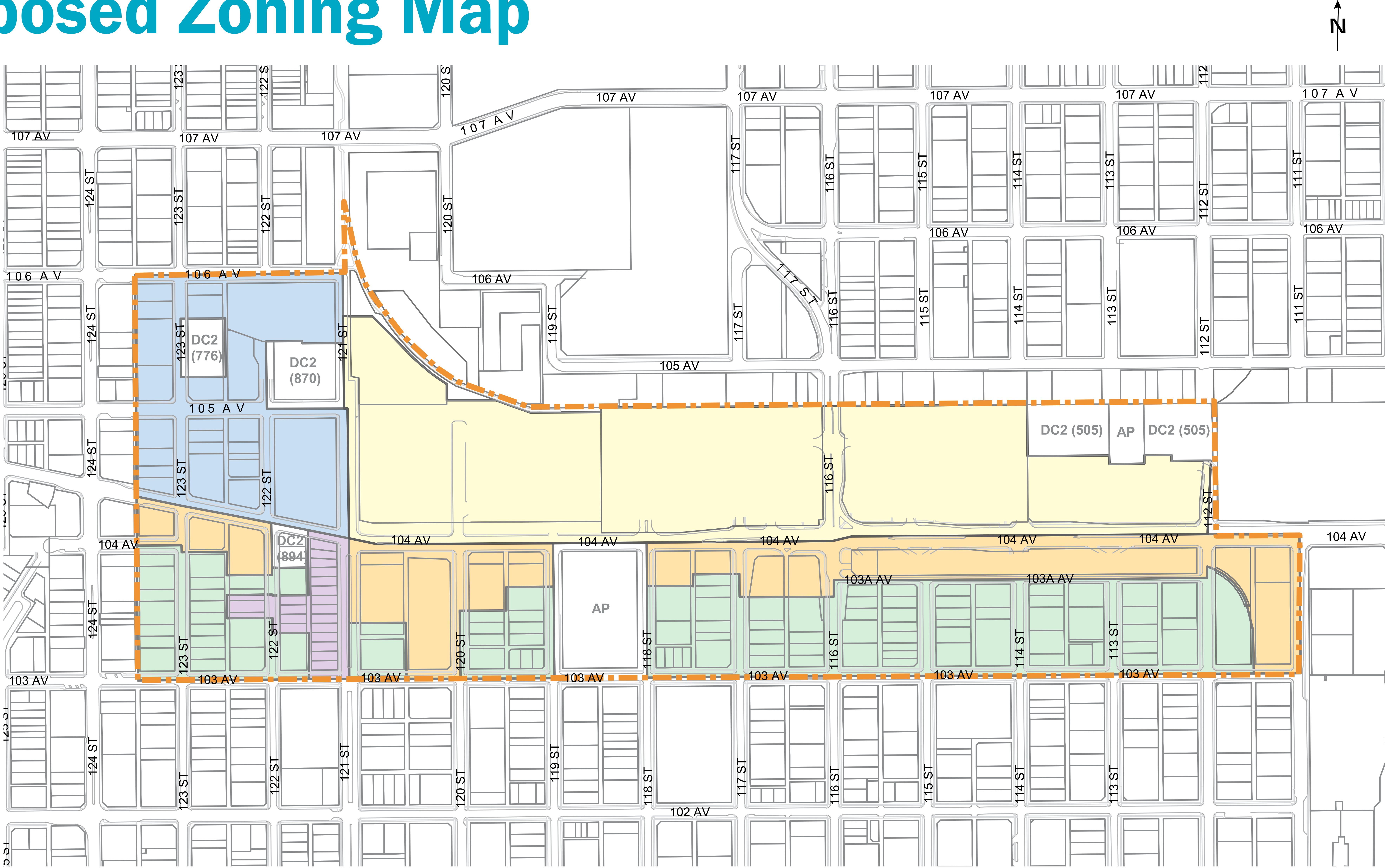
Visit the project website for more information and regular project updates:
edmonton.ca/104AvenueCorridorPlan



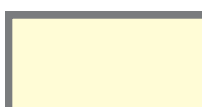
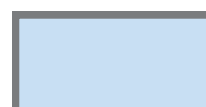
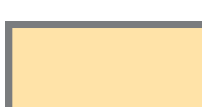



● – We are here

104 AVENUE CORRIDOR PLAN

Proposed Zoning Map



Legend

- | | | | |
|---|--------|---|---------------------------|
|  | Area 1 |  | Area 4 |
|  | Area 2 |  | Area 5 |
|  | Area 3 |  | 104 Corridor ARP Boundary |

104 Avenue Corridor ARP Proposed Zoning Map

104 AVENUE CORRIDOR PLAN

Proposed DC1 - Area 1

General Purpose

The purpose of this Zone is to facilitate the development of a pedestrian friendly and transit-supportive area that is characterized by its strong mix of retail, office, entertainment, and residential uses and its accessibility, open spaces, and sensitive interface between developments.

Zone Highlights

Uses

- Mix of Commercial and Residential Uses

Height

- Height ranging from 23.0m to 50.0m (~6 to 15 Storeys)
- Allows additional Height up to 80.0m with provision of community benefits
- Tallest development concentrated next to future LRT stations

Floor Area Ratio (FAR)

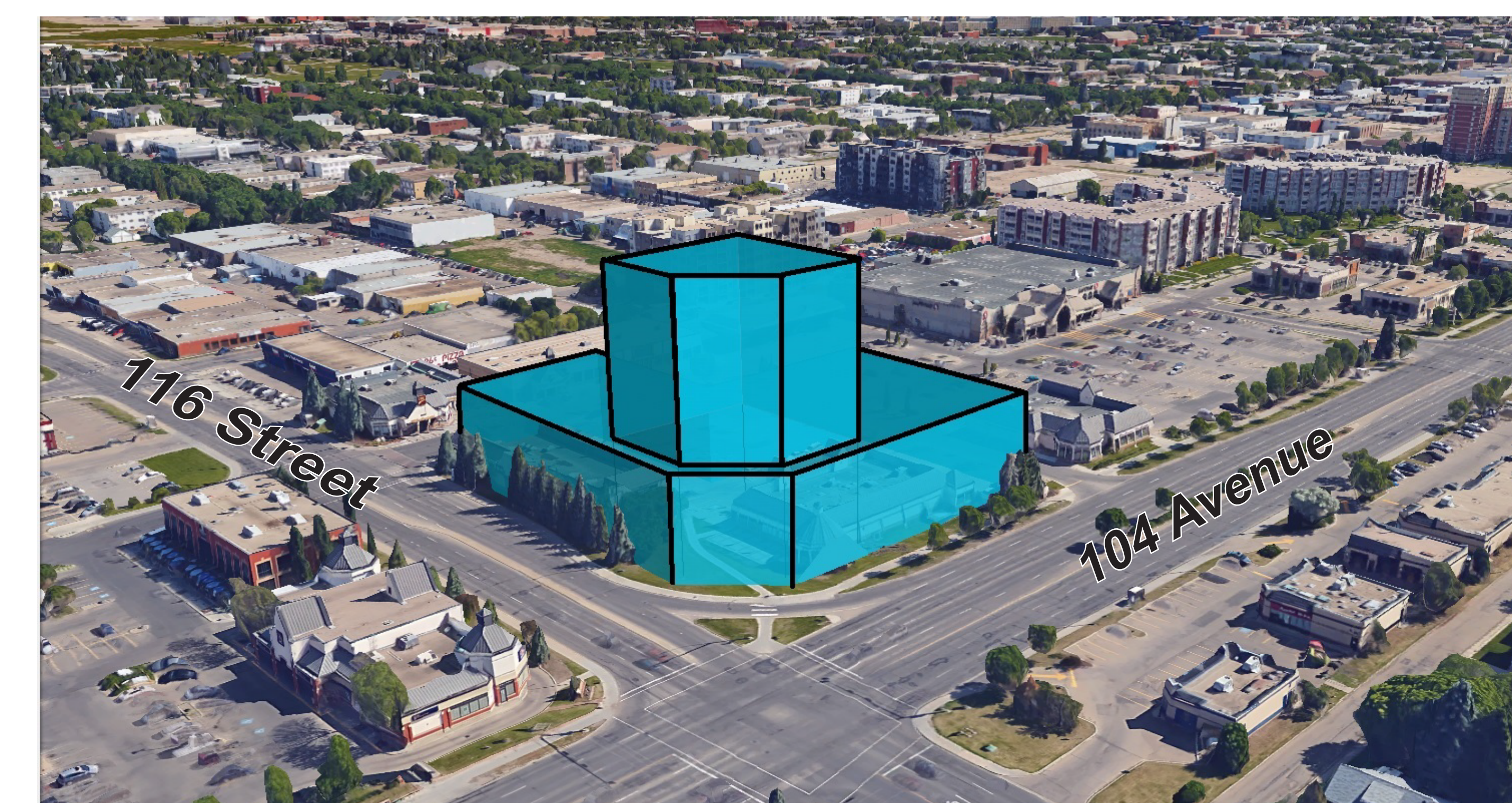
- 5.0 Maximum (7.0 with provision of community benefits)

Setbacks

- 3.0 to 4.5m along 104 Avenue and 116 Street to enhance the public realm (sidewalk)
- 0.0 to 3.0m along all other streets to allow street activation

Parking

- Minimum parking reduced, accompanied by design standards
- Secure bicycle parking spaces required



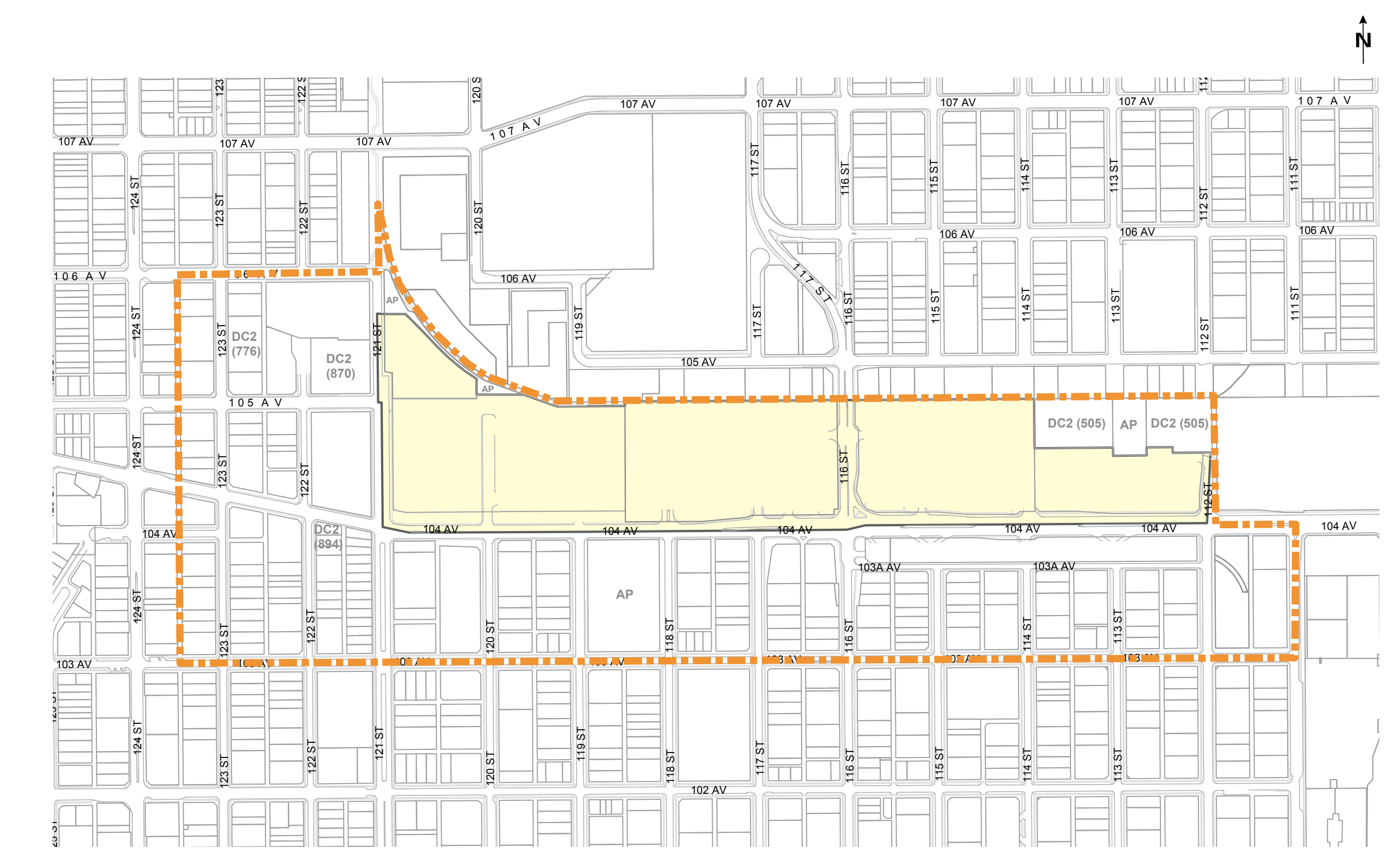
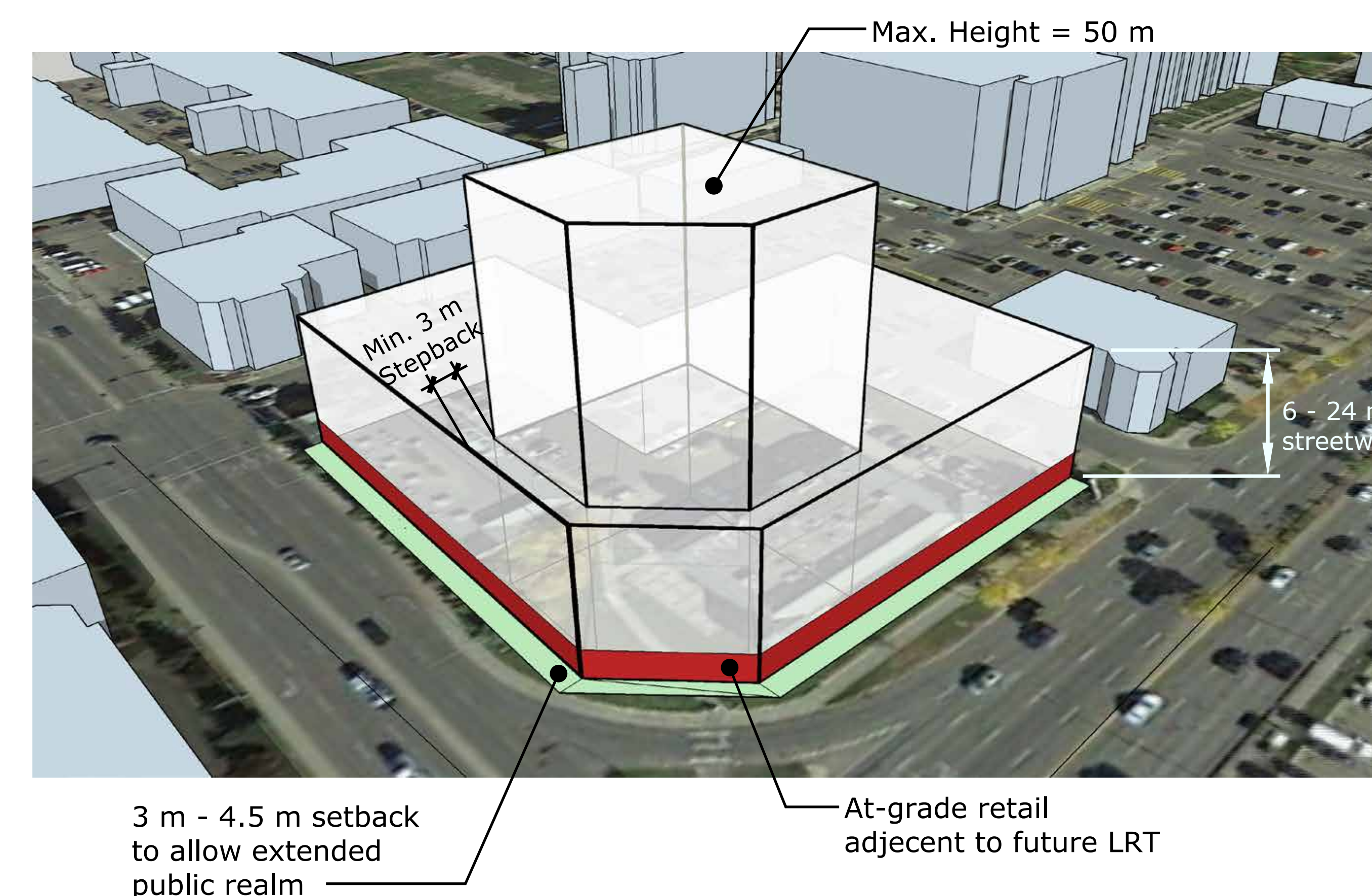
Massing model of proposed zone - Tower podium design

Urban Design

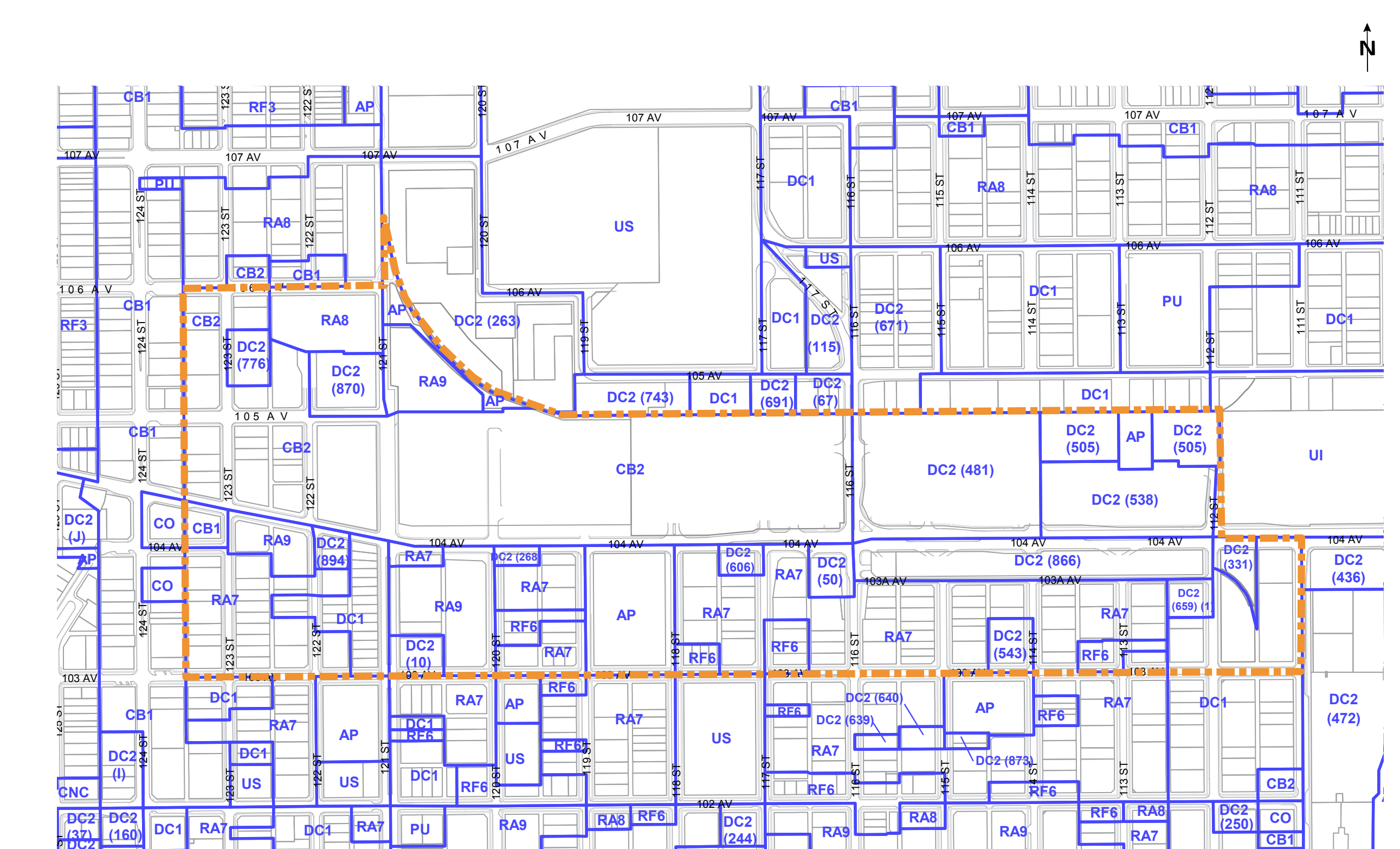
- Ground level retail fronting the street shall be provided in areas adjacent to LRT station platforms
- Buildings to frame and front streets strengthening pedestrian experience
- Street wall of 6.0 to 23.0m to be provided
- Accommodation of large retail stores in an urban format
- Maximum length of buildings is 100 m (width of a block)
- Podium Tower design for any buildings greater than 40.0m
- Tower separation space of 25.0m

Unique Features

- Preservation of the Molson Brewery Buildings
- Establishes and formalizes access to perform like a grid of streets
- Creates active transportation pathways
- Provides a balanced Parks and Open Space network as the development intensifies over time



Legend
Area 1
104 Corridor ARP Boundary
104 Avenue Corridor ARP
Proposed Zoning - DC1 Area 1



Legend
104 Corridor ARP Boundary
104 Avenue Corridor ARP
Existing Zoning Map



Existing Development

104 AVENUE CORRIDOR PLAN

Proposed DC1 - Area 2

General Purpose

The purpose of this Zone is to facilitate the development of a pedestrian friendly and transit-supportive area that is characterized by its mix of commercial and residential uses, directing the most intensive development around station areas while creating a sensitive transition to the south.

Zone Highlights

Uses

- Mix of Commercial and Residential Uses

Height

- Heights ranging from 23.0m to 50.0m (~6 to 15 Storeys)
- Allows additional Height up to 80.0m with provision of community benefits
- Tallest development concentrated next to future LRT stations

Floor Area Ratio (FAR)

- 5.0 Maximum (7.0 with provision of community benefits)

Setbacks

- 3.0 to 4.5m along 104 Avenue and 116 Street to enhance the public realm (sidewalk)

Parking

- Minimum parking reduced, oriented away from 104 Avenue, located at the rear, underground, or in structures
- Secure bicycle parking spaces required



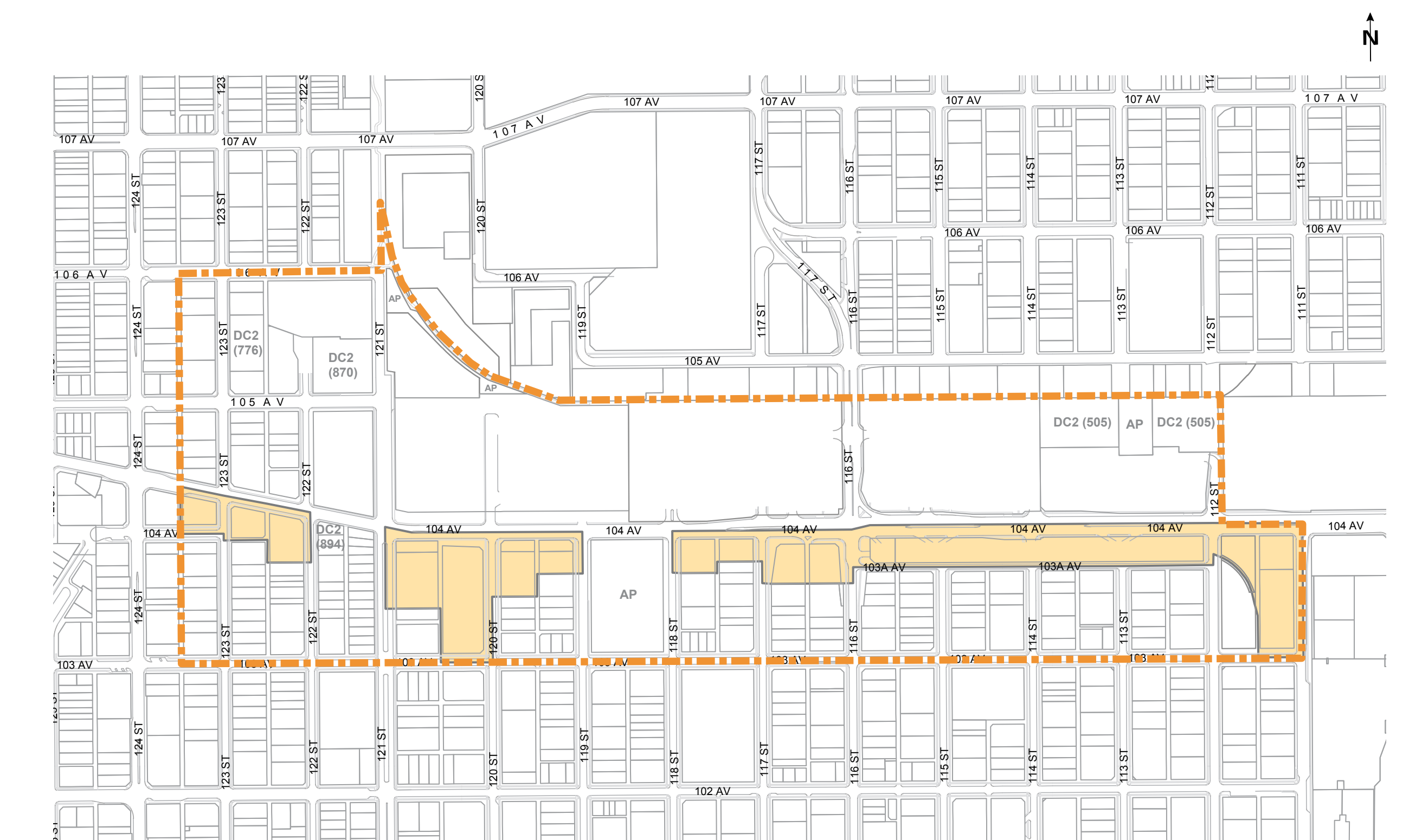
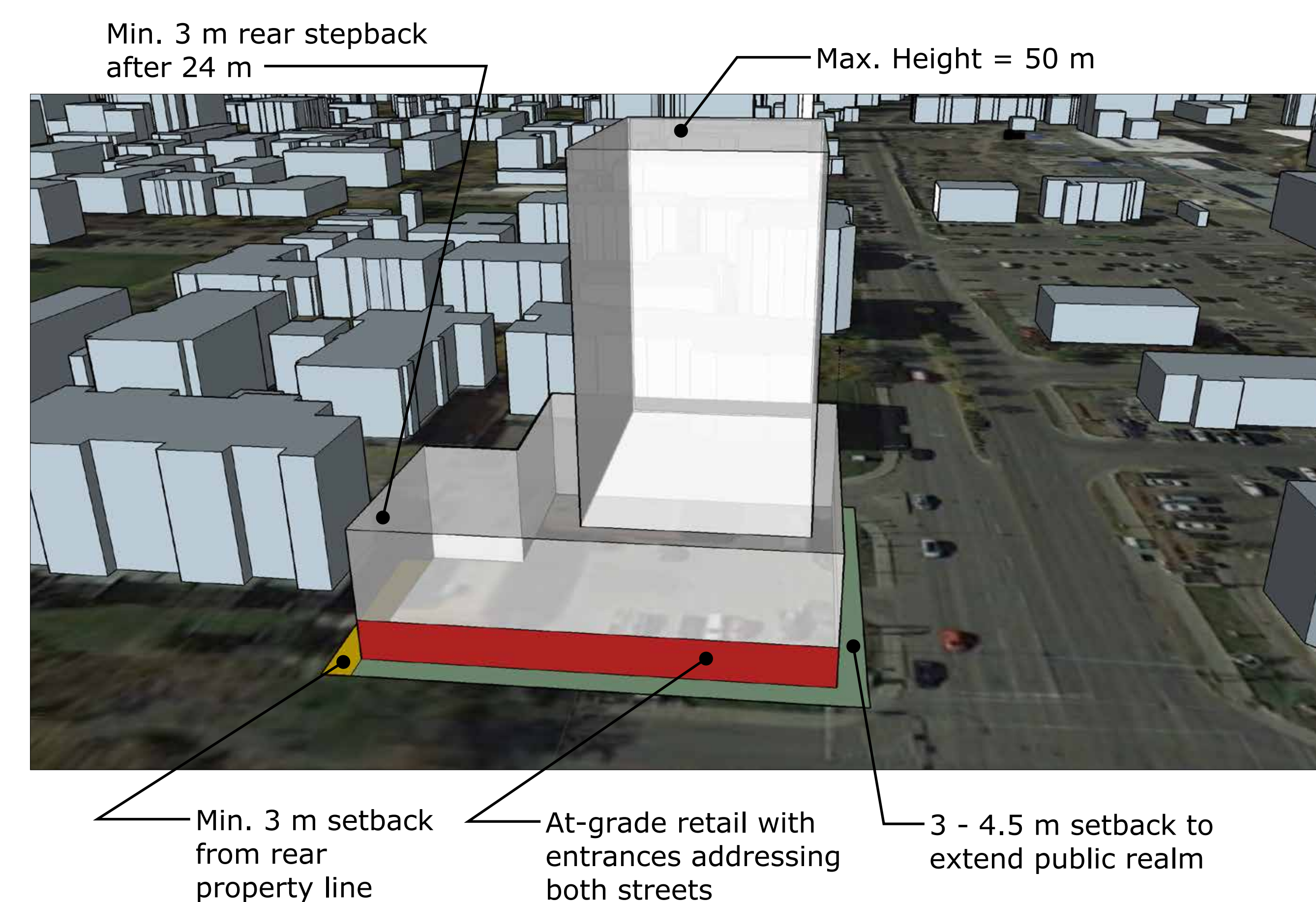
Massing model of proposed zone - podium tower design

Urban Design

- Ground level retail fronting the street shall be provided in areas adjacent to LRT station platforms
- Buildings to frame and front streets strengthening pedestrian experience
- Street wall of 6.0 to 23.0m to be provided
- Additional setbacks from the rear property line to accommodate adequate transition to the south
- Podium Tower design for any buildings greater than 40.0m
- Tower separation space of 25.0m

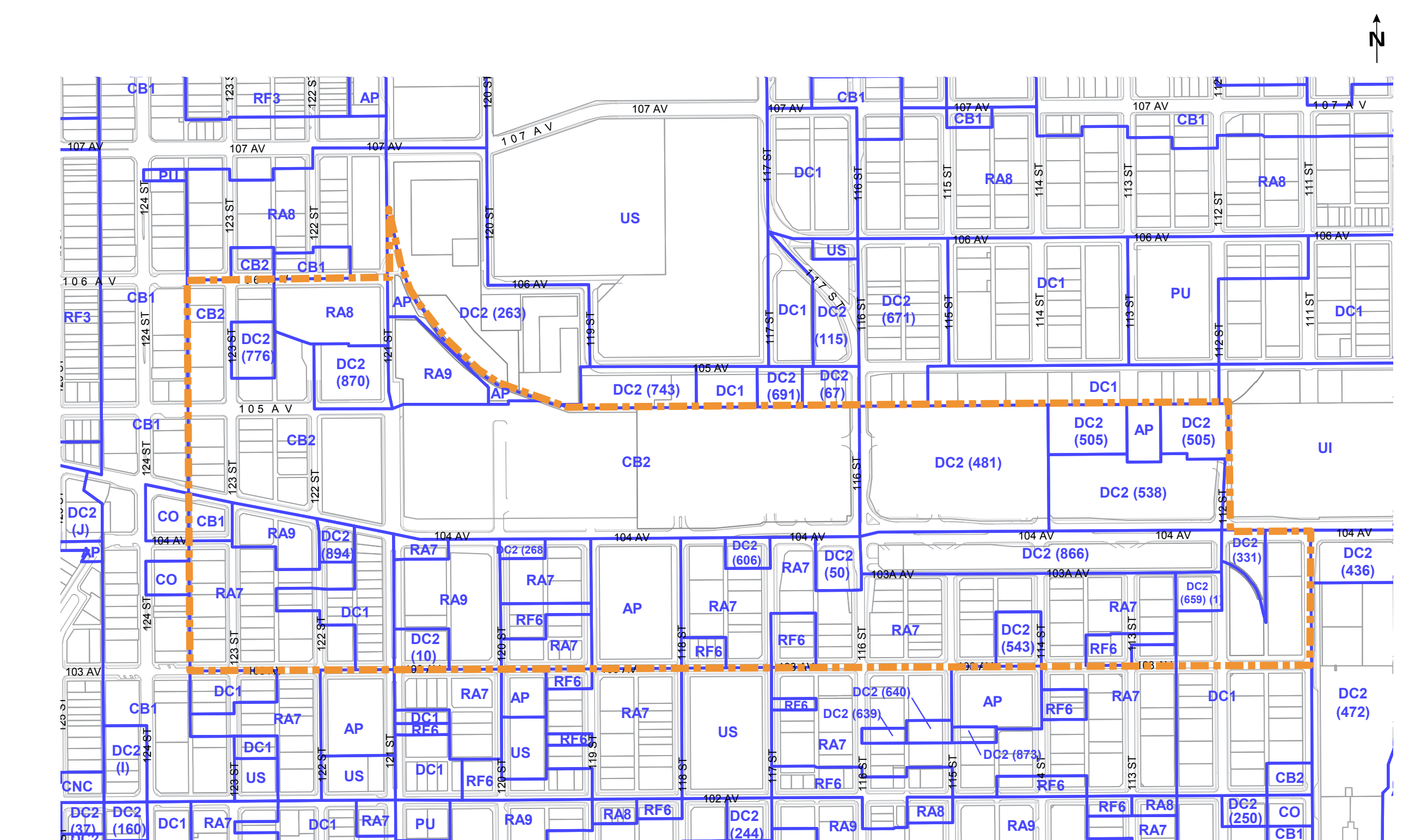
Unique Features

- Improves north-south connectivity as redevelopment occurs providing greater linkages and active transportation pathways south from 104 Avenue at 113, 114, and 115 Streets.



Legend
Area 2
104 Corridor ARP Boundary

104 Avenue Corridor ARP
Proposed Zoning - DC1 Area 2



104 AVENUE CORRIDOR PLAN

Proposed DC1 - Area 3

General Purpose

The purpose of this Zone is to provide for medium density residential development with urban design regulation to sensitively incorporate new developments into the existing neighborhood in accordance with the 104 Area Redevelopment Plan.

Zone Highlights

Uses

- Predominately Residential Uses
- Opportunity for limited small scale Commercial Uses

Height

- Maximum 23.0 m (~6 Storeys)

Floor Area Ratio (FAR)

- 3.0 Maximum

Setbacks

- Front setback to be consistent within 1.0 meter with development of abutting sites, but shall not be less than 5.0m
 - Goal is to ensure large tree planting zones to preserve the distinct character of the Oliver neighbourhood
- Side setback: 1.5m
- Rear setback: 3.0 m

Parking

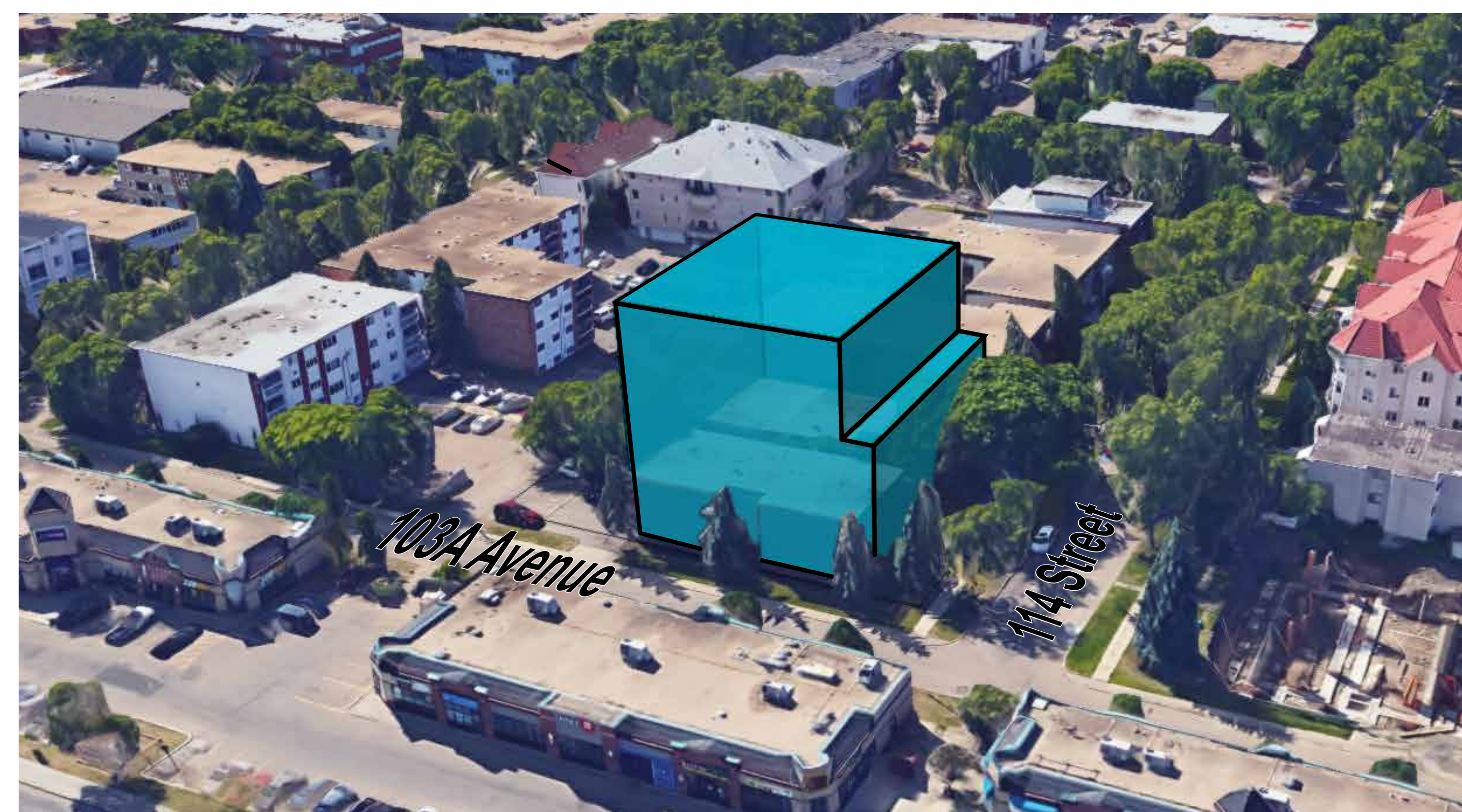
- Minimum parking reduced
- Parking is to be provided underground and at the rear building
- Secure bicycle parking spaces required

Urban Design

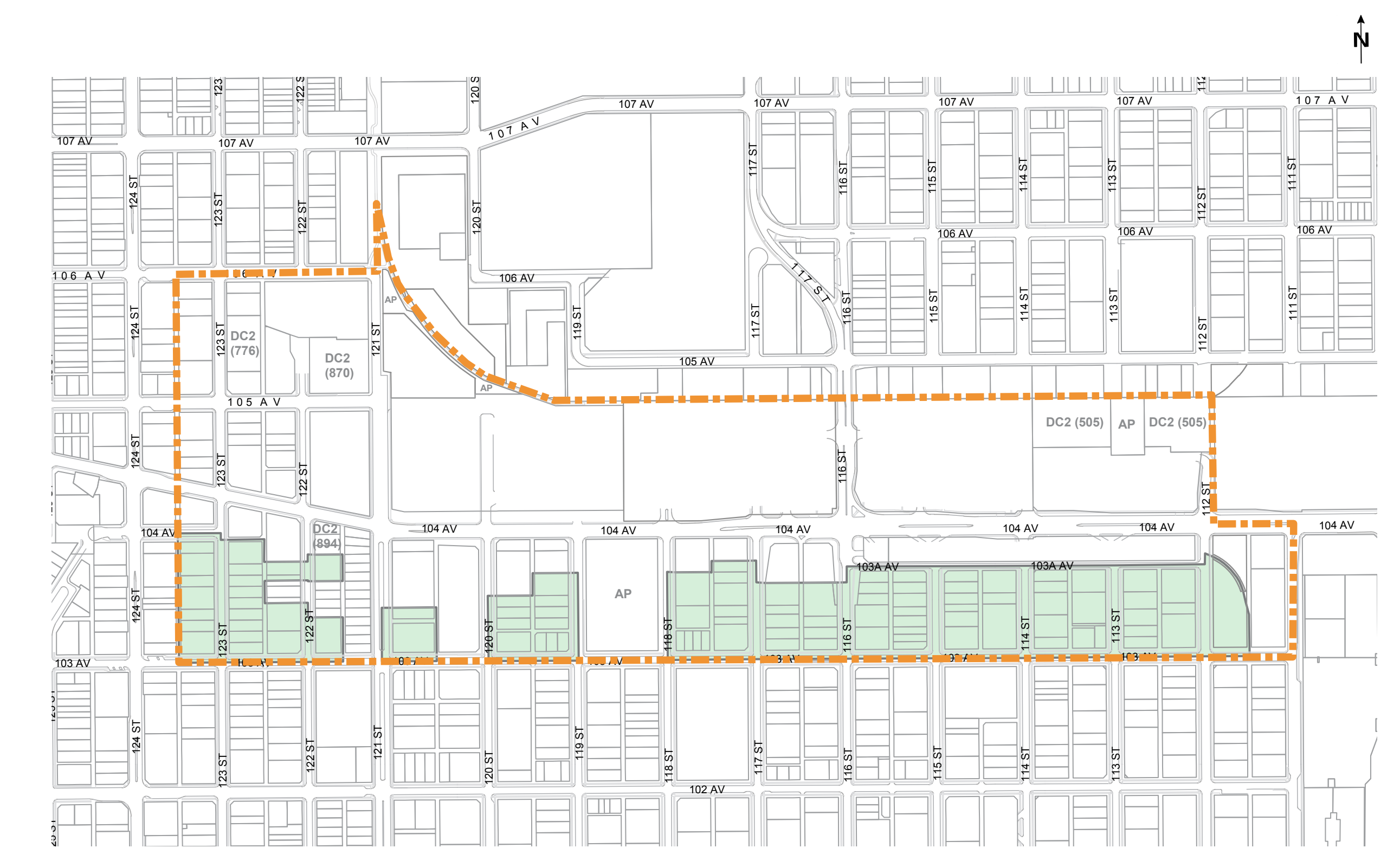
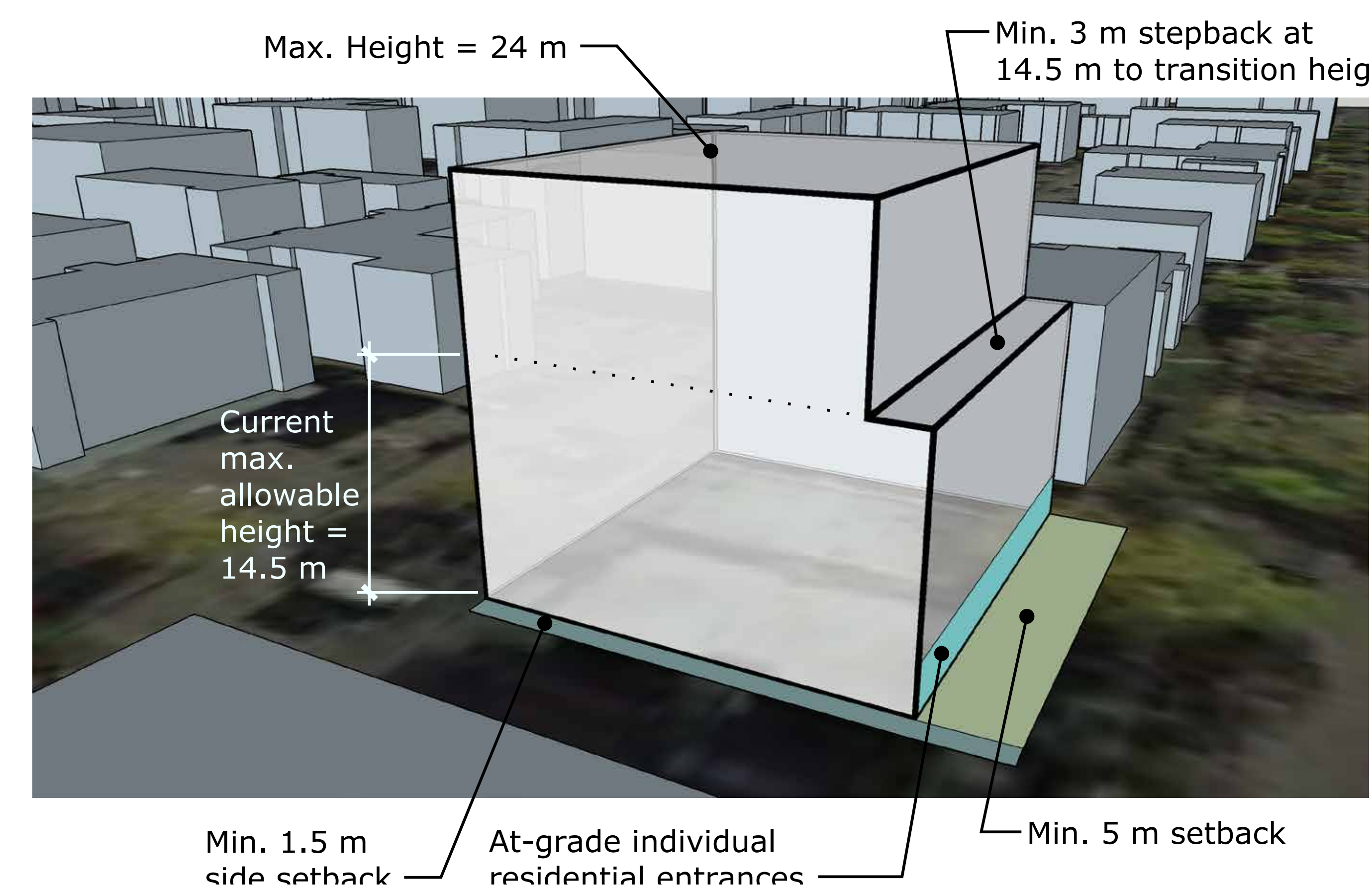
- 3.0m stepback required above 14.5m (~ 4th storey) to transition building height down to existing development
- Total length of buildings limited to 48m to restrict development of large building blocks
- Individual access for ground level residential units
- Building to front the street(s)
- Articulated building facades and other designed elements to reduce perceived massing

Amenity Area

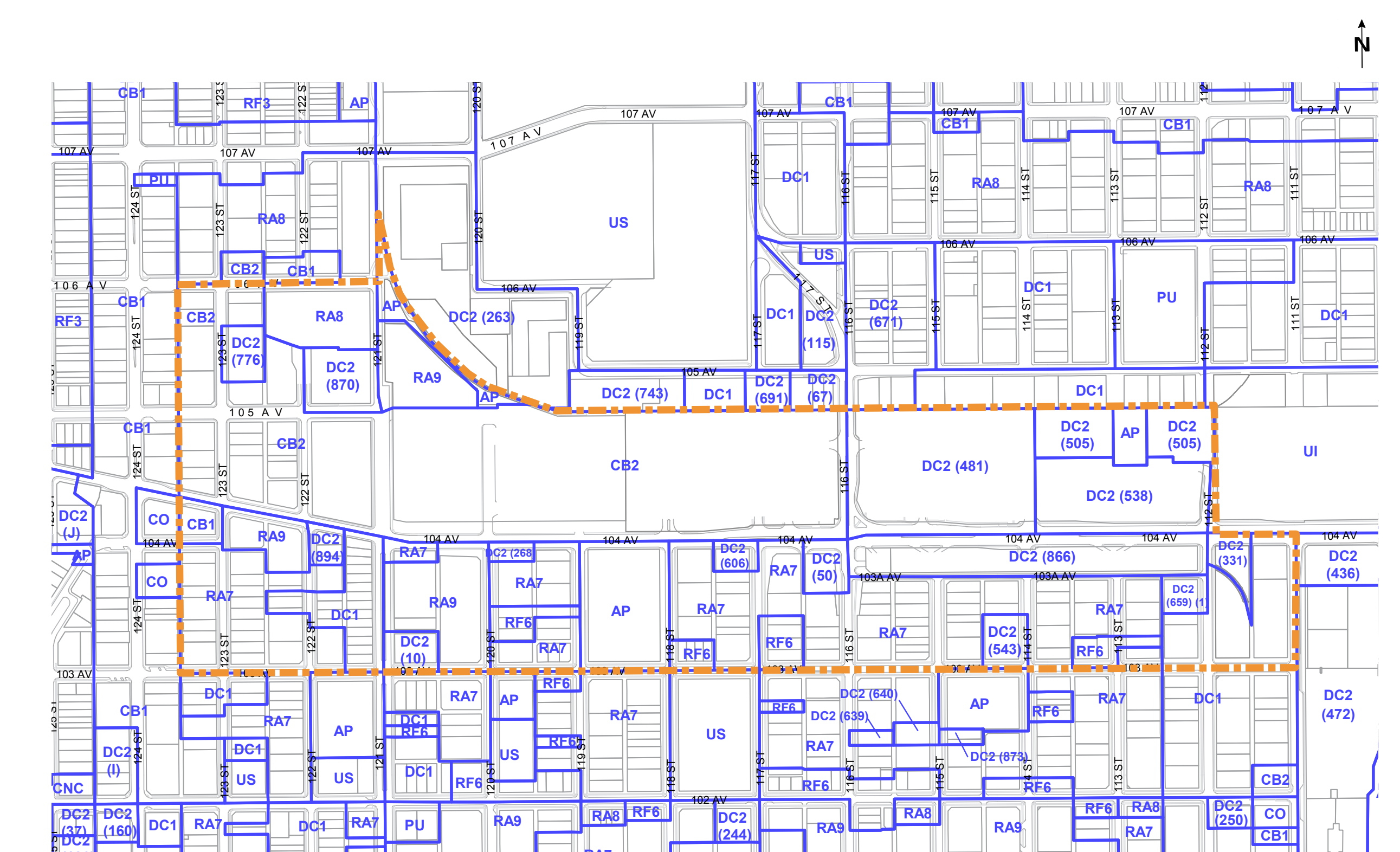
- 7.5 m² per dwelling required



Massing model of proposed zone - 23m with step back



Legend
Area 3
104 Corridor ARP Boundary
104 Avenue Corridor ARP
Proposed Zoning - DC1 Area 3



Legend
104 Corridor ARP Boundary
104 Avenue Corridor ARP
Existing Zoning Map



Existing Development

104 AVENUE CORRIDOR PLAN

Proposed DC1 - Area 4

General Purpose

The purpose of this Zone is to provide for an area of commercial office employment and residential development in support of the 120 Street station hub and 124 Street shopping area.

Zone Highlights

Uses

- Mix of Commercial and Residential Uses

Height

- Maximum 40.0 m (~10 Storeys)

Floor Area Ratio (FAR)

- 5.0 Maximum

Setbacks

- 3.0 to 4.5m along Stony Plain Road to enhance the public realm (sidewalk)
- 0.0 to 3.0m along all other streets to allow street activation

Parking

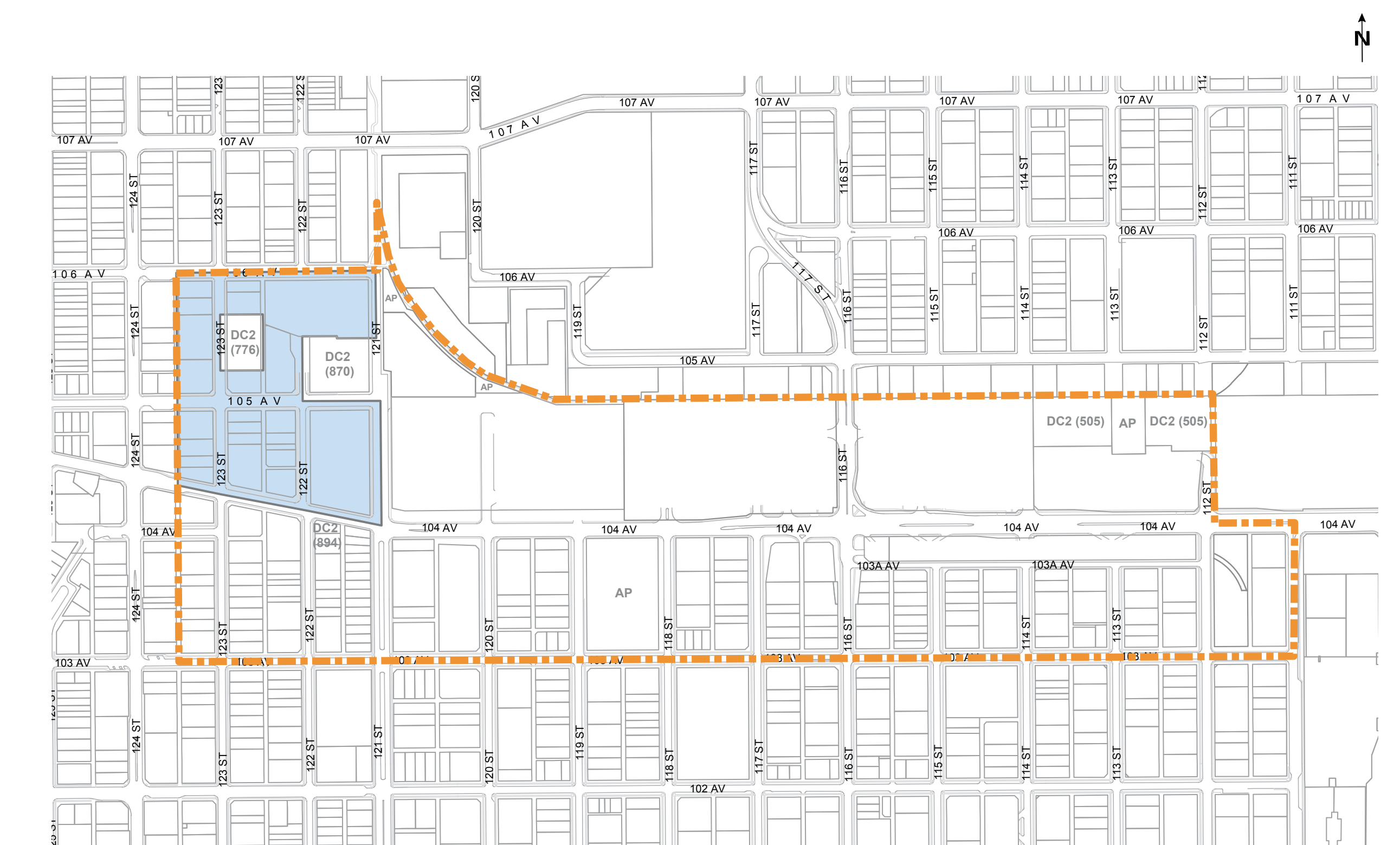
- Minimum parking reduced
- Parking is to be provided underground and at the rear building
- Secure bicycle parking spaces required

Urban Design

- Ground level retail fronting the street shall be provided in areas adjacent to LRT station platforms
- Buildings to frame and front streets strengthening pedestrian experience
- Street wall of 6.0 to 24.0m to be provided
- 3.0m stepback from the podium wall
- Individual access for ground level residential units
- Articulated building facades and other designed elements to reduce perceived massing
- Landscaped setback developed to provide enhanced pedestrian experience

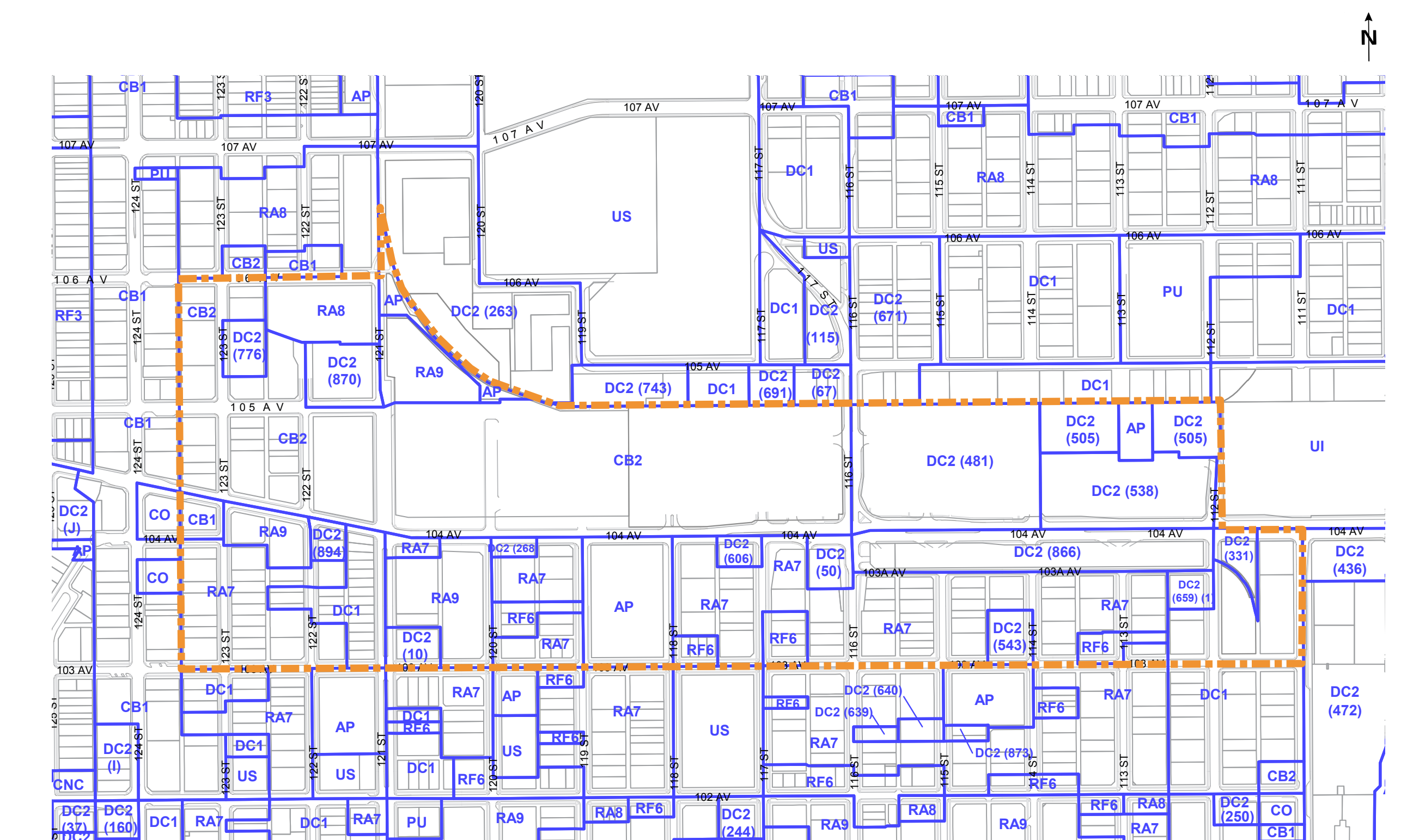
Amenity Area

- 7.5 m² per dwelling



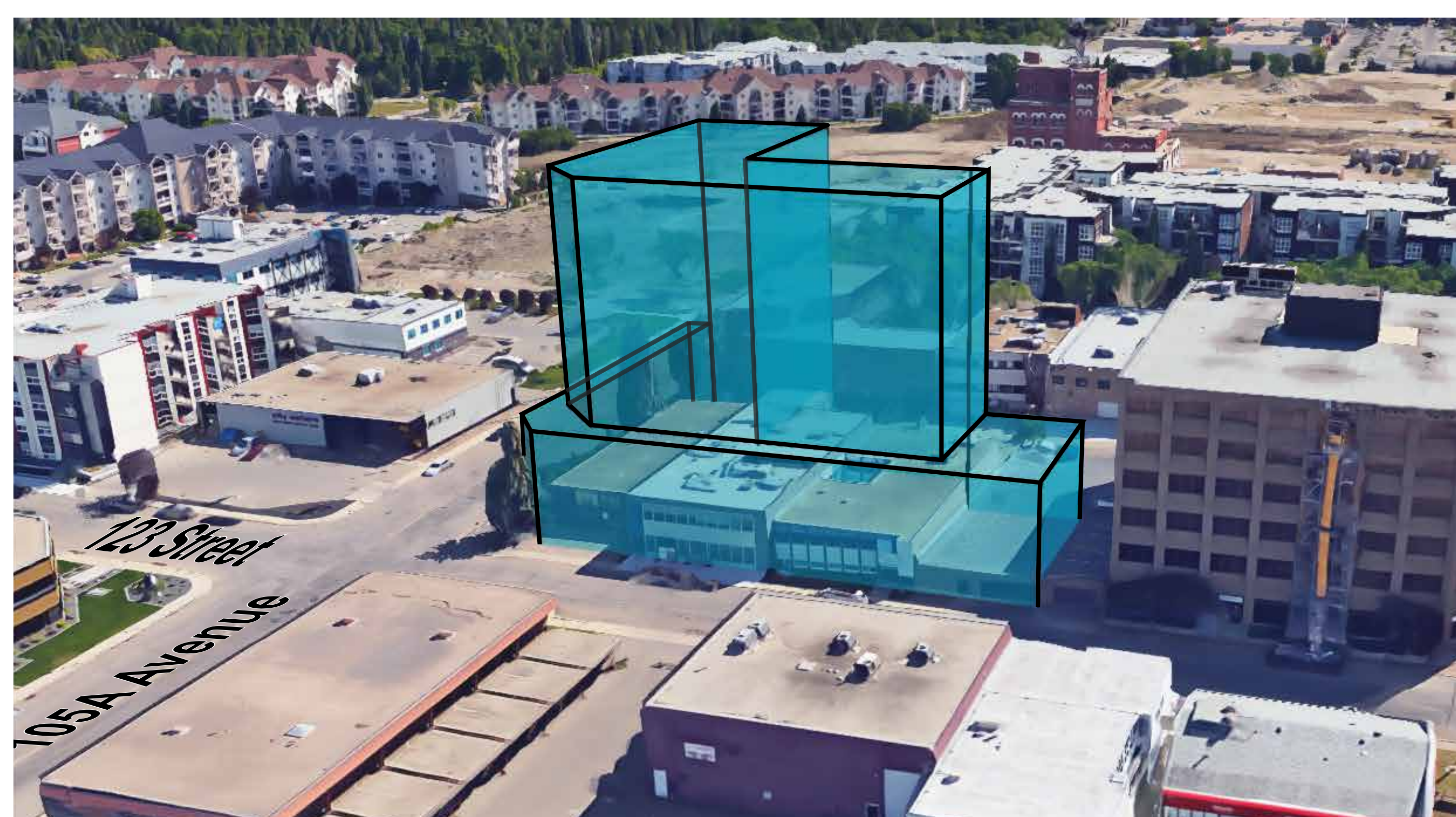
Legend
Area 4
104 Corridor ARP Boundary

104 Avenue Corridor ARP
Proposed Zoning - DC1 Area 4

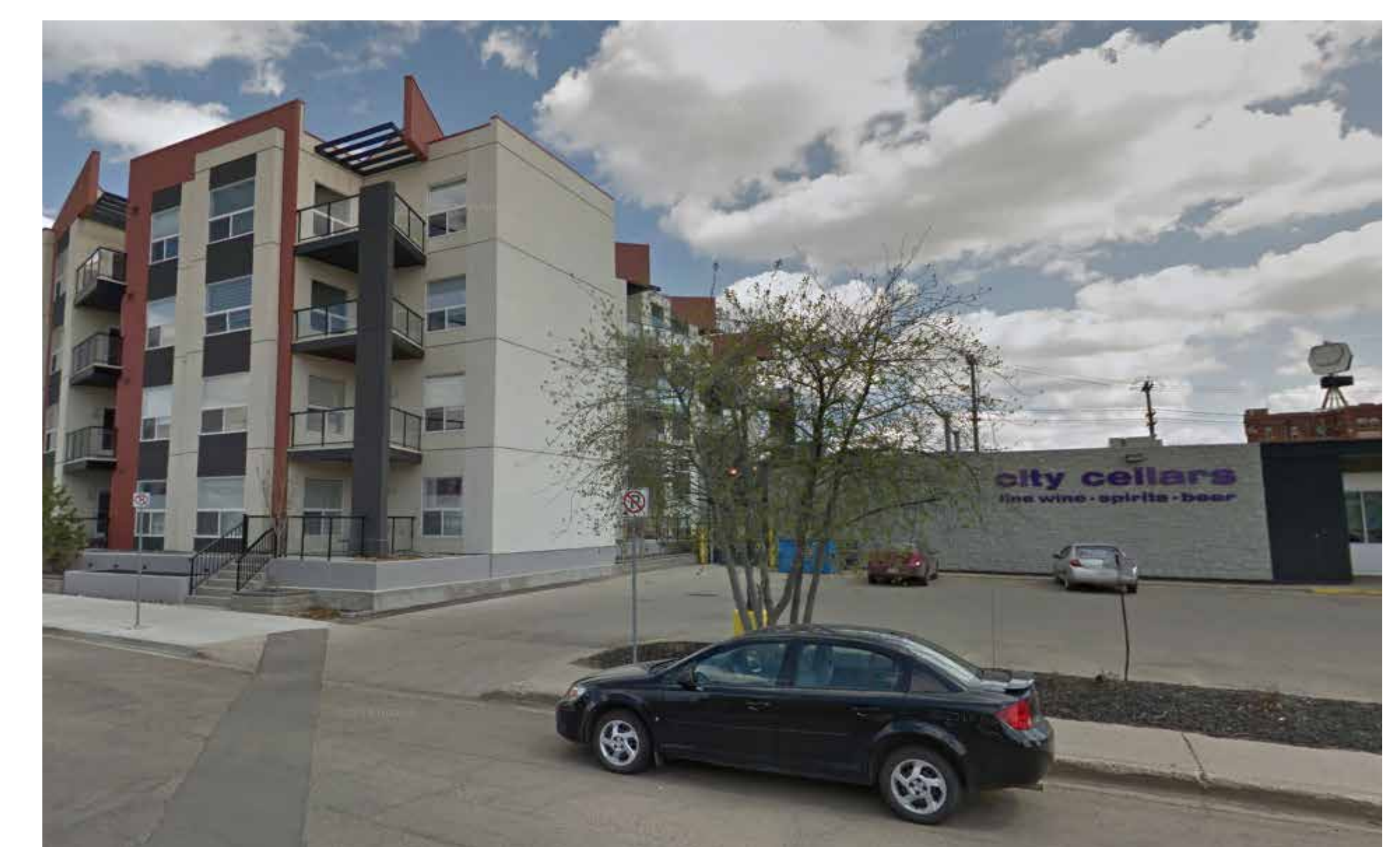
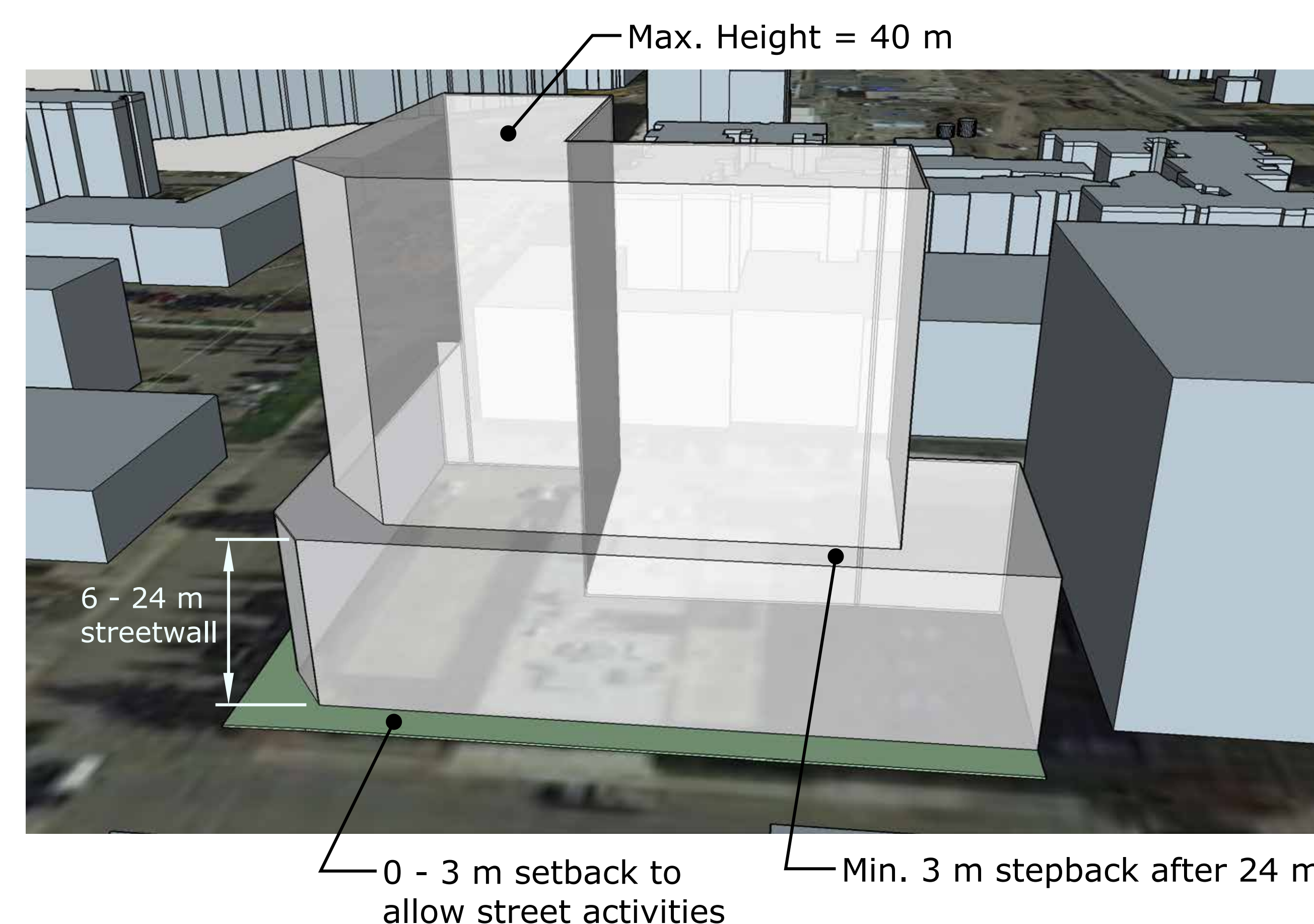


Legend
104 Corridor ARP Boundary

104 Avenue Corridor ARP
Existing Zoning Map



Massing model of proposed zone - 40m building with stepback



Existing Development

104 AVENUE CORRIDOR PLAN

Proposed DC1 - Area 5

General Purpose

The purpose of this Zone is to facilitate a mixed use area that encourages the retention of existing older residential structures and promotes a scale and design that is complementary to the existing low density residential dwellings in the area by providing opportunity for greater residential uses and small scale, low impact commercial uses.

Zone Highlights

Uses

- Residential Uses
- Opportunity to convert Residential building to limited small scale Commercial Uses

Height

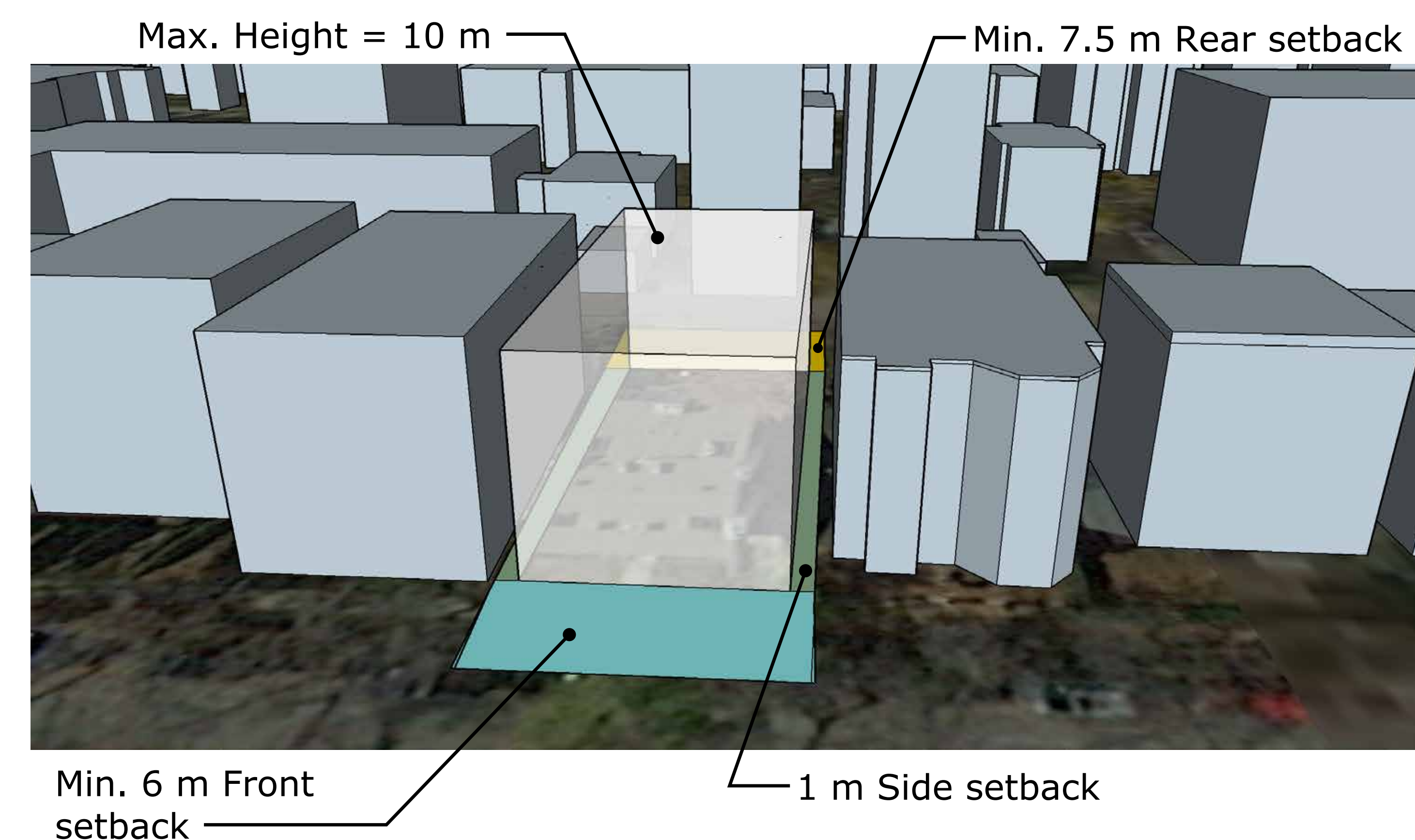
- Maximum 10 m (~2 1/2 storeys)

Floor Area Ratio (FAR)

- 1.0 Maximum

Setbacks

- 6.0 m Front Setback to remain consistent with block face
- 1.0 m Side Setback
- 7.5 m Rear Setback



Massing model of proposed zone - contextual fit

Parking

- Maximum 3 vehicular parking spaces required.
- No commercial loading spaces required

Urban Design

- New development shall ensure the character of the block face is retained. For example:
 - porches and verandas
 - brick, clapboard or stucco exterior finishes
 - gable or hip roofs
 - dormers and bay windows

Unique Features

- Encourage the conversion of older buildings to Commercial Uses instead of demolition to preserve unique character of the area
- Allow laneway and garden suite housing
- New development to preserve unique characteristics of the block face through height, massing, and architectural treatment



Legend
Area 5
104 Corridor ARP Boundary
104 Avenue Corridor ARP
Proposed Zoning - DC1 Area 5



Legend
104 Corridor ARP Boundary
104 Avenue Corridor ARP
Existing Zoning Map



Existing Development

Thank You For Coming



Artist rendering of a possible future 104 Avenue Corridor

Please visit our website for more information and regular project updates
[edmonton.ca/104AvenueCorridor Plan](http://edmonton.ca/104AvenueCorridorPlan)

