

The City of Edmonton’s Zoning Bylaw regulates development including the size, location and use of buildings. The Alberta Building Code regulates how buildings are constructed.

A development permit and a building permit are required for the construction of a detached garage.

In certain Zones, the Development Officer may allow a Garage Suite located above a detached garage. There are restrictions where they can be located, as well as the size and height of the Garage Suite. If you are considering a Garage Suite, please refer to the City’s Secondary and Garage Suites brochure, or contact our office for specific Zoning regulations that apply to your property.

Residential properties can be zoned differently and may be affected by an overlay schedule. To verify the zoning of a property, visit our office or the web at <http://maps.edmonton.ca>

- Once you go to <http://maps.edmonton.ca>
- Enter the map site, review the disclaimer and accept it by pressing ‘ok’
 - On the upper left of your screen see the tab ‘Locate’ and select ‘zoning’, the last item on the pull down list.
 - Click on ‘Locate Title by Address’ and enter the property’s address
 - Click on ‘search’ to view its zoning and any overlay information.

What You Need to Apply

When applying for a development permit and a building permit, you must provide:

- ▶ the municipal address the plan, block and lot number
- ▶ (which is the legal description of your property available from your tax notice)
- ▶ **three** copies of the site plan showing:
 1. size of property
 2. size and location of house
 3. size and location of proposed garage
 4. distance from garage to property lines
 5. garage driveway construction details (refer to the Garage Design Form and the Garage Application Form on our website), and
- ▶ all required application fees.

How to Apply

You can apply for your development and building permits:

In Person
Planning and Development
Current Planning Branch
5th Floor, 10250 – 101 Street NW
Edmonton, Alberta T5J 3P4

Hours of Operation: 8:00 a.m. – 4:30 p.m.
Monday through Friday

By Mail
Mailing address is listed above. Cheques must be payable to the City of Edmonton. Please allow for additional processing time when applications are mailed.

By Fax
780-496-6054
Our facsimile can take legal or letter sized paper. Please ensure that all documents are sent with credit card (VISA, MasterCard or American Express) information, including the expiry date. Please allow for additional processing time when applications are faxed.

Web
The Residential Building Application Form (also listed as the Garage Application Form) and the Garage Design Form can be found at [www.edmonton.ca/bylaws & licences/ publications & fee listing/form listing](http://www.edmonton.ca/bylaws&licences/publications&fee%20listing/form%20listing)

By Phone
311 for 24-hour information and access to City of Edmonton programs and services. Or, if outside of Edmonton, 780-442-5311.

Other Related Permits

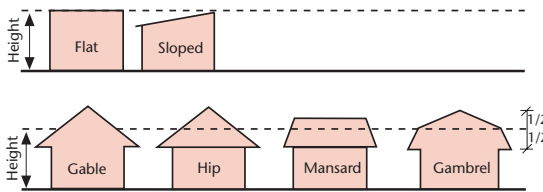
Heating & Ventilation Permits..... 311
(If outside of Edmonton 780-442-5311)
Gas Permits..... 311
(If outside of Edmonton 780-442-5311)
Electrical Permits..... 780-454-5048
Inspections Group Inc.,
12010 - 111 Avenue
Curb Crossing Permit..... 311
(If outside of Edmonton 780-442-5311)

Call Before You Dig - 1-800-242-3447

General Regulations for RF1

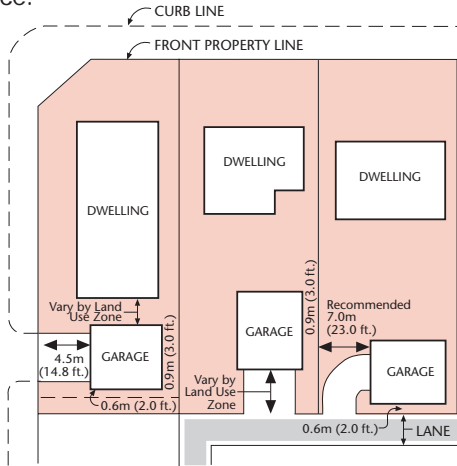
- Site Coverage**
Site coverage is the amount of lot area covered by buildings:
- House 28%
 - Accessory buildings (total) 12%
(garages, greenhouse, sheds)
 - Total site coverage 40%
 - House plus attached garage 40%

Height Measurement
The height of a detached garage cannot be greater than 4.3 m (14.0 ft.) at mid point.



Minimum Yard Regulations

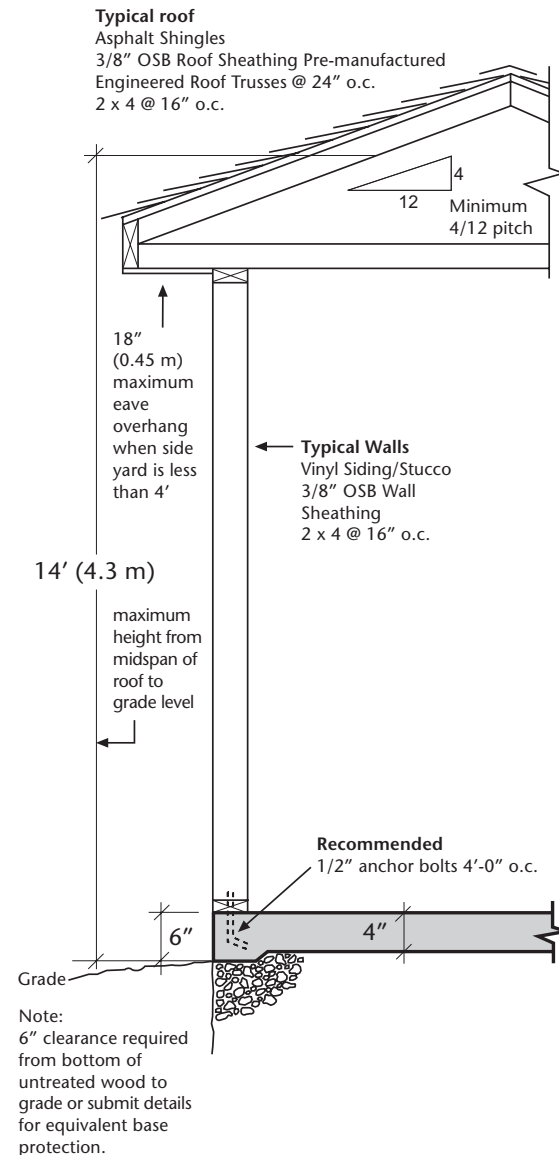
This illustration below represents a few possible garage locations and how setback regulations apply. If your property is zoned differently, or is within a special overlay, these regulations may be different. Inquiries about relaxations of required yard regulations can be discussed with a development officer from our office.



Building Details

The Alberta Building Code regulates the construction and safety of the structure.

Example Detached Garage



Common Questions

1. **Can I assume that the City sidewalk, lane pavement or neighbour's fence is the property line?**
No. The only accurate way to determine your property line is with a Real Property Report from an Alberta land surveyor.
2. **How can I get a Real Property Report?**
Check your records. Most home owners already have this document. It usually comes with the purchase of a house. Otherwise, the services of a qualified land surveyor should be obtained. A number of firms are listed in the Yellow Pages.
3. **Can I build a two-storey garage?**
Generally no. Only a one-storey garage is permitted.
4. **Can I use the roof attic space for storage?**
The zoning regulations allow the space under the garage roof to be used for storage. However, the roof structure would have to be engineered for that purpose.

Processing Your Application

- A development officer reviews the application using the Zoning Bylaw regulations. In certain circumstances, other departments may review your plans. If a curb crossing permit is required, you must contact the Planning and Development Department to apply for the permit.

- Detached garages that conform to these regulations may be approved quickly. Where relaxation of the regulations is desired, public notification is required. The notification period, in which your neighbours may appeal the development officer's decision, is approximately three weeks.
- Your development plans are examined by a safety codes officer to prepare a building permit.
- If your development application is refused, you can appeal the development officer's decision to:

Subdivision and Development
Appeal Board
Office of the City Clerk
3rd Floor, City Hall
1 Sir Winston Churchill Square
Edmonton, Alberta T5J 2R7
Telephone: 780-496-6079

This brochure is for information purposes and is not legally binding. Please review the current copy of the Zoning Bylaw at website <http://maps.edmonton.ca>

Note: When you apply, personal information may be collected under the authority of Section 33(c) of the Alberta Freedom of Information and Protection of Privacy Act, Section 642 of the Municipal Government Act and/or Section 63 of the Safety Codes Act. The information will be used to process your application(s) and your name and address of where the development/use is being proposed may be included on reports that are available to the public. If you have any questions, please contact our office.

June 2009



Building a Detached Garage?

You need to know...

